

CHEERS PUYALLUP

PERMIT SET

JANUARY 15, 2021

VICINITY MAP



LEGAL DESCRIPTION

Section 04 Township 19 Range 04 Quarter 43 SOUTH HILL MALL PH II BSP L 5 OF DBLR 2005-05-25-5002 DESC AS FOLL BEG AT INTER OF C/L OF MERIDIAN ST & C/L OF 112TH ST E SD PT SE COR OF SE TH 89 DEG 22 MIN 01 SEC W ALG C/E OF SD 112TH ST E 2741.97 FT TO A PT INTER OF C/L OF LAKEVIEW-PUYALLUP RD & C/L OF 94TH AVE E SD PT S 1/4 COR OF SEC TH N ALG E C/L OF 94TH AVE E 984.61 FT TO A PT TH E & LEAVING C/L OF SD 94TH AVE E 40 FT TO A PT ON ELY R/W LI OF SD 94TH AVE E TH N 45 DEG 00 MIN 00 SEC E 70.71 FT TH E CONT ALG SD R/W LI 40 FT TH N CONT SD R/W LI 14.50 FT TH E & LEAVING SD R/W LI OF 94TH AVE E 1 FT TO NW OF COR OF L 1 OF DBLR 9603070322 ALSO BEING NW COR OF L 1 BSP 9505310496 TH CONT E ALG N LI OF SD L 1 275.44 FT TO A C TO R TH CON ALG NLY & ELY LI OF SD L 1 ALG ARC OF C TO R 77.86 FT TO PT OF TANG OF SD CURVE RAD 49.50 FT & CENT ANGLE OF 90 DEG 07 MIN 07 SEC TH S 00 DEG 07 MIN 07 SEC W ALG ELY LI OF SD L 1 OF DBLR & ELY LI OF L 2 OF DBLR 9903115001 290 FT TH S 89 DEG 52 MIN 53 SEC E CONT ALG ELY LI OF SD L 2 5 FT TH S 00 DEG 07 MIN 07 SEC W CONT ALG ELY OF L 2 & 3 OF SD DBLR & ELY LI OF L 4 & 5 OF SD BSP 225.22 FT TH W 100 FT TO POB TH S 00 DEG 07 MIN 07 SEC W 138.23 TH N 89 DEG 22 MIN 01 SEC W 16.77 FT TH S 00 DEG 00 MIN 54 SEC W 15.66 FT TH N 89 DEG 19 MIN 54 SEC W 220.83 FT TH N ALG WLY LI OF SD L 5 & L 4 OF DBLR 200206125008 151.13 FT TO A PT W 237.87 FT OF POB TH E 237.87 FT TO POB OUT OF 005-0 SEG R-0098 07/29/02CL DC09/15/05CL

GENERAL PROJECT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CONTENT OF THESE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PREVIEW DESIGN INTENT AS SUBSTANTIATED IN THESE DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ISSUE REQUEST FOR INFORMATION (RFI'S) INQUIRIES TO THE OWNER AND THE ARCHITECT WHERE DESIGN INTENT IS NOT SELF EVIDENT TO ELIMINATE DETRIMENTAL INTERPRETATIONS.
- IN THE EVENT THE CONTRACTOR FINDS A CONFLICT OR DISCREPANCY WITH THESE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING. SHOULD THE CONTRACTOR PROCEED WITHOUT NOTIFYING THE ARCHITECT OF SUCH CONFLICT, THE CONTRACTOR SHALL BE PROCEEDING AT THEIR OWN RISK & ASSOCIATED LIABILITY.
- THESE DRAWINGS SERVE TO REPRESENT DESIGN INTENT AS DIRECTED BY THE OWNER & COMPLIANT WITH GOVERNING JURISDICTIONAL LAW. IN NO WAY SHALL THESE DRAWINGS SERVE TO DICTATE METHODS OF CONSTRUCTION RELATIVE TO ADHERENCE TO EITHER. IT IS THE CONTRACTOR'S & OWNER'S RESPONSIBILITY TO WORK WITHIN THE PARAMETERS OF THE AGENCY APPROVED DOCUMENTS TO MAINTAIN THE INTEGRITY OF THE DESIGN INTENT AND AGENCY COMPLIANCE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE WSEC REQUIREMENTS AND MEET ANY AND ALL REQUIREMENTS FOR COMPLETING A PROPERLY INSULATED AND SEALED SHELL (WHERE APPLICABLE). THIS INCLUDES MEETING WSEC REQUIREMENTS FOR LIMITING AIR INFILTRATION.

PROJECT TEAM

OWNER:
ALI KASHI
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LACEY WA 98503
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ARCHITECT:
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CONTACT: JUSTIN LOSEY
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PROPERTY MANAGER:
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SOUTH HILL MALL
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PUYALLUP, WA 98373
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EMAIL: PROPERTYMANAGER@SOUTH HILL MALL.COM

TENANT COORDINATOR:
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APPROVED PLAN
CITY OF PUYALLUP
PLANNING DIVISION

APPROVED BY: RNBrown
DATE: 10/27/2022

CASE NO.: PRCTI20221460

CONDITIONS:
No design review required, external changes are not visible from ROW

PROJECT CODE ANALYSIS

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE
(including IBC 2015-WIBC Amendments, w/IEBC-2018 and ANSI-2009)

2018 INTERNATIONAL MECHANICAL CODE
(including IMC 2018-WIBC Amendments, w/ IFGC-2018, NFPA-54, NFPA-58)

2018 INTERNATIONAL FIRE CODE
(including IFC 2018-WIBC Amendments)

2018 UNIFORM PLUMBING CODE
(including UPC 2018-WIBC Amendments)

2017 NATIONAL ELECTRICAL CODE (NFPA 70) - SEE DEPT. OF L&I ADOPTION/ AMENDMENTS

2018 INTERNATIONAL FUEL GAS CODE (WAC 51-50)

2018 WASHINGTON STATE ENERGY CODE (WAC 51-11C)

ICC / ANSI A.117-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
(including IBC 2018-WIBC Amendments, w/IEBC-2018 and ANSI-2009)

CITY CODE - PUYALLUP MUNICIPAL CODE

PROJECT NAME CHEERS PUYALLUP

PROJECT DESCRIPTION TI OF EXISTING RESTAURANT TO NEW RESTAURANT. NEW EXTERIOR SIGNAGE.
Existing Building Sq Ft: 6,752 (No change to Footprint)

ADDRESS 3811 9TH ST SW, PUYALLUP, WA 98373

JURISDICTION CITY OF PUYALLUP

ZONE CCX - Community Commercial Mixed Use

PARCEL NUMBER 6021590051

SITE AREA 0.826 Acres (35,992 sq. ft.)

