

PROJECT INFORMATION:

PARCEL No.: 492000031
 SITE ADDRESS: 1400 RIVER RD EAST
 PUYALLUP, WA 98371

OWNER: KLS 1400 LLC (TOYOTA OF PUYALLUP)
 CONTACT: KERRY DEEMAN
 PHONE: 253-286-6000
 EMAIL: KERRYS@TOYOTADFPUYALLUP.COM

GENERAL CONTRACTOR:
 LANWAY GENERAL CONTRACTOR, INC.
 P.O. BOX 1195
 TACOMA, WA 98401

CONTACT: ERIK SCHELBERT
 PHONE: 253-223-1528
 EMAIL: ERIK@LANWAYGENERAL.COM
 WA LIC: LANWAGC846DW

STRUCTURAL ENGINEER:
 CHRIS FYNBOE PE
 PHONE: 253-537-8128
 EMAIL: CCFYNBOE@CS.COM

ZONING: CG (GENERAL COMMERCIAL)

PROPERTY AREA: 383,328 SF (8.8 ACRES)

SCOPE OF WORK: Build a 416 SF unconditioned covered, parcel/freight receiving area connected to the exterior of the existing service garage (add a roof structure ledgered to existing building over an existing concrete slab). Tie into existing roof drain system.

EXISTING FINISHED AREA:		
SHOWROOM:	7,948	SF
OFFICE MAIN LEVEL:	4,272	SF
OFFICE UPPER LEVEL:	4,272	SF
PARTS WAREHOUSE:	3,145	SF
SERVICE OFFICE:	6,240	SF
SERVICE GARAGE:	17,472	SF
TOTAL EXISTING FINISHED AREA:	43,349	SF

NEW REMODEL/ADDITION:	
COVERED STORAGE:	416 SF

APPLICABLE CODES:

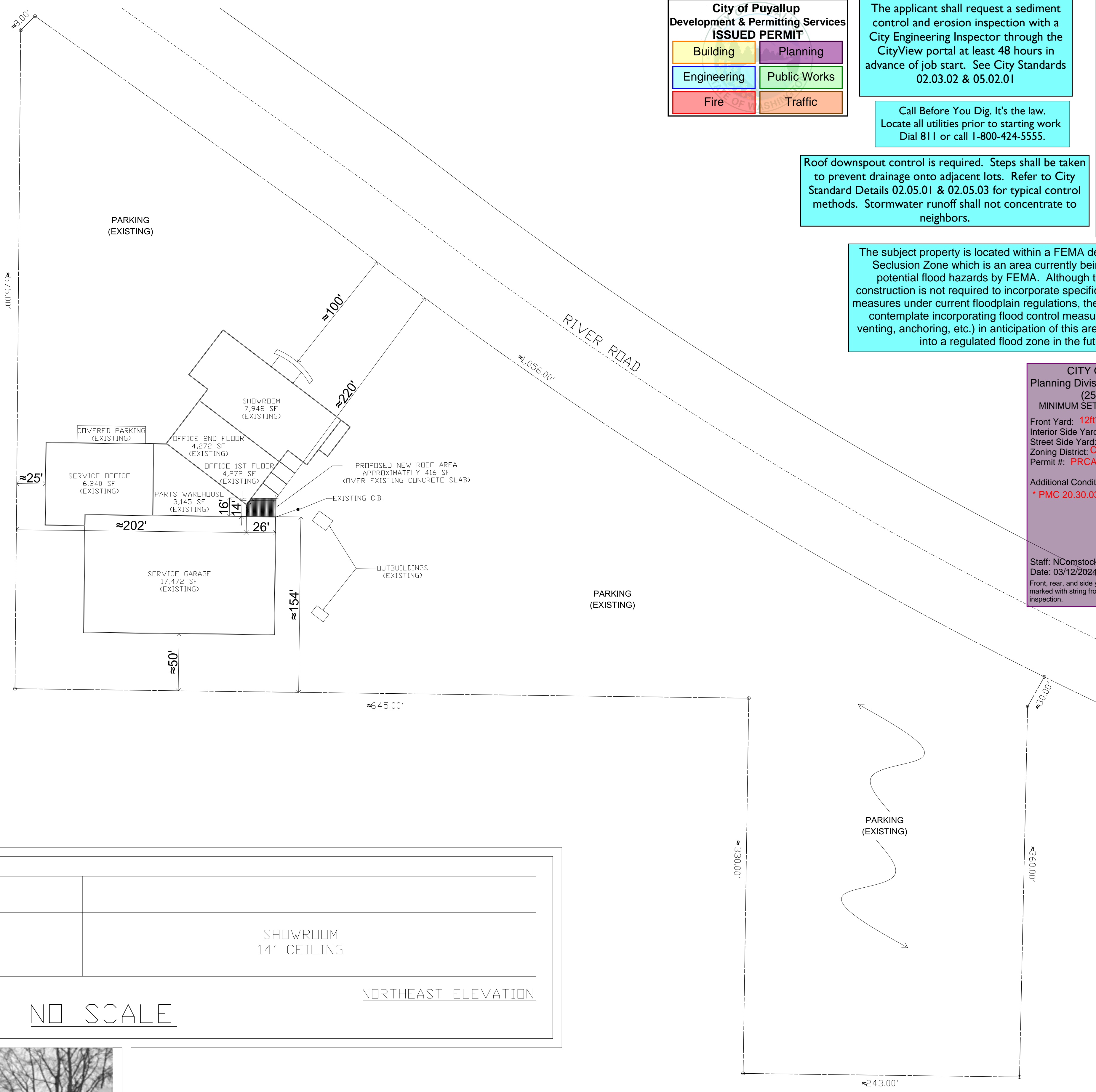
- 2018 International Building Code
- 2018 International Residential Code
- 2018 International Mechanical Code
- 2018 Uniform Plumbing Code
- 2018 International Fire Code
- 2018 Washington State Energy Code
- 2016 NFPA Standard 72
- 2016 NFPA Standard 13, 13-D, and 13-R
- And, City of Puyallup Municipal Codes

