

# ALTERNATIVE METHODS OR CONSTRUCTION MATERIALS REQUEST

## Engineering Design Standards

This request must be filled out completely for the City to consider any deviations from their design standards and requirements for engineering design. Please be aware the City of Puyallup’s design standards are **MINIMUM** requirements. These requirements are considered by the City as fair, reasonable and promote public safety. The applicant is obligated to convince City staff this request is necessary, justifiable, and will not reduce public safety. To be granted, **all** departments must be in agreement.

When preparing this application, please print or type the reply to each question. Incomplete applications will delay the timeliness of the review. This application is the sole basis for approval of deviations from standards. include any and all supporting documentation to the application.

If you have any questions, please contact Engineering Services at (253) 864-4165.

**Application Fee: \$250.00**

### OWNER

Name: Puget Sound Energy, Inc., Carrie Cheung  
Address: 355 110th Avenue NE  
City St Zip: Bellevue, WA 98004  
Contact No: 425-681-2253  
Email: carrie.cheung@pse.com

### APPLICANT

Name: TC Northwest Development, Inc., Alex Garcia Mendoza  
Address: 600 University Street, Suite 2912  
City St Zip: Seattle, WA 98101  
Contact No: 501-749-1016  
Email: agarciamendoza@trammellcrow.com

### ENGINEER/ARCHITECT

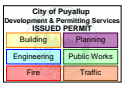
Name: Miles McEathron  
Address: 220 W Champion Street, Suite 200  
City St Zip: Bellingham, WA 98225  
Contact No: 360-650-1408  
Email: mmceathron@freelandengineering.com

### CONTRACTOR

Name: Pennon Construction Company, Inc., Spencer Franks  
Address: 9750 3rd Ave NE, Suite 250  
City St Zip: Seattle, WA 98115  
Contact No: 206-458-2331  
Email: spencerf@pennonconstruction.com

SITE ADDRESS: 325 Todd Road NW PARCEL NO: 0420211030 ZONING: ML  
PROJECT NAME: Puget Sound Energy OTC  
LAND USE APPLICATION #: PLPSP20230096 BUILDING PERMIT APPLICATION #: \_\_\_\_\_

Signature of Applicant: *Alex Garcia Mendoza* Date 12/06/2023



Items 1-9 are issues and concerns that must be addressed by the applicant. If additional reports, supporting documents and attachments are necessary to clarify/support this request, material shall be listed in item 9 and referenced within items 1-9.

1. Describe the proposed modification (from what requirements are you seeking relief?).

We are seeking to modify the requirement for frontage improvements along 4th Street NW adjacent to the project's west property line. Based on pre-application meeting notes, frontage improvements along 4th Street NW will not be required if there's no site access proposed to 4th Street NW. The project is not proposing access to 4th Street NW, therefore, no frontage improvements are proposed.

2. Describe how the proposed modification is based on sound engineering principles. (Granting the modification will not result in risk or harm to the public related to storm drainage, traffic, water, sanitary sewer, transportation, fire protection or structural matters).

The current condition will remain undisturbed, there will be no improvements along 4th Street NW. The project site provides all necessary public infrastructure and fire access through Todd Road NW.

3. Describe how a strict application of the requirement would impose an undue hardship on the applicant.

4th Street NW right-of-way is approximately 35 feet wide. This width does not meet minimum right-of-way width for standard City street sections. In addition, the existing street is offset from the right-of-way centerline.

4. Describe how the requirements for safety, environmental considerations, function, appearance and maintainability would be fully met, assuming the granting of your request.

Safety, environmental considerations, function, appearance and maintainability will remain as is. The current condition will remain undisturbed, there will be no improvements along 4th Street NW.

5. Describe how the granting of the modification provides adequate protection of the public health, safety and welfare.

Granting the modification will maintain the current public health, safety and welfare. The current condition will remain undisturbed, there will be no improvements along 4th Street NW.

6. Does this request require different maintenance cycles, equipment or skills?

No, the current condition will remain undisturbed, there will be no improvements along 4th Street NW.

7. Does this request provide for a service life equal to or greater than the City requirement?

The current condition will remain undisturbed, there will be no improvements along 4th Street NW.