IBC OCCUPANCY CLASS A-2 - Restaurant

IBC CONSTRUCTION TYPE VB - Restaurant

FIRE SPRINKLER Yes, per IBC 903.2.9.1 (EXISTING)

STORIES AND HEIGHT 20.31.026 Building form standards - Allowed: 75'-125'
Existing Building: 24'-6"

SETBACKS 20.31.026 Building form standards
Front: 20'-0"
Street Side: 10'-0"
Rear Yard: 0'-0"

PARKING

(22) Restaurants, bars, taverns and other similar establishments whose primary business is the on-site sale and consumption of food and beverages: one space for each 100 square feet of gross floor area;

Required: 68 Spaces
Provided - 83 spaces, with 4 ADA, Van Compliant

LANDSCAPE Existing

IMPERVIOUS SURFACE 85% maximum (approx. 30,593 SF)

DRAWING INDEX

SHEET INDEX		
Sheet Number	Sheet Name	Revision Date
03 - Demo		
D2.01	FIRST FLOOR DEMO & CLEAN-UP PLAN	
04 - Architecture		
A1.01	SITE PLAN	
A2.01	FIRST FLOOR PLAN	
A3.01	EXTERIOR ELEVATIONS	
A3.02	EXTERIOR ELEVATIONS	
P1.0	PLUMBING FIXTURE PLAN	1/12/23

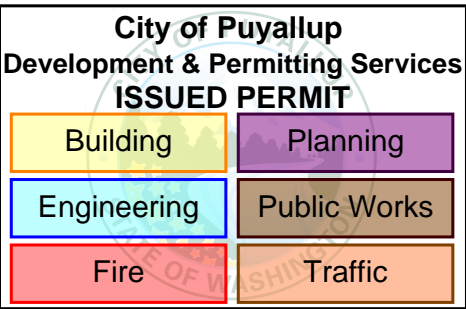
THE FOLLOWING DRAWINGS / FORMS ARE BEING SUBMITTED:

01. ARCHITECTURE DRAWINGS
02. WSEC ENV15-V4 FORM
03. STRUCTURAL DRAWINGS
04. STRUCTURAL CALCS

SEPARATE SUBMITTAL PERMITS

THE FOLLOWING SEPARATE PERMIT SUBMITTALS SHALL BE RUN CONCURRENTLY, AND TO BE DESIGNED AND SUBMITTED BY THE SELECTED DESIGN-BUILD SUBCONTRACTOR:

01. PLUMBING DRAWINGS
02. MECHANICAL DRAWINGS IF REQUIRED (NO CHANGE TO MECHANICAL SYSTEM PROPOSED)
03. WSEC LIGHTING FORM



Approval of submitted plans is not an approval of omissions or oversights by this office or noncompliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

OCCUPANCY ANALYSIS

OCCUPANT LOAD FACTORS

IBC Table 1004.1.2, small assembly spaces Section 303.1.2

Office/Business	150	100 sf / person on gross sf
Assembly unconcentrated		15 sf / person on net sf
Accessory storage/ mechanical		300 sf / person on gross sf
Kitchen, Commercial		200 sf / person on gross sf

GROSS FLOOR AREA AS DEFINED BY IBC (INSIDE FACE OF EXTERIOR WALL)

IBC Table 1004.1.2 - commentary: If a specific type of facility is not found in this table, the occupancy it most closely resembles should be utilized.

EGRESS WIDTHS

IBC 1005.3.1 & 1005.3.2

Story area	OL / #exits	egress	stairs	min width required **	width provided **
6,752 sf	299 / 3	0.2 / 0.15 fs	0.3 / 0.2 fs	egress 14.95"/stair NA*	72" doors

Occupant load per door size: 36" doors = 240 ol

IBC 1005.5 Multiple means of egress shall be sized such that the loss of any one means of egress shall not reduce the available capacity to less than 50 percent of the required capacity.

TRAVEL DISTANCE

IBC TABLE 1017.2

MAXIMUM EXIT ACCESS TRAVEL DISTANCE FOR A-2 AND B OCCUPANCY WITH SPRINKLERS = 300 FT
MAXIMUM EXIT ACCESS TRAVEL DISTANCE FOR S-2 OCCUPANCY WITHOUT SPRINKLERS = 300 FT

A-2, B = with fs 300'
S-2= with fs 400'

NUMBER OF EXITS

IBC TABLE 1006.3.1, TABLE 1006.2.1

SPACES WITH ONE EXIT-OCCUPANT LOAD	49 @ OCCUPANCY	A-2 (75' max travel distance)
	49 @ OCCUPANCY	B (100' max travel distance)
	29 @ OCCUPANCY	S (100' max travel distance)

TOTAL OCCUPANTS: Business 1 + Assembly 297 + Storage 1 = 299 OL
3 EXITS PROVIDED (2 EXITS REQUIRED)

