



Interlaken Engineering and Design, PLLC
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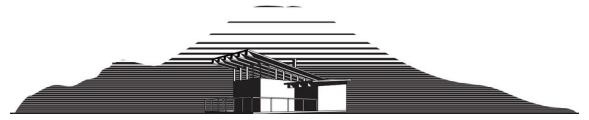
November 13, 2024
RE: PRCCP20231662

Dear Reviewers:

Please find responses and clarifications for selected comments outlined below. Comment responses are *italicized*.

Comments

1. Per City Standard Detail 05.01.01 the construction entrance shall be 100 feet long. Show conforming CE on Sheet C1 or justify shorter entrance. Justification shall address the control of sediment into the roadway. [CIVIL PLANS, Sheet C1]
Construction entrance updated to 100'.
2. Property lines on plans and in storm report do not match Pierce County GIS layers or previous development record drawings (see JACKPOT CONVEINENCE STORE-LeRoy Surveyors and Engineers-1989 and also OIL/WATER SEPARATOR FOR CHEVRON JACKPOT (time oil)-AHR Civil Engineers and Surveyors-2001 - city can provide these docs). Civil drawings are also in conflict with SITE FEATURES map by Hydrocon in Drainage Report. Any recent, formal actions that alter the property boundaries or ownership of the parcels should be included with the submittal. Show clearly and consistently the existing legal property boundary lines and the proposed configuration after development if applicable. [CIVIL PLANS, Sheet C1]
No alterations to existing property lines are proposed with the project. Existing property lines clarified on plans. Legend auto plans to lease the southern portion of the property from the current owner for vehicle parking/display.
3. Are there curbs proposed to delineate between the landscape and the permeable asphalt pavement? Describe how soil and mulch will be kept out of permeable hard surfaces. Include elevations to coincide with designed thickness of permeable surface and associated layers. [CIVIL PLANS, Sheet C2]
6" Curbs called out to border all landscaped areas. Section of permeable pavement added.
4. Permeable detail shows optional treatment layer. Ensure that installation matches detail. Annotate if necessary. Specify whether or not treatment layer will be included. Include in drainage report and on plans total thickness of section to be installed with elevations. [CIVIL PLANS, Sheet C3]
Detail for permeable pavement added on sheet C3. Additional details added to stormwater report. Treatment layer is to be included.
5. Required soil amendment: Include City Detail 01.02.08a and include soil amendment requirement/discussion in Drainage Report. [CIVIL PLANS, Sheet C3]
Detail and callout added to plans. Section added in drainage report.
6. Include City of Puyallup Grading, Erosion and Sedimentation Control Notes, Detail 05.02.01 and City Standard General Notes. [CIVIL PLANS, Sheet C3]
Detail and notes added on sheet C3
7. Dedication of right of way along 18th St. N.W. is highly suggested to match alignment of same property line to the north and to create a partial 60-foot right of way. Plans are unclear as to whether or not dedication will occur. Survey may be required.
No dedications are proposed with this project. A survey has been completed is included with the submittal.



8. As discussed, this project requires long term wet weather monitoring to determine an accurate infiltration rate and highest seasonal ground water level. Presumably this monitoring is underway and the results can be included in a future submittal verifying the sites ability to infiltrate the entire parking lot through permeable pavement.
Wet-season monitoring results are included with this submittal. The report also provided a design infiltration rate, verifying the site's capacity to infiltrate the entire parking lot through permeable pavement.
9. Show all easements and encumbrances on the property. Specifically show AFN 8910260441.
A survey of the property was obtained. All easements and encumbrances shown.
10. Add stortz fitting to Hydrant NW 102, add location to plans along with Fire Hydrant City detail sheet.
Callout for stortz fitting added. Fire Hydrant City detail added to sheet C3.
11. All areas not devoted to a building, parking spaces, or a specific use such as storage must be landscaped. Revise landscape plan to show any and all areas of the site as either a building, parking space or other identifiable use, or landscaping [Landscape Plan, Sheet C2]
Additional areas specified as landscaping.
12. Existing, private sanitary sewer infrastructure is not depicted on these plans and might pose issues with how paving and landscaping are designed. [CIVIL PLANS, Sheet C2]
A survey was completed which captured existing infrastructure.
13. Sheet flows from the existing pavement of 1706 will need to be kept off of the permeable surface of the new lot. Show grading or prevention measures.[CIVIL PLANS, Sheet C2]
A berm has been provided to prevent undesired sheet flows.
14. Sheet Civil Sheet C2: There are two water service meters in this area. One is for the fuel station at 1720 River Road, and the other is for the building to the east at 1706 River Road. The private water service line for 1706 River Road runs through this parcel. It should have a private utility easement created through the parcel. No trees shall be placed within 10-feet of that private water service line.
Utility locating was performed. No line running through 1720 to 1706 was found. Can the city provide more information on the matter?
15. Sheet Civil Sheet C2: There is presently no water service for this parcel. How will the proposed landscaping be irrigated? If a irrigation service is needed, it will need to be protected by a DCVA. Add City Standard details 03.03.01 and 03.04.01 to this plan set if a irrigation service is added to the design.
No irrigation system is proposed with the current design.

Please feel free to reach out with any questions. Thank you.

Sincerely,

Matthew J. Haringa, P.E.
Principal
Interlaken Engineering and Design, PLLC