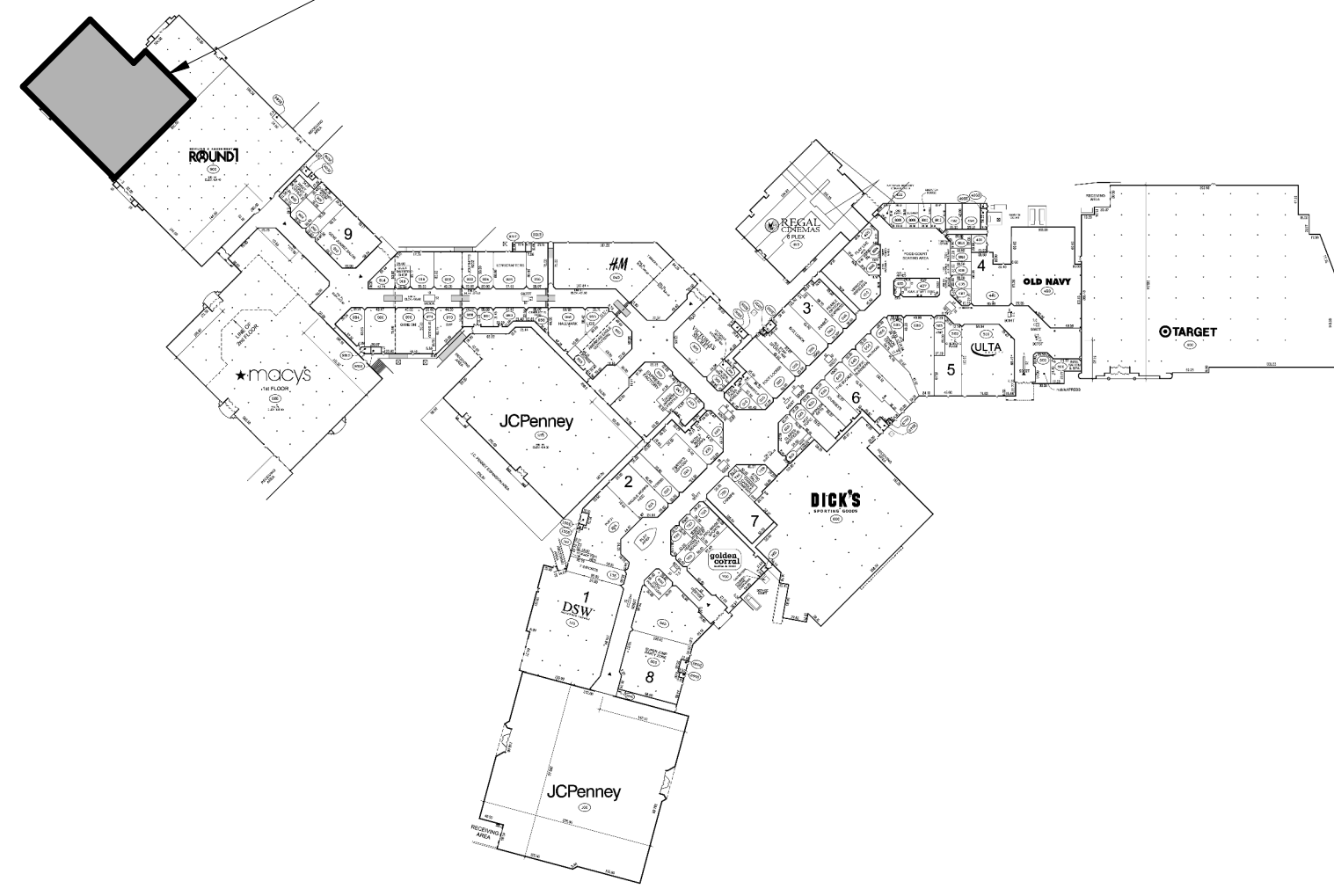


Approval of submitted plans is not an approval of omissions or oversight by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable building codes and regulations of the local government.