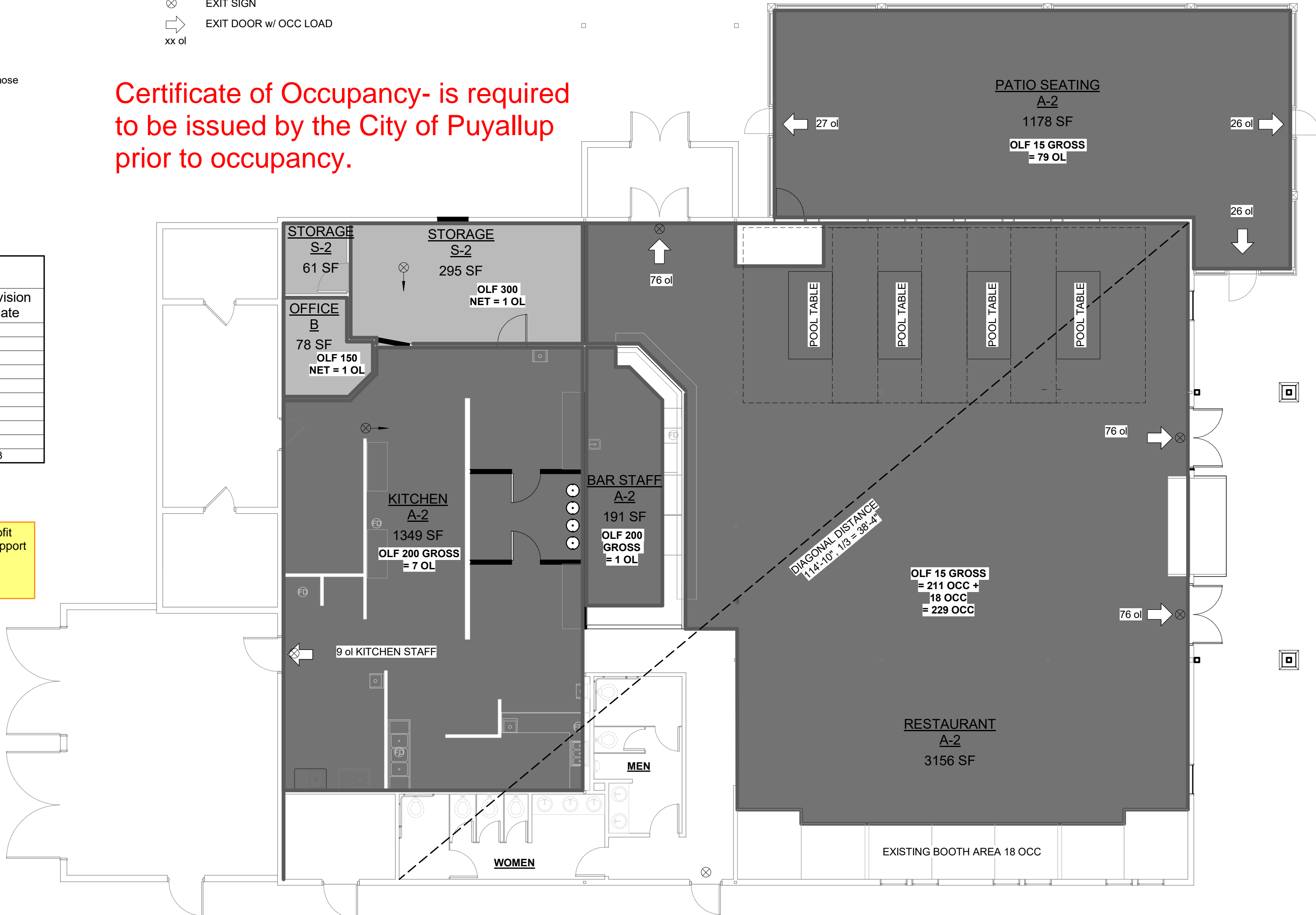
EXIT ARRANGEMENT

IBC 1007.1.1 exc 2) & IBC 1007.1.2

WHERE TWO EXITS ARE REQUIRED WITH FIRE SPRINKLERED BUILDING. SEPARATION DISTANCE SHALL NOT BE LESS THAN 1/3 OF LENGTH OF MAXIMUM OVERALL DIAGONAL DIMENSION OF AREA SERVED.

- EXIT SIGN
- EXIT DOOR w/ OCC LOAD
- xx ol

Certificate of Occupancy- is required to be issued by the City of Puyallup prior to occupancy.



1 CODE - FIRST FLOOR FIRE / LIFE SAFETY
1/8" = 1'-0"

PRCTI20221460

PLUMBING

IBC Table 2909.1

OCCUPANCY GROUP: A-2 RESTAURANT
TOTAL A-2 OCCUPANTS: 317 OCCUPANTS
RESTROOMS: RESTAURANT 211 + 18 = 229 OL
TOILETS - 1 PER 75 OCCUPANTS
SINKS - 1 PER 200 OCCUPANTS
PATIO SEATING = 79 OL
TOILETS - 1 PER 75 OCCUPANTS
SINKS - 1 PER 200 OCCUPANTS
KITCHEN, COMMERCIAL: 7 + 1 + 1 = 9 OL
TOILETS - 1 PER 75 OCCUPANTS
SINKS - 1 PER 200 OCCUPANTS

OCCUPANCY GROUP: B - BUSINESS
TOTAL B OCCUPANTS: 1 OCCUPANTS
RESTROOMS: TOILETS - 1 PER 25 OCCUPANTS
SINKS - 1 PER 40 OCCUPANTS

OCCUPANCY GROUP: S-2 - WAREHOUSE
TOTAL S-2 OCCUPANTS: 1 OCCUPANTS
RESTROOMS: TOILETS - 1 PER 100 OCCUPANTS
SINKS - 1 PER 100 OCCUPANTS

PROVIDED RESTROOMS: 7 TOILETS
1 URINAL
6 SINKS

TOTAL OCCUPANTS: 319 OCCUPANTS

Prior to occupancy the existing external grease interceptor must be cleaned and inspected.

City of Puyallup
Development & Permitting Services
Engineering APPROVED

See permit for additional requirements.

Linda Lian
10/11/2022
1:44:12 PM



All commercial development must have a sampling tee installed on their sewer lateral. See Standard Detail 04.03.04

City of Puyallup
Building APPROVED

See permit for additional requirements.

JMontgomery
12/20/2022
7:22:18 AM



WEDDERMANN

ARCHITECTURE

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REGISTERED ARCHITECT

7815

JENNIFER WEDDERMANN

STATE OF WASHINGTON

PROJECT

ALI KASHI

CHEERS PUYALLUP

3811 9th St SW

Puyallup, WA 98373

REVISIONS

Description

Rev#

Date

INFO

01/10/20

20156

CHEERS IN PUYALLUP

11/8/22

1/13/2023 12:23:51 PM

SHEET NAME

COVER

PERMIT SET

SHEET NO.

