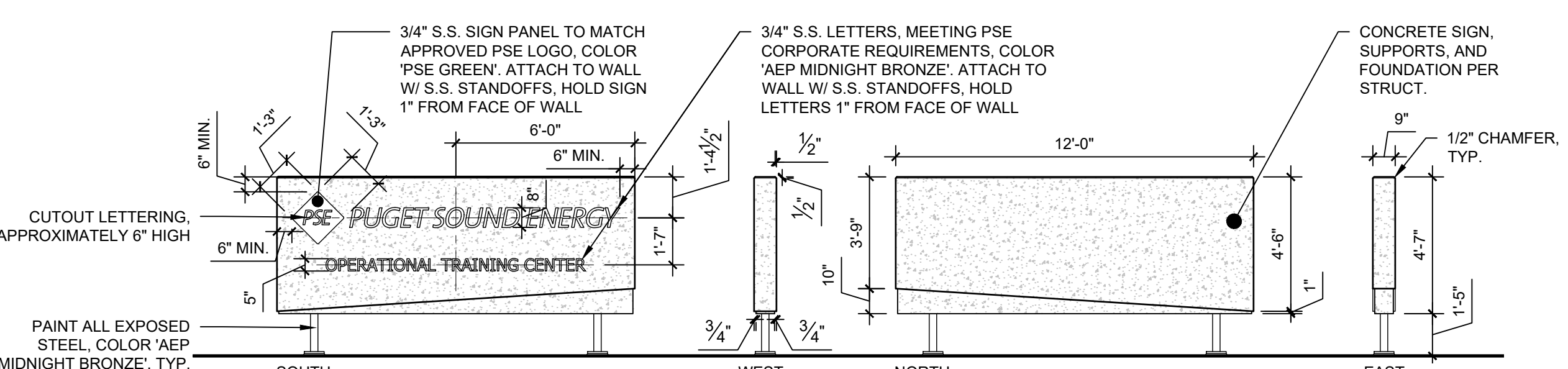