PROJECT LOCATION
UNIT # 900-20
"NEW LEVEL 360"



SITE LOCATION PLAN

NO SCALE

SCOPE OF THIS PERMIT:
Construction of demising walls to create new rated exit hall with new doors in the exterior wall and start of hall for Units 900-20 (New Level 360) and Unit 900-30 (Goldfish Swim School).

CODE INFORMATION

- APPLICABLE CODES:**
 - International Building Code (IBC), 2018
 - International Mechanical Code (IMC), 2018
 - Uniform Plumbing Code, 2018
 - International Fuel Gas Code, 2018
 - International Fire Code, 2018
 - National Electric Code (NFPA 70), 2014
 - Washington State Energy Code, 2018
 - ICC/ANSI A117.1, 2009
 - Washington State Amendments (Building, Mechanical, Fire, Plumbing, Energy and Electrical), Current
- TENANT AREA:**
 - Unit #900-20 - 35,680 S.F.
- CONSTRUCTION TYPE:**
 - '2-B' (IBC 1-601) - All steel column and beam framing system with metal roof decking. All wall, column, and roof materials are of non-combustible materials.
- USE GROUP:**
 - Covered Mall Building, as per IBC 402.0
 - Tenant Space Unit #900-20:
 - 'A3' Assembly, as per IBC 309.0 and an Anchor Store as defined in IBC 402.8
- OCCUPANCY:**
 - Refer to sheet G-001 "Code Compliance Plan" for complete and comprehensive occupancy calculations.
- EGRESS REQUIREMENTS:**
 - Refer to sheet G-001 "Code Compliance Plan" for complete and comprehensive egress calculations.
- FIRE RESISTIVE CONSTRUCTION:**
 - There are new and existing fire partition demising walls between this new tenant and the existing adjacent tenant of a minimum of 1 hour.
- FIRE PROTECTION SYSTEMS:**
 - The existing tenant space is protected with an automatic sprinkler system in accordance with NFPA 13. If there are to be any modifications to this system, the contractor shall be responsible for obtaining the services of a Washington certified sprinkler contractor, who will provide certified sprinkler shop drawing and calculations for all modifications.
- PLUMBING REQUIREMENTS:**
 - Refer to sheet G-001 "Code Compliance Plan" for complete and comprehensive plumbing calculations.
- SPECIAL INSPECTIONS:**
 - Special inspections shall be provided for this project by the owner and/or tenant, but scheduled by the contractor. The following items (as per IBC 1-1704.3 and 1-1704.4) require special inspections:
 - Structural concrete over 2,500 PSI
 - Structural steel fabrication
 - Field welding
 - Fire Resistive Joint Systems
 - Penetration fire Stopping