COVER

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Engineering

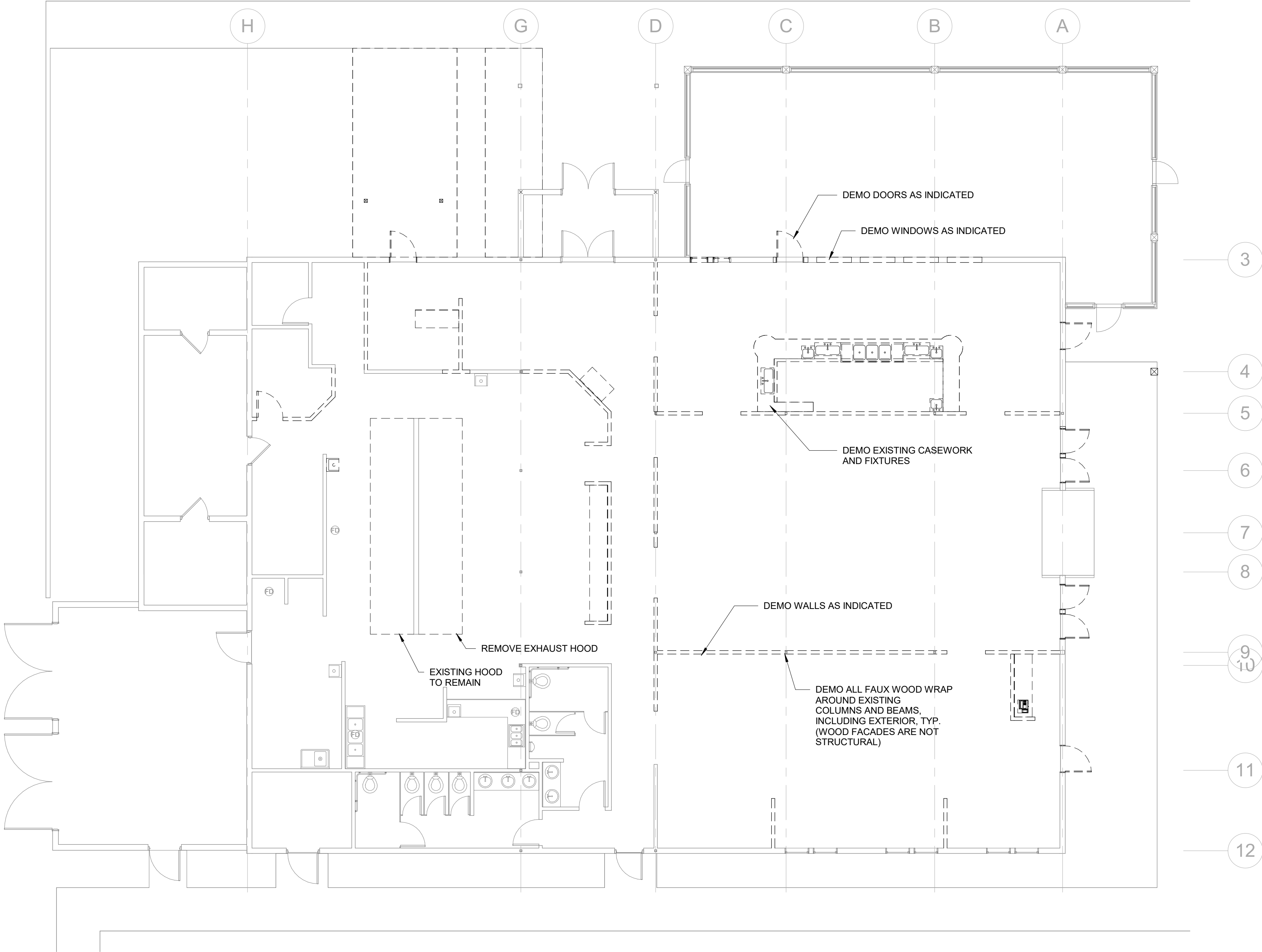
Fire

Planning

Public Works

Traffic

See separate structural retrofit drawing from engineer to support shear walls removed.
REQUIRED TO BE RE-ENFORCED



1 FIRST FLOOR DEMO
1/8" = 1'-0" Project North

PROJECT	WEDDERMANN		ARCHITECTURE	
	ALI KASHI		JENNIFER WEDDERMANN, AIA, LEED AP	
	CHEERS PUYALLUP		2302 A STREET TACOMA, WA 98405 (253) 973-6611 JENNIFER@WEDDERMANN.COM	
REVISIONS	7815 REGISTERED ARCHITECT <i>Jennifer Weddermann</i> JENNIFER WEDDERMANN STATE OF WASHINGTON			
	Description		3811 9th St SW Puyallup, WA 98373	
	Rev# Date			
INFO	01/01/20		20186	
	Start Date		Project Number:	
	1/13/2023 12:23:52 PM		File Name:	
SHEET NAME	FIRST FLOOR DEMO & CLEAN-UP PLAN		PERMIT SET	
	SHEET NO.		D2.01	