8. Describe how the granting of the modification will be in the best interest of the public?

Granting the modification will decrease construction related activities and disturbance along the roadway. In addition, a nearby wetland will not be impacted.

9. List reports, supporting documents and attachments accompanying this request:

4th Street NW exhibit is attached.



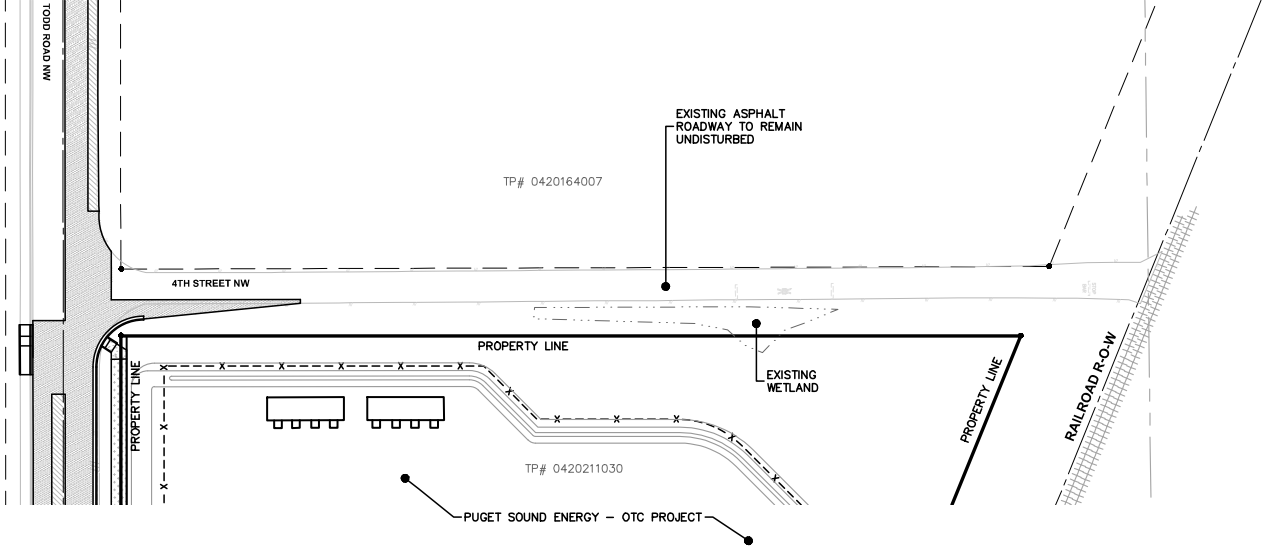
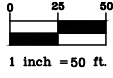
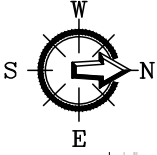
STAFF RECOMMENDATIONS	APPROVED	DENIED	DATE
Development Engineering	<i>Lance R Hollingsworth</i>		12/15/2023
Conditions: It is in the best interest for the City to allow this AMR to not require frontage improvements on 4th Street. Future planning shows this road will likely be vacated when further development occurs in Edgewood and the at-grade railroad crossing is removed.			
Planning Department			
Conditions:			
Traffic Engineering			
Conditions:			
Public Works - Streets			
Conditions:			
Public Works - Water			
Conditions:			
Public Works - Collections			
Conditions:			
Stormwater Engineer			
Conditions:			
Fire Code Official			
Conditions:			
Police Department			
Conditions:			


City Engineer	APPROVED	DENIED	DATE
	<i>Ken Cole H.P. Jr</i>		12/18/2023

CONDITIONS: \_\_\_\_\_

\_\_\_\_\_

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SHEET CONTENTS	DATE	11-21-2023
	JOB #	22219
PUGET SOUND ENERGY - OTC 4TH STREET NW ALTERNATE METHODS REQUEST	DRAWING #	22219SP18.DWG
	SHEET NAME	AMR1
220 W. Champagne Street, Suite 200 Billigram, WA 98525 T: 360.650.1498 F: 360.650.1401	 <b>FRELAND</b> & ASSOCIATES	