GENERAL NOTES

- THE WORK OF THESE CONTRACTS (LANDLORD AND TENANT) WITHIN AN EXISTING BUILDING SHELL CONSISTS, IN GENERAL AS FOLLOWS FOR A BASEBALL TRAINING FACILITY - AN OCCUPANCY PERMIT IS BEING REQUESTED FOR THIS WORK.
 - LANDLORD - LIMITED DEMOLITION, DEMISING PARTITIONS, MECHANICAL AND ELECTRICAL WORK FOR SPRINKLER ROOM AND EGRESS ACCESS HALL.
 - TENANT - COMPLETE INTERIOR BUILD-OUT INCLUDING BUT NOT LIMITED TO: ELECTRICAL, PLUMBING, MECHANICAL SYSTEMS, INTERIOR PARTITIONS AND FINISHES WITHIN UNIT 900-20.
- REFERENCE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION ON ALL ASPECTS OF THE WORK. PROJECT SPECIFICATIONS ALSO REFERENCE MANY OTHER BUILDING AND INDUSTRY STANDARDS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE STANDARDS, IN CONJUNCTION WITH THESE DRAWINGS AND SPECIFICATIONS. IF MORE STRINGENT OF AN ITEM IS LISTED IN THESE SPECIFICATIONS OR DRAWINGS, THEN THAT OF A REFERENCE STANDARD, THEN THAT ITEM MUST BE PROVIDED PER THE MORE STRINGENT REQUIREMENT. ANY DEVIATION OR OMISSION OF ANY WORK ITEM MUST MEET THE APPROVAL OF THE ARCHITECT PRIOR TO COMMENCEMENT OF THAT PORTION OF WORK.
- ALL DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTERLINE OF COLUMN OR TO FACE OF EXTERIOR BUILDING AND INTERIOR WALLS. THESE DIMENSIONS HAVE BEEN TAKEN OFF FROM EXISTING CONSTRUCTION DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED FOR EXACT ACCURACY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK BY ALL TRADES FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL USE THE LANDLORD'S CONSTRUCTION MANAGER AS THEIR FIRST POINT OF CONTACT WITH THE LANDLORD. DURING BIDDING, ALL INQUIRES MUST BE DIRECTED TO THE CONSTRUCTION MANAGER. AFTER AWARD OF CONTRACT, THE GENERAL CONTRACTOR MAY CONTACT THE ARCHITECT WHEN THE LANDLORD CONSTRUCTION MANAGER IS UNOBTAINABLE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION WORK SHOWN ON ALL DRAWINGS, AND SHALL COORDINATE WITH SUB-CONTRACTORS, AS REQUIRED. ALL SUB-CONTRACTORS SHALL REVIEW ALL DEMOLITION DRAWINGS, AND BE MADE AWARE THAT ADDITIONAL SELECTIVE DEMOLITION MAY BE SHOWN ON OTHER DRAWINGS.
- FOR CONFLICTS WITHIN THE DRAWINGS AND/OR SPECIFICATIONS, THE GENERAL CONTRACTOR SHALL INCLUDE IN THEIR BIDS, ALL ITEMS INCLUDED WITHIN THESE DRAWINGS AND SPECIFICATIONS, EVEN IF IT IS FOUND TO BE CONTRADICTION IN ANOTHER LOCATION WITHIN THESE DOCUMENTS. IF A CONFLICT IS FOUND, CONSULT WITH THE LANDLORD'S CONSTRUCTION MANAGER FOR CLARIFICATION, EITHER IF FOUND DURING THE BIDDING, OR PRIOR TO THE COMMENCEMENT OF THAT CONFLICTING PORTION OF THE WORK.
- WHERE THERE IS A DISCREPANCY ON THE CONTRACT DOCUMENTS WITH THE WORK, AND CONTRACTOR FAILED TO GET CLARIFICATION DURING THE BID PROCESS, THEN THE CONTRACTOR SHALL ASSUME IN HIS BID THE MOST STRINGENT OF THE ITEMS THAT ARE DISCREPANT.
- ANY REFERENCE TO "BY LANDLORD" SHALL CONSTITUTE THAT SUCH ITEM IS TO BE BY THIS CONTRACTOR. ANY REFERENCE TO "BY TENANT" SHALL CONSTITUTE THAT SUCH ITEM IS TO BE BY A SEPARATE OTHER CONTRACTOR. ANY ITEM NOT LABELED AS EXISTING OR EXC. SHALL BE CONSTRUED TO MEAN IT IS A NEW ITEM BY THIS CONTRACTOR. IN MANY REFERENCES, MOST NEW ITEMS ARE LABELED NEITHER: "BY LANDLORD" NOR "BY TENANT", BUT SHALL BE ASSUMED TO BE A NEW ITEM PERFORMED BY THIS CONTRACTOR.
- THE TENANT CONTRACTOR SHALL PROVIDE THE FOLLOWING DEFERRED SUBMITTALS WHICH SHALL BE RENDERED BY A PROFESSIONAL DESIGNER:
 - ELECTRICAL SYSTEMS
 - FIRE ALARM SYSTEMS
 - FIRE SPRINKLER SYSTEMS
 - MECHANICAL SYSTEMS
 - PLUMBING SYSTEMS
 - STRUCTURAL STEEL
- THE LANDLORD CONTRACTORS SHALL PROVIDE THE FOLLOWING DEFERRED SUBMITTALS WHICH SHALL BE RENDERED BY A PROFESSIONAL DESIGNER:
 - FIRE ALARM SYSTEMS
 - FIRE SPRINKLER SYSTEMS