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

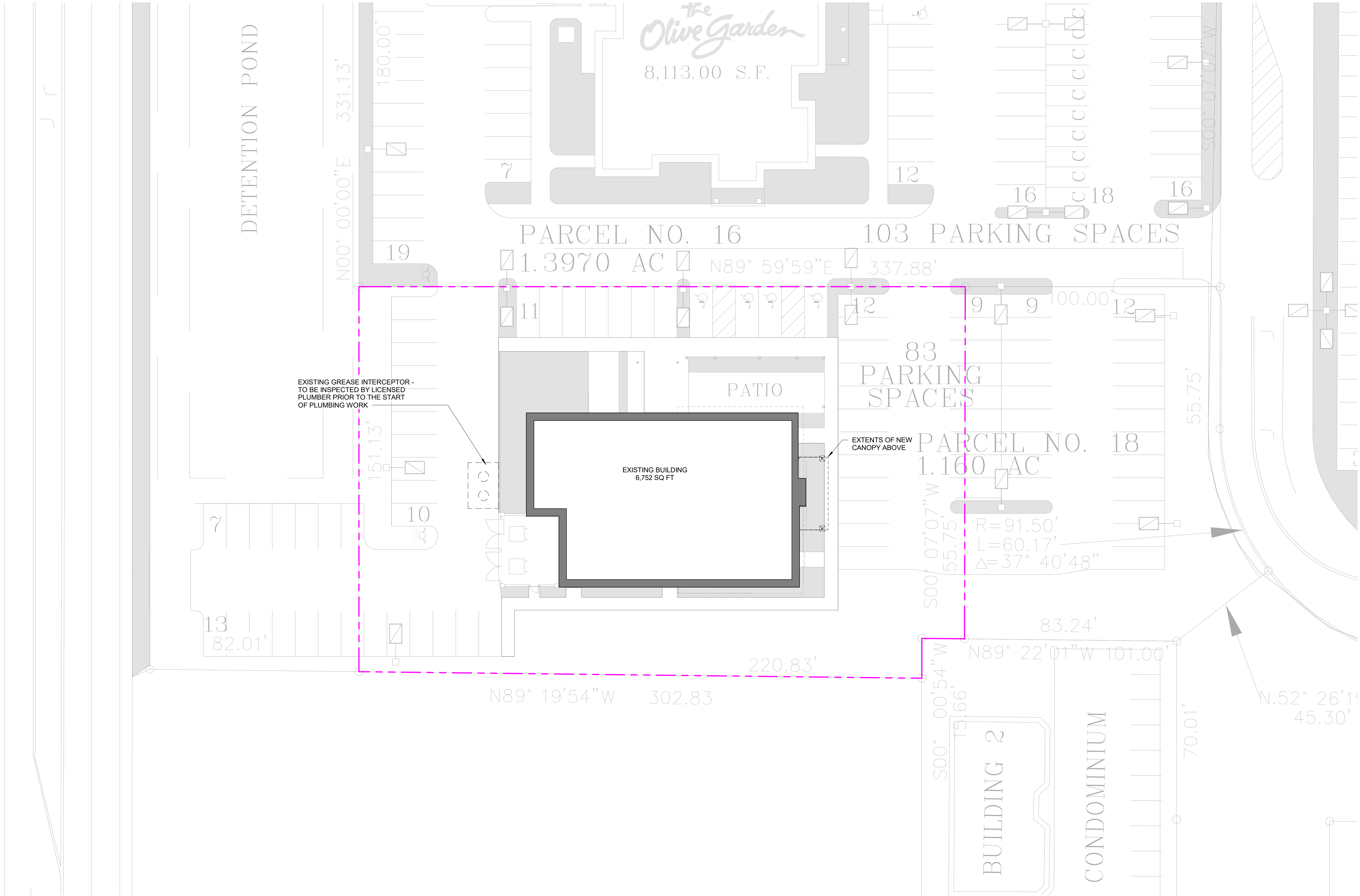
Planning

Engineering

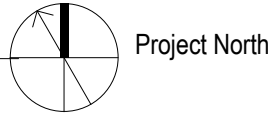
Public Works

Fire

Traffic



1 SITE PLAN
1" = 20'-0"



SHEET NAME	INFO	REVISIONS	PROJECT	WEDDERMANN	
				REGISTERED ARCHITECT 7815 <i>Jennifer Weddermann</i> JENNIFER WEDDERMANN STATE OF WASHINGTON	ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253) 973-6611 JENNIFER@WEDDERMANN.COM
SITE PLAN	Start Date: 01/10/20 Project Number: 20186 File Name: CHEERS IN PUYALLUP	Description Rev# Date	ALI KASHI CHEERS PUYALLUP 3811 9th St SW Puyallup, WA 98373		
PERMIT SET	Rev Date: 11/3/2023 12:23:45 PM				
SHEET NO.				A1.01	

EQUIPMENT LIST							
#	ITEM NAME	QTY	MAKE	MODEL	NOTES	CW	HW
1.	CONVECTION OVEN	1	VULCAN	VC4ED-12D1	ELECTRIC		
2.	FRYER	1	AVANTCO	FF300	40 LBS; NATURAL GAS		
3.	FRYER	3	AVANTCO	FF518	70-100 LBS; NATURAL GAS		
4.	MICROWAVE	1	AMANA	RCS10TS			
5.	FREEZER	1	AVANTCO	SS-UC-60F-HC	UNDERCOUNTER; 60"		
6.	GRIDDLE	1	CPG	GM-CPG-48-NL	NATURAL GAS		
7.	BROILER	1	CPG	CR-CPG-48-NL	NATURAL GAS		
8.	PREP REFRIGERATOR	3	AVANTCO	SS-PT-48M-HC			
9.	TOASTER	1	WARING	WCT708			
10.	FOOD PROCESSOR	1	WARING	WFP11S			
11.	PANINI PRESS	1	WARING	WPG250			
12.	RICE COOKER	1	PROCTOR SILEX	37560R			
13.	STEAM TABLE	1	AVANTCO	STE-3S	ELECTRIC		
14.	ICE MACHINE	1					
15.	REACH-IN COOLER	1	AVANTCO	178UBB4GHC			
16.	DISHWASHER						
17.	GLASS WASHER	1	JACKSON DELTA	490DELTA5X			
18.	ICE BIN	1	REGENCY	600IB1836CP			
19.	PREP SINK	1	ADVANCE TABCO	94-1-24-18R	MEAT SINK		
20.	HAND SINK	1	REGENCY	600HS12SP			

