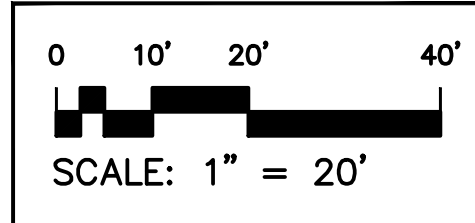
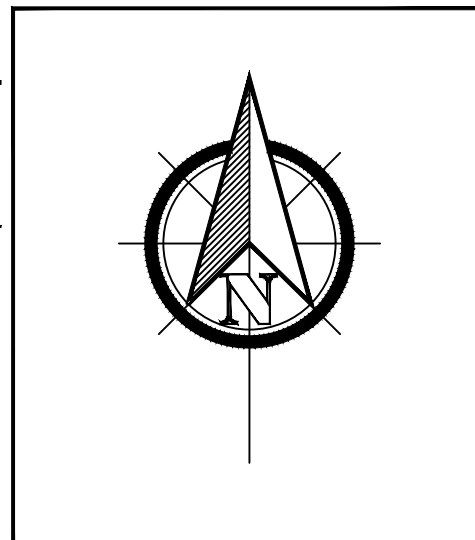
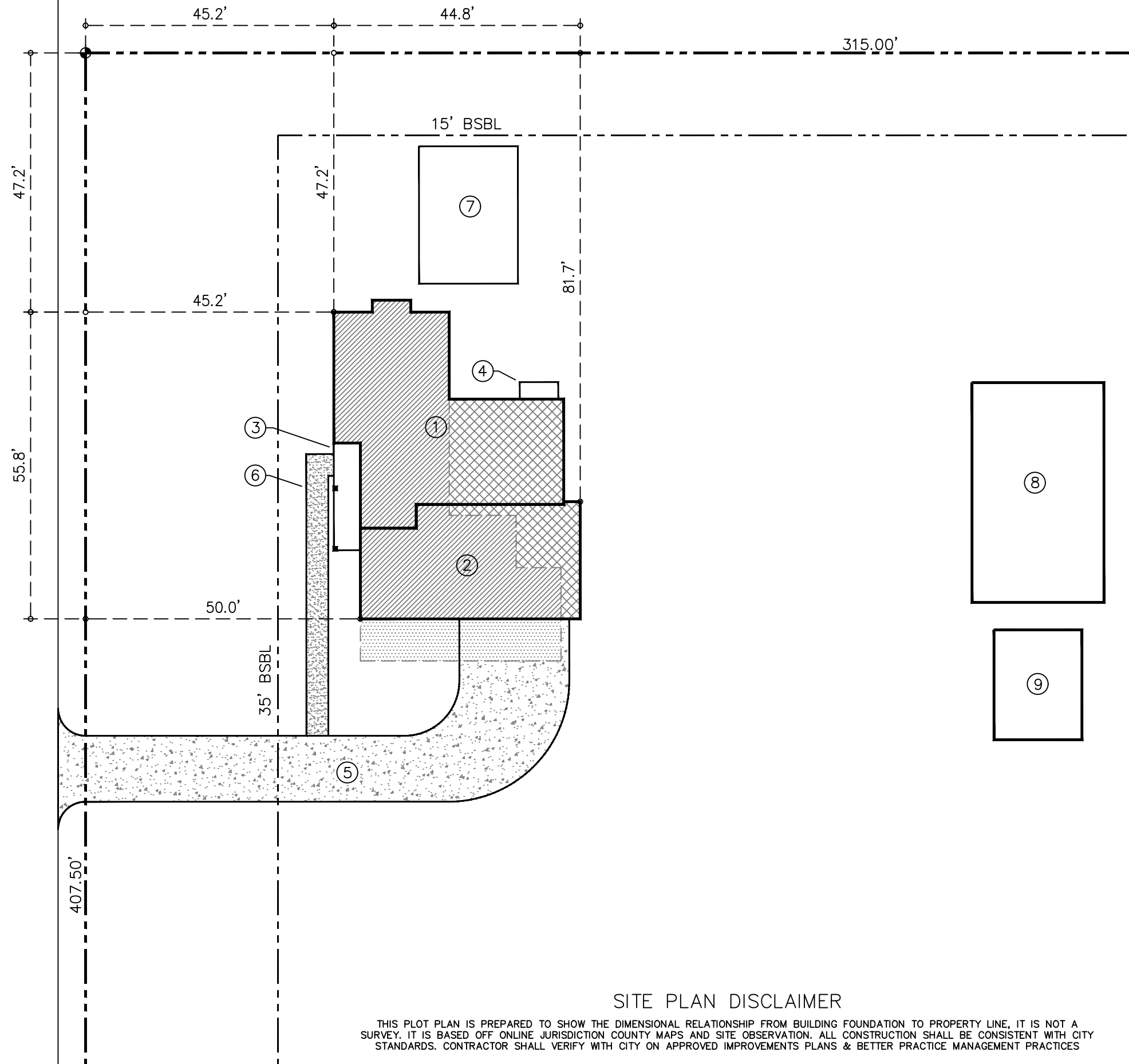