GENERAL NOTES

NEW LEVEL 360 - UNIT 900-20

SOUTH HILL MALL

3500 South Meridian Blvd

Puyallup, WA 98373

ARCHITECTURAL

No.	Name	Revision Date	No.
G-000	CODE INFORMATION AND DRAWING INDEX	01-04-23	3
G-001	CODE COMPLIANCE PLAN	01-04-23	2
G-002	RESPONSIBILITY SCHEDULE		
G-003	U.L. DETAILS		
D-100	FLOOR PLAN - DEMOLITION	11-29-22	1
A-101	FLOOR PLAN	01-04-23	3
A-102	ENLARGED PLANS AND SCHEDULES	01-04-23	2
A-200	CEILING PLAN	11-29-22	2
A-201	CEILING PLAN - MEP	11-29-22	2
A-300	ROOF PLAN	11-29-22	2
A-700	SCHEDULES AND DETAILS	01-04-23	3

STRUCTURAL

No.	Name	Revision Date	No.
3.	Structural		
S-100	STRUCTURAL SKETCHES	11-29-22	1

PLUMBING / MECHANICAL / ELECTRICAL

No.	Name	Revision Date	No.
6.	Plumbing		
TP0.01	SCHEDULES - PLUMBING	10-5-2022	1
DP2.01	NOT USED	11-29-22	1
TP2.01	1st FLOOR PLAN - PLUMBING	11-29-22	2
7.	Mechanical		
TM0.01	SCHEDULES - HVAC	11-29-22	2
TM0.01S	SITE PLAN	10-5-2022	1
TM2.01	1st FLOOR PARTIAL PLAN - HVAC	10-5-2022	1
DM2.02	ROOF PARTIAL DEMO PLAN - HVAC	10-5-2022	1
TM2.02	ROOF PARTIAL PLAN - HVAC	10-5-2022	1

THE APPROVED CONSTRUCTION PLANS AND ALL ENGINEERING DOCUMENTS MUST BE POSTED ON THE JOB AT ALL INSPECTIONS IN A VISIBLE AND READILY ACCESSIBLE LOCATION.

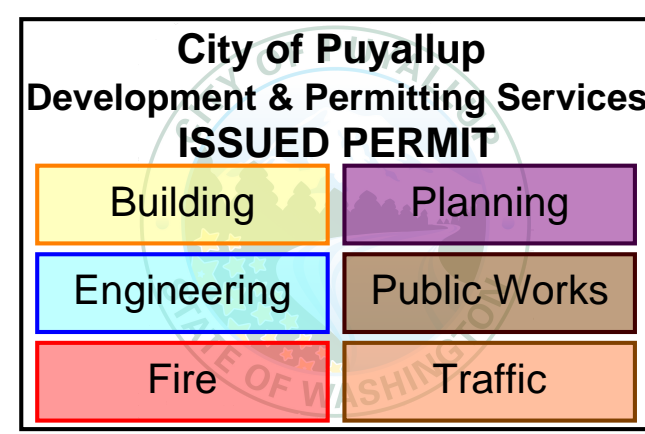
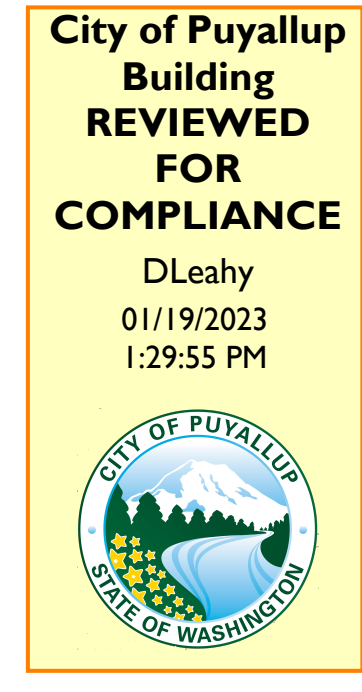
FULL SIZED LEDGIBLE COLOR PLANS ARE REQUIRED TO BE PROVIDED BY THE PERMITTEE ON SITE FOR ALL INSPECTIONS MIN. PLAN SIZE 24 X 36