PRCTI20221460

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

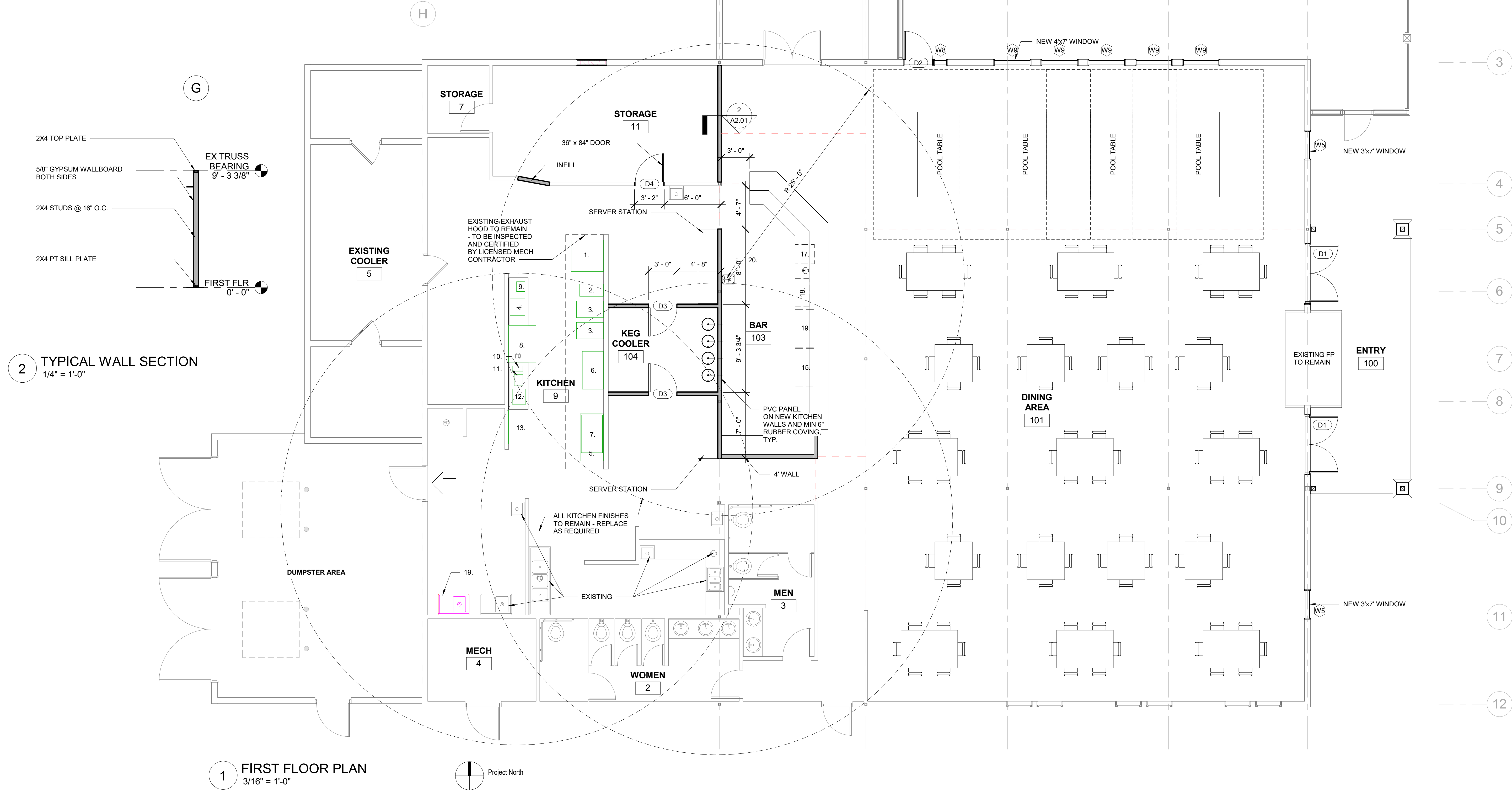
Engineering

Fire

Planning

Public Works

Traffic



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FIRST FLOOR PLAN	01/10/2020156 CHEERS IN PUYALLUP			ALI KASHI CHEERS PUYALLUP 3811 9th St SW Puyallup, WA 98373	ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 JENNIFER@WEDDERMANN.COM
PERMIT SET					
SHEET NO.		A2.01			

PRCTI20221460

City of Puyallup
Development & Permitting Services

ISSUED PERMIT

Building

Engineering

Fire

Planning

Public Works

Traffic

WEDDERMANN

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7815
REGISTERED
ARCHITECT



JENNIFER WEDDERMANN
STATE OF WASHINGTON

PROJECT

ALI KASHI
CHEERS PUYALLUP
3811 9th St SW
Puyallup, WA 98373

REVISIONS

Description

Rev# Date

INFO

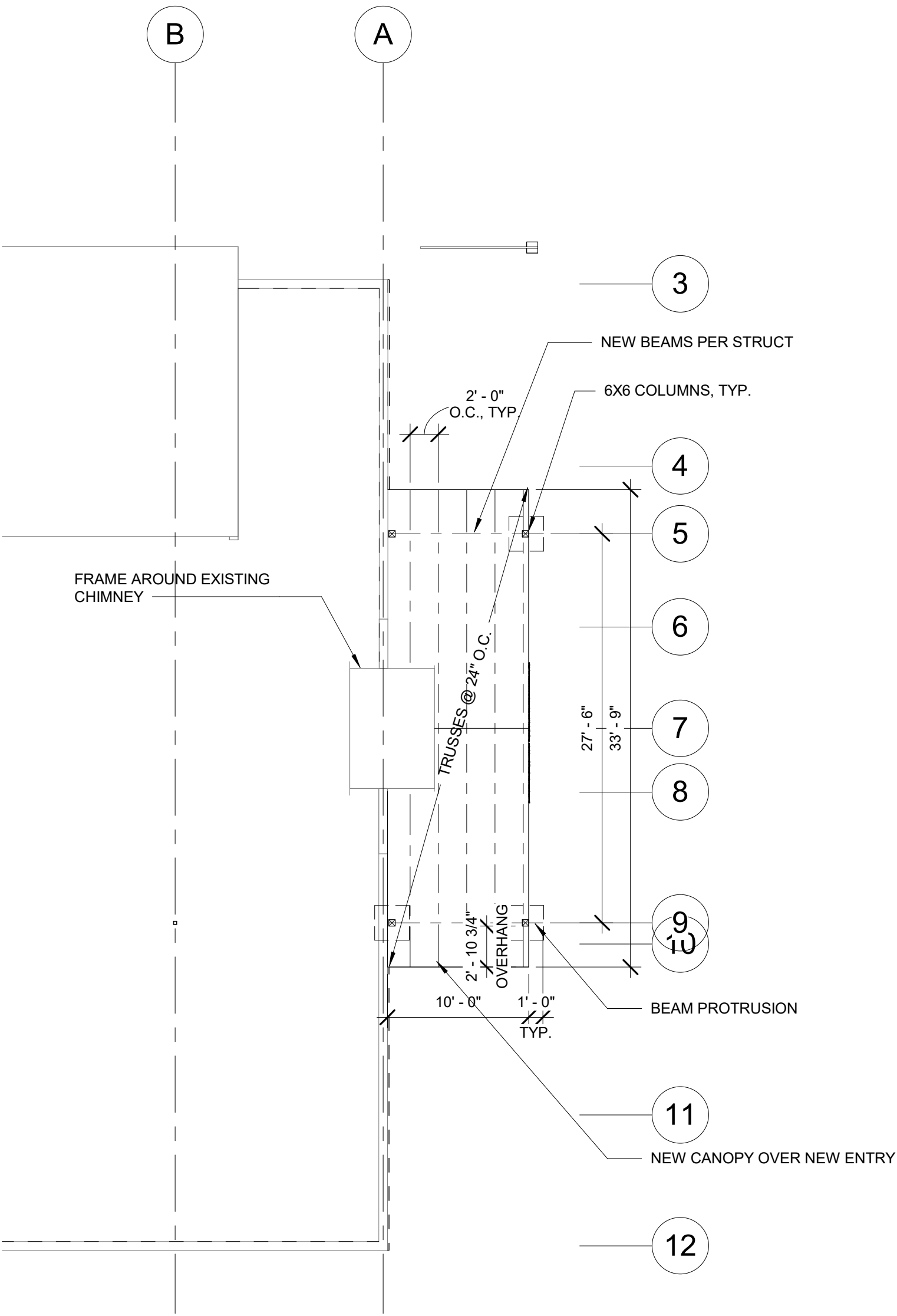
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20186
CHEERS IN
PUYALLUP