Table R301.2(1) Climatic and Geographical Design Criteria											
Ground Snow Load	Wind Design		Seismic Design Category	Subject to Damage from Weathering		Termites	Winter Design Temp	Ice Shield Underlay	Flood Hazards	Air Freeze Index	Mean Annual Temp
	Speed	Topograp hical effects		Weathering	Frost Line Depth						
20 lbs/sf	85	No	D-1	Moderate	12 inches	Slight to Moderate	17°	No	Puyallup Municipal Code 21.07	250	50°

RELATED PERMITS:

PLUMBING: NOT ANTICIPATED
 MECHANICAL: NOT ANTICIPATED
 FIRE SUPPRESSION: PERMIT & DESIGN BY INSTALLER
 ELECTRICAL: PERMIT & DESIGN BY INSTALLER

LOCATION OF PROPOSED WORK



City of Puyallup Development & Permitting Services
ISSUED PERMIT

Building	Planning
Engineering	Public Works
Fire	Traffic

The applicant shall request a sediment control and erosion inspection with a City Engineering Inspector through the CityView portal at least 48 hours in advance of job start. See City Standards 02.03.02 & 05.02.01

Call Before You Dig. It's the law. Locate all utilities prior to starting work Dial 811 or call 1-800-424-5555.

Roof downspout control is required. Steps shall be taken to prevent drainage onto adjacent lots. Refer to City Standard Details 02.05.01 & 02.05.03 for typical control methods. Stormwater runoff shall not concentrate to neighbors.

The subject property is located within a FEMA designated Levee Seclusion Zone which is an area currently being studied for potential flood hazards by FEMA. Although the proposed construction is not required to incorporate specific flood protection measures under current floodplain regulations, the applicant should contemplate incorporating flood control measures (elevating, venting, anchoring, etc.) in anticipation of this area being mapped into a regulated flood zone in the future.

City of Puyallup Development Engineering APPROVED

See permit for additional requirements.

Linda Lian
 02/15/2024
 3:44:47 PM

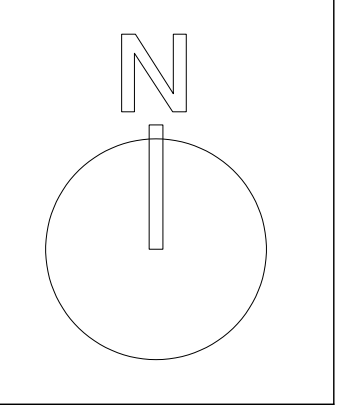
CITY OF PUYALLUP
 Planning Division Approved Site Plan
 (253) 864-4165
 MINIMUM SETBACK REQUIREMENTS

Front Yard: 12ft* Rear Yard: 0ft
 Interior Side Yard: Left: 0ft Right: 0ft
 Street Side Yard: N/A
 Zoning District: CG
 Permit #: PRCA20240148

Additional Conditions/Comments
 * PMC 20.30.037 (1)(c) - 12ft

Staff: NComstock
 Date: 03/12/2024
 Front, rear, and side yard property lines shall be marked with string from surveying pins prior to footing inspection.

LANWAY
 GENERAL CONTRACTOR, INC.
 253-517-7231



TOYOTA OF PUYALLUP
 1400 RIVER ROAD EAST
 PUYALLUP, WA 98371

DRAWN BY:
 Tim Rusher

REVISED:
 1/25/2024

SCALE
 17"×11" SHEET 1" = 100'
 24"×36" SHEET 1" = 50'

SHEET
 SITE PLAN