DRAWING ABBREVIATIONS

&	AND	MAX	MAXIMUM
L	ANGLE	MBL	MARBLE
@	AT	MECH	MECHANICAL
CL	CENTER LINE	MFR(S)	MANUFACTURER(S)
#	FOUND OR NUMBER	MH	MANHOLE
ACT	ACOUSTICAL CEILING TILE	MIN	MINIMUM
A.F.F	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MO	MASONRY OPENING
APPROX	APPROXIMATELY	M.R.	MOISTURE RESISTANT
ARCH	ARCHITECTURE(URAL)	MTD	MOUNTED
A/C	AIR CONDITIONING	MTG	MOUNTING
		MIL	METAL
BLDG	BUILDING	N/A	NOT APPLICABLE
BRG	BEARING	NIC	NOT IN CONTRACT
CB	CATCH BASIN	NO.	NUMBER
C.J.	CONTROL JOINT	NOM.	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	O.A.	OVERALL
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	O.H.	OVER HEAD
CONT	CONTINUOUS	OPH	OPPOSITE HAND
CPT	CARPET	OPP	OPPOSITE
C.T.	CERAMIC TILE	PDT.	PAINTED
CU FT	CUBIC FOOT	PL	PLATE
CU YD	CUBIC YARD	PLM	PLASTIC LAMINATE
		PNT	PAINT
DEPT.	DEPARTMENT	R	RADIUS
DET.	DETAIL	RD	ROOF DRAIN
DF	DRINKING FOUNTAIN	REIN	REINFORCE
DIA	DIAMETER	REQD	REQUIRED
DIAM	DIMENSION	RL	ROOF LEADER
DS	DOWN SPOUT	RO	ROUGH OPENING
DWG	DRAWING(S)	RTU	HVAC UNIT
E.I.F.S.	EXT. INSULATION & FINISH SYSTEM	SC	SOLID CORE
E.J.	EXPANSION JOINT	SCWD	SOLID CORE WOOD
ELEC	ELECTRICAL	SD	STORM DRAIN
EMER.	EMERGENCY	SECT.	SECTION
EQ	EQUAL	SO	SQUARE
E.W.C.	ELECTRIC WATER COOLER	SO FT	SQUARE FOOT
EXC.	EXISTING	SQ IN	SQUARE INCH
EXP	EXPANSION	SO YD	SQUARE YARD
EXT	EXTERIOR	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
FHC	FIRE HOSE CABINET	T	TEMPERED
FIN	FINISH	TC	TOP OF CURB
F.R.T.	FIRE-RETARDANT TREATED	T&G	TONGUE AND GROOVE
FIG.	FOOTING	T.G.	TEMPERED GLASS
		THK.	THICK
GA	GAUGE(GAGE)	THRU	THROUGH
GALV	GALVANIZED	T.J.G.	TEMPERED INSULATED
GB	GRAB BAR	TJ.G.	TEMPERED INSULATED
GC	GENERAL CONTRACTOR	TJ.G.	TEMPERED INSULATED
GYP.	GYPSPUM	TJ.G.	TEMPERED INSULATED
GYPBD.	GYPSPUM WALLBOARD	TJ.G.	TEMPERED INSULATED
		TLT	TOILET
H.B.	HOSE BIBB	T.O.A.	TOP OF MASONRY
H.C.	HANDICAPPED ACCESSIBLE	T.O.S.	TOP OF STEEL
H.C.C.	HOLLOW CORE	TP	TOP OF PAVEMENT
H.C.MET.	HOLLOW METAL	TS	TUBE STEEL
HORIZ.	HORIZONTAL	TV	TELEVISION
HT	HEIGHT	T.W.	TOP OF WALL
HVAC	HEATING VENTILATING AIR CONDITIONING	TYP.	TYPICAL
		U.G.	UNDERGROUND
INFO.	INFORMATION	U.N.O.	UNLESS NOTED
INSUL	INSULATION	OTHERWISE	OTHERWISE
INT.	INTERIOR	U.R.	URINAL
LAM	LAMINATE	VCT	VINYL COMPOSITE TILE
LAV	LAVATORY	VERT	VERTICAL
LB	POUND	V.F.F.	VERIFY IN FIELD
		VT	VINYL TILE
		V.T.R.	VENT THROUGH ROOF
		VWC	VINYL WALL COVERING
		WH	WATER HEATER
		WWF	WELDED WIRE FABRIC
		WT	WEIGHT