Start Date:
Project Number:
File Name:
Rev Date:
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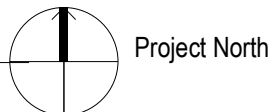
SHEET NAME

ROOF PLAN
PERMIT SET

SHEET NO.
A2.05



1 SECOND FLOOR PLAN
1/8" = 1'-0"



City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

Engineering

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7815
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JENNIFER WEDDERMANN
STATE OF WASHINGTON

PROJECT
ALI KASHI
CHEERS PUYALLUP
3811 9th St SW
Puyallup, WA 98373

REVISIONS

Rev#	Date	Description
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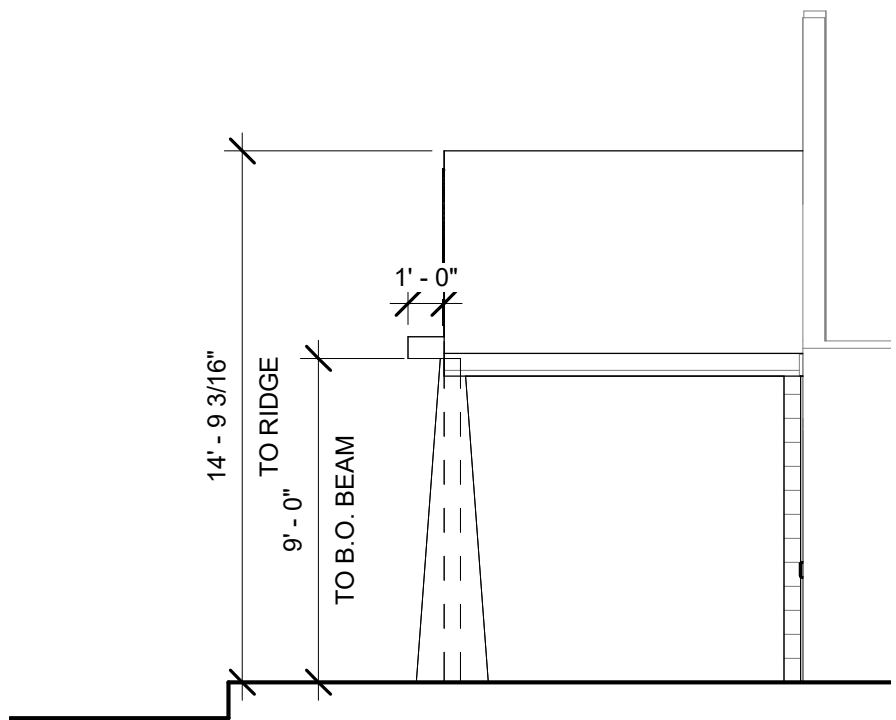
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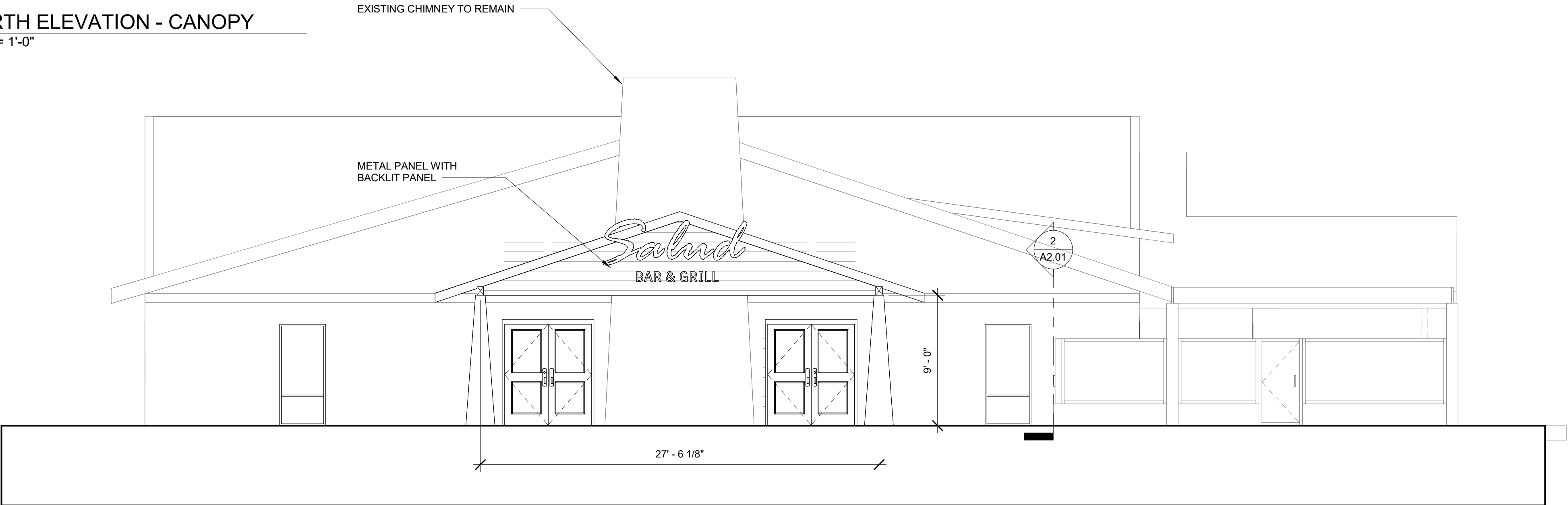
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EXTERIOR ELEVATIONS