SOUTH FRUITLAND AVE



**LEGEND**

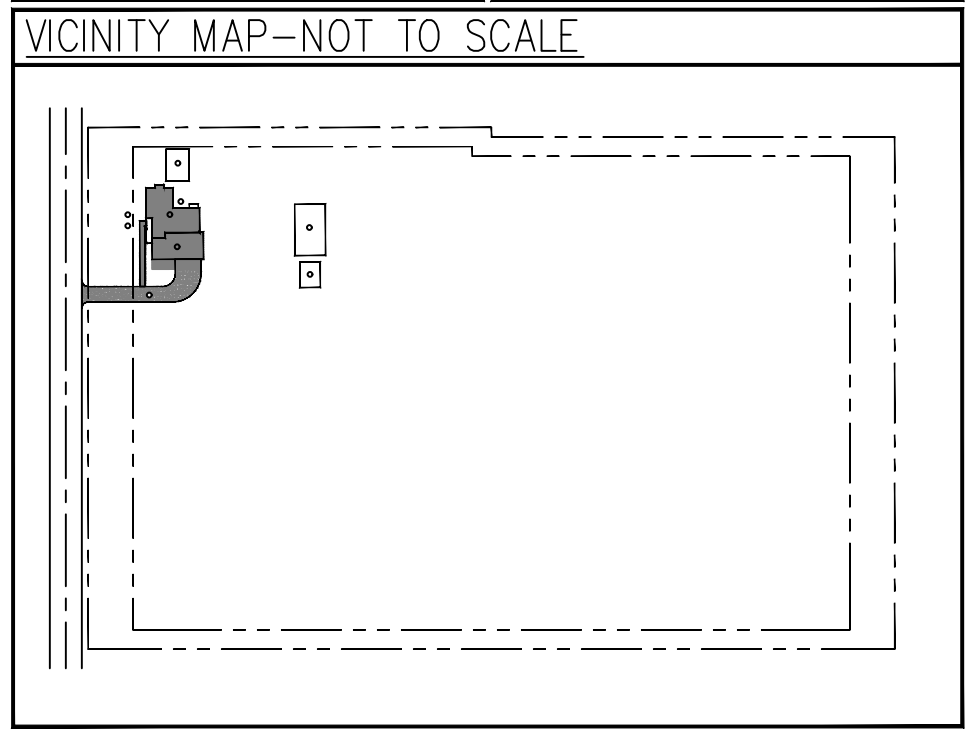
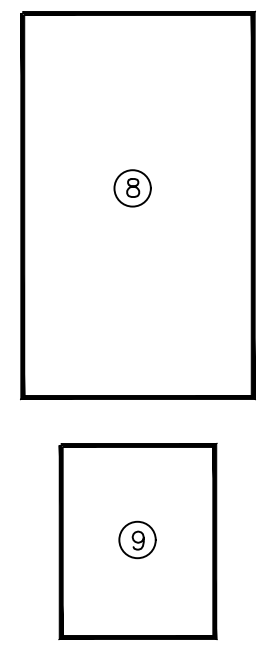
CONCRETE DRIVEWAY	
CONCRETE WALKWAY	
AREA TO BE REMOVED	
AREA OF REMODEL	
NEW CONSTRUCTION	

**IMPERVIOUS AREAS**

<b>THE LOCKWOOD RESIDENCE</b>	
RESIDENCE:	1,140 SQFT
GARAGE:	790 SQFT
SUBTOTAL:	1,930 SQFT
CVRD PORCH:	94 SQFT
PATIO:	22 SQFT
CONC. DRIVEWAY:	1,470 SQFT
CONC. WALKWAY:	210 SQFT
CONC. PAD:	450 SQFT
BARN:	960 SQFT
SHED:	320 SQFT
TOTAL IMPERVIOUS:	5,456 SQFT
TOTAL LOT AREA:	254,362 SQFT
BUILDING IMPERV %	0.76%
TOTAL IMPERV %	2.14%

**SITE PLAN KEY**

①	PROPOSED RESIDENCE
②	PROPOSED GARAGE
③	PROPOSED CVRD PORCH
④	PROPOSED PATIO
⑤	EXISTING DRIVEWAY
⑥	EXISTING WALKWAY
⑦	EXISTING CONCRETE PAD
⑧	EXISTING BARN
⑨	EXISTING SHED



**SITE PLAN DISCLAIMER**

THIS PLOT PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE, IT IS NOT A SURVEY. IT IS BASED OFF ONLINE JURISDICTION COUNTY MAPS AND SITE OBSERVATION. ALL CONSTRUCTION SHALL BE CONSISTENT WITH CITY STANDARDS. CONTRACTOR SHALL VERIFY WITH CITY ON APPROVED IMPROVEMENTS PLANS & BETTER PRACTICE MANAGEMENT PRACTICES

3305 S FRUITLAND AVE  
 PUYALLUP, WA 98373  
 PARCEL #4005000220

ESTES DESIGN, LLC.  
 ARCHITECTURAL DRAFTING & RENDERING  
 EMAIL: robertestes99@me.com  
 PHONE: (253) 381-6349