SEE FIRE CONDITIONS FIRE CONDITIONS ARE REQUIRED TO BE COMPLETED PRIOR TO FINAL

BUILDING PERMIT ONLY 2018 CODES

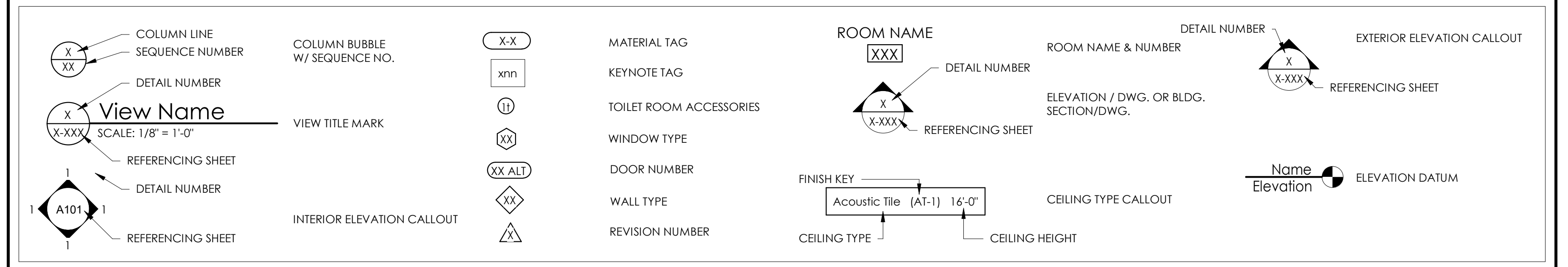


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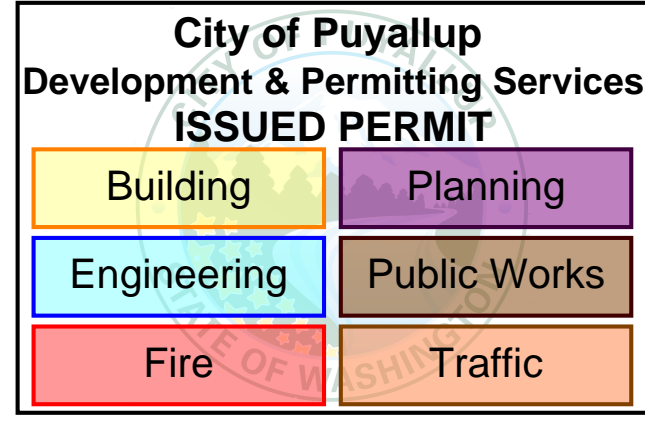
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CODE INFORMATION AND DRAWING INDEX