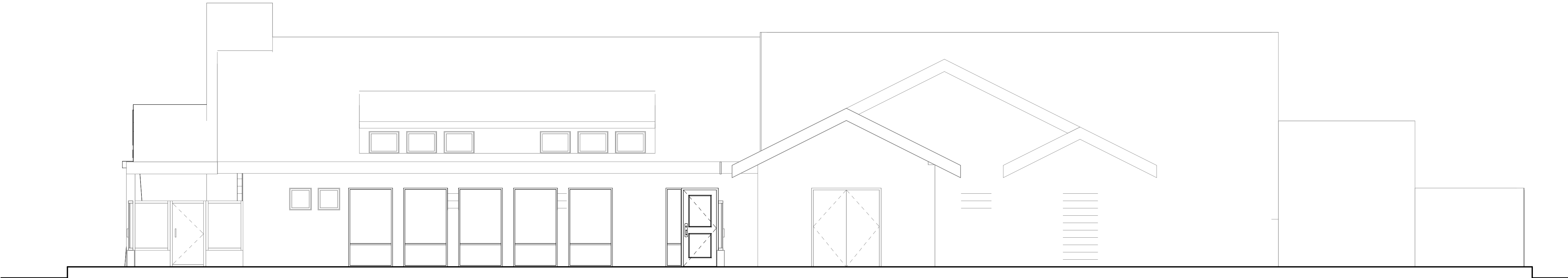
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3 NORTH ELEVATION - CANOPY
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

City of Puyallup
Development & Permitting Services
ISSUED PERMIT

Building

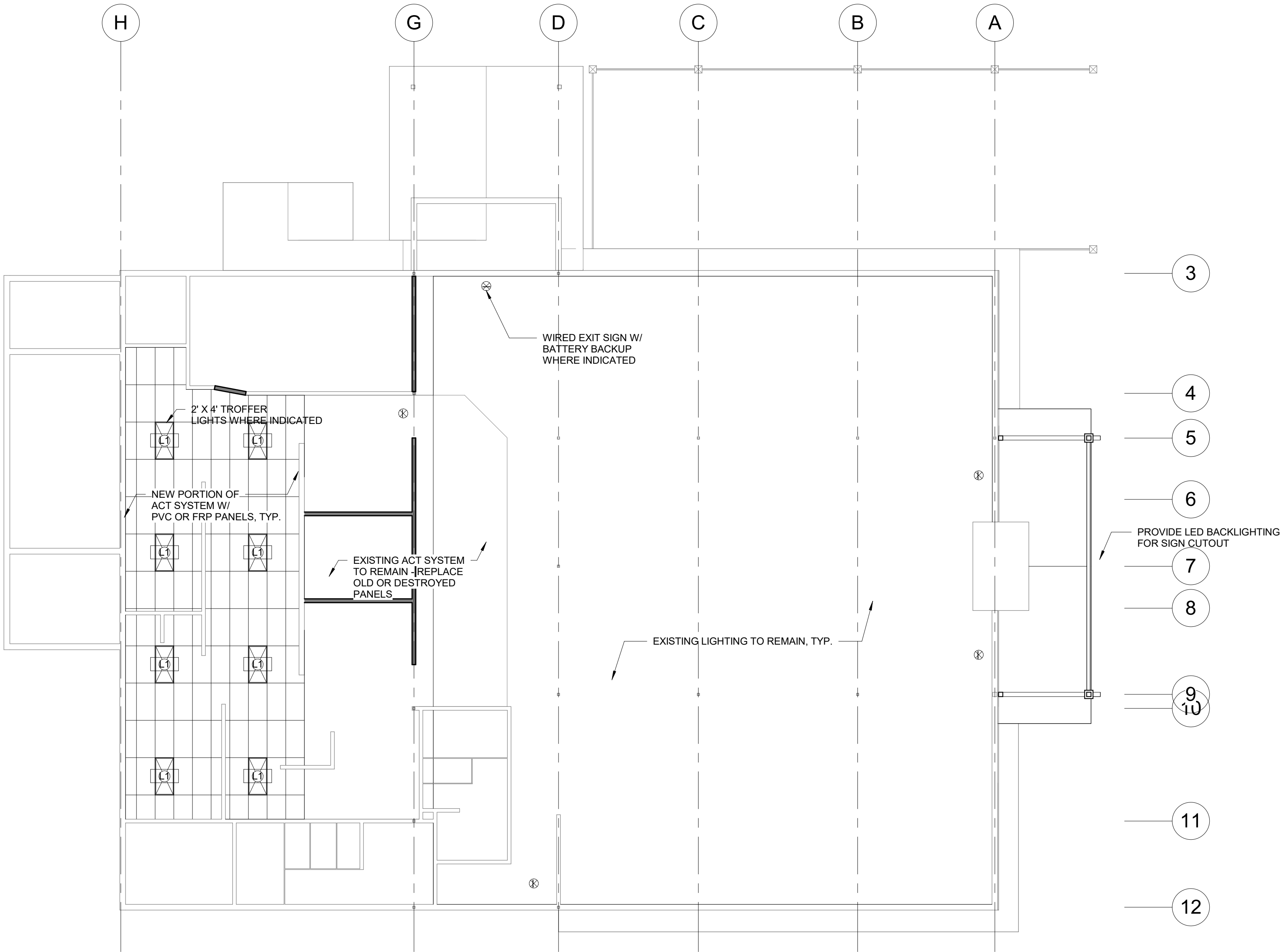
Engineering

Fire

Planning

Public Works

Traffic



1 FIRST FLOOR REFLECTED PLAN
1/8" = 1'-0"

SHEET NAME	INFO	REVISIONS		PROJECT	WEDDERMANN
		Rev#	Date	Description	
FIRST FLOOR RCP	Start Date: 01/01/20 Project Number: 20186 File Name: CHEERS IN PUYALLUP			ALI KASHI CHEERS PUYALLUP 3811 9th St SW Puyallup, WA 98373	ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253) 973-6611 JENNIFER@WEDDERMANN.COM
PERMIT SET	Rev Date: 11/30/2023 12:23:47 PM				
SHEET NO.					
A5.01					