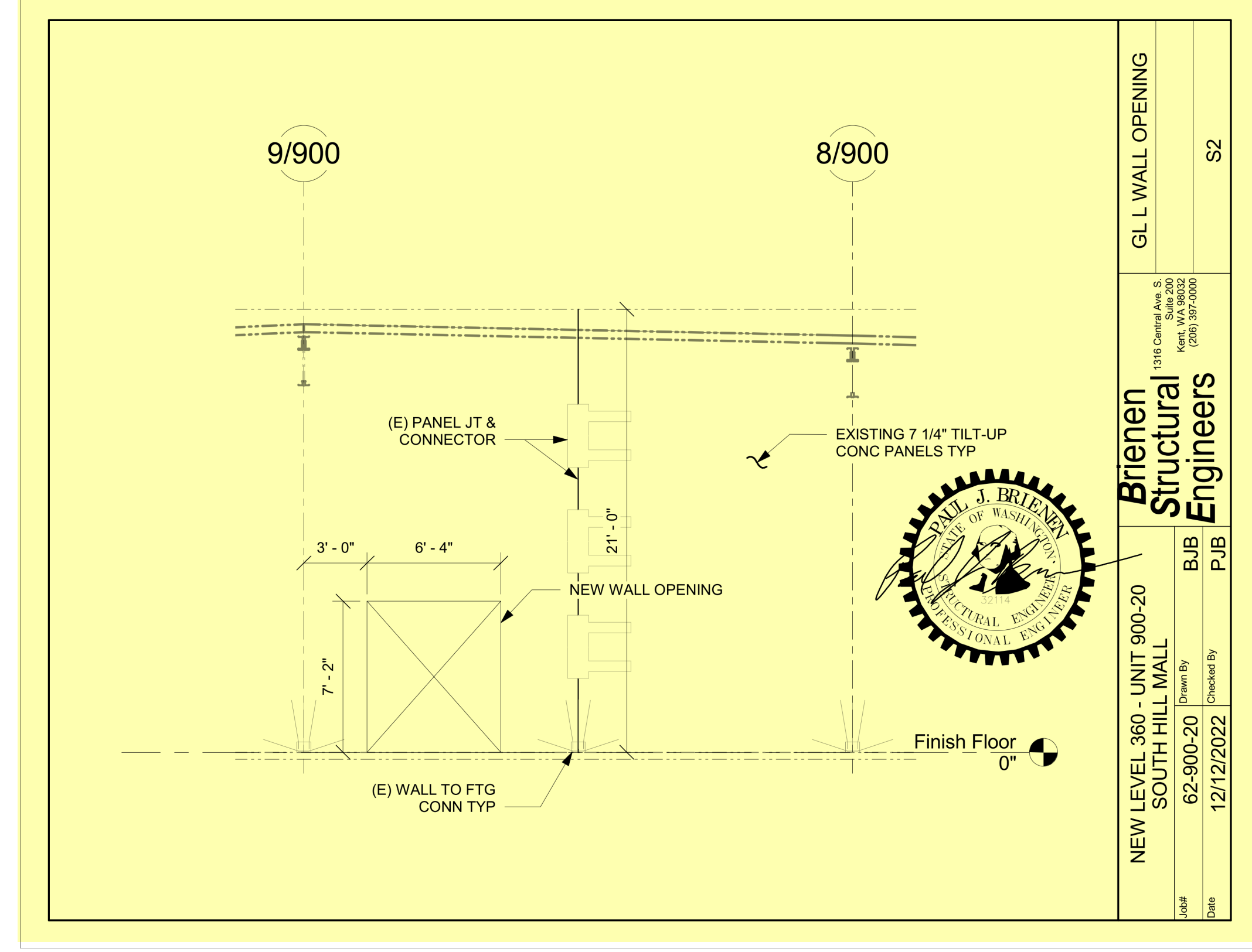
NEW LEVEL 360 - UNIT 900-20
SOUTH HILL MALL
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Project No.: 62-900-20
Date: 7-8-2022
Drawn By: TGE
Checked By: RP

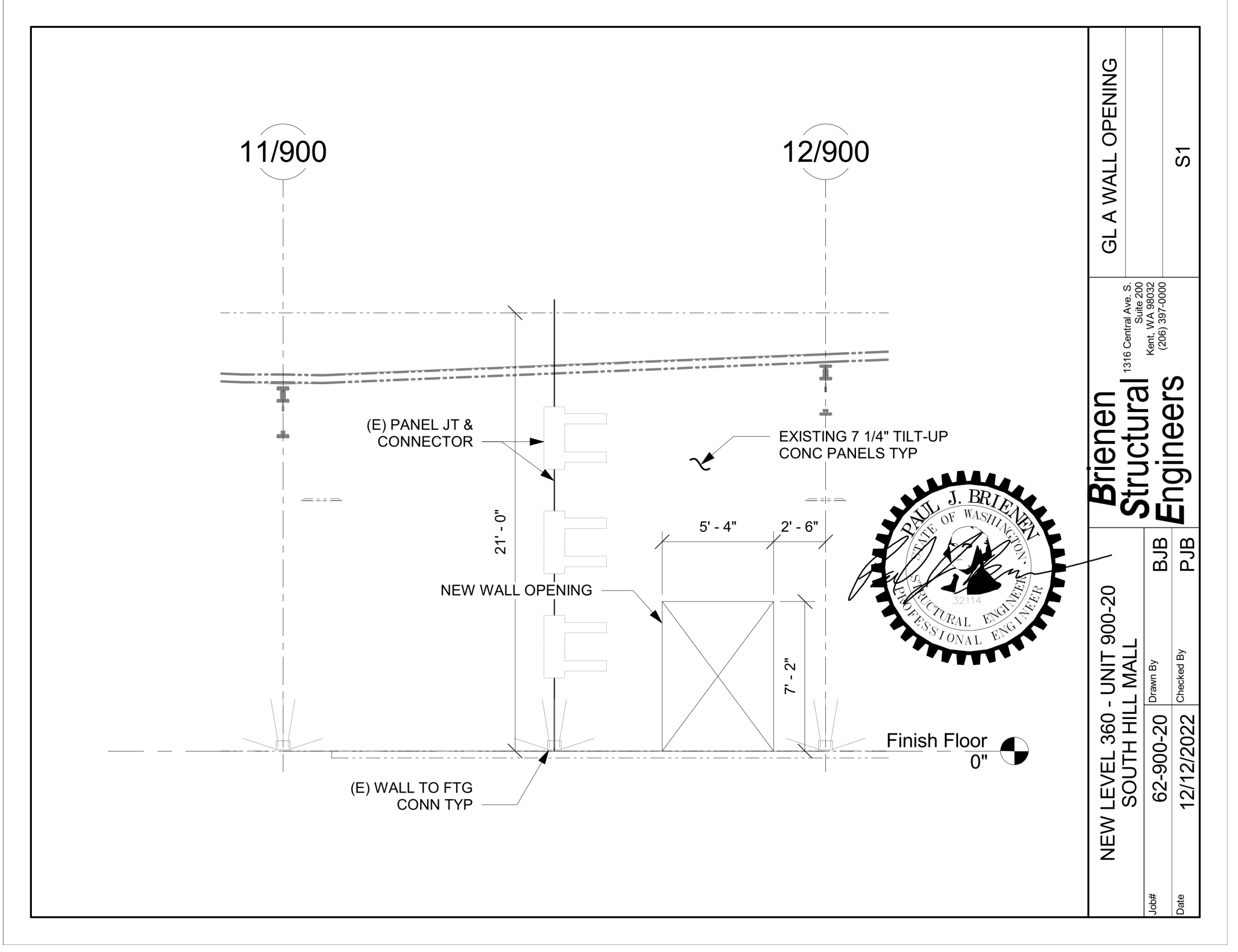
G-000



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NEW LEVEL 360 - UNIT 900-20 SOUTH HILL MALL		Brien Structural Engineers		GL L WALL OPENING	
Sheet No.	62-900-20	Drawn By	BJB	Checked By	PJB
Date	12/12/2022				



NEW LEVEL 360 - UNIT 900-20 SOUTH HILL MALL		Brien Structural Engineers		GL A WALL OPENING	
Sheet No.	62-900-20	Drawn By	BJB	Checked By	PJB
Date	12/12/2022				

S-100

Checked By: PB

Drawn By: BB

Date: 7-8-2022

Project No.: 62-900-20

Project Information:
NEW LEVEL 360 - UNIT 900-20
SOUTH HILL MALL
3300 South Meridian Blvd
Puyallup, WA 98373

Sheet Title:
STRUCTURAL SKETCHES

Revisi n No.	Description	Date	Issed By
1	Submittal	11/28/22	SGS

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- Est. 1949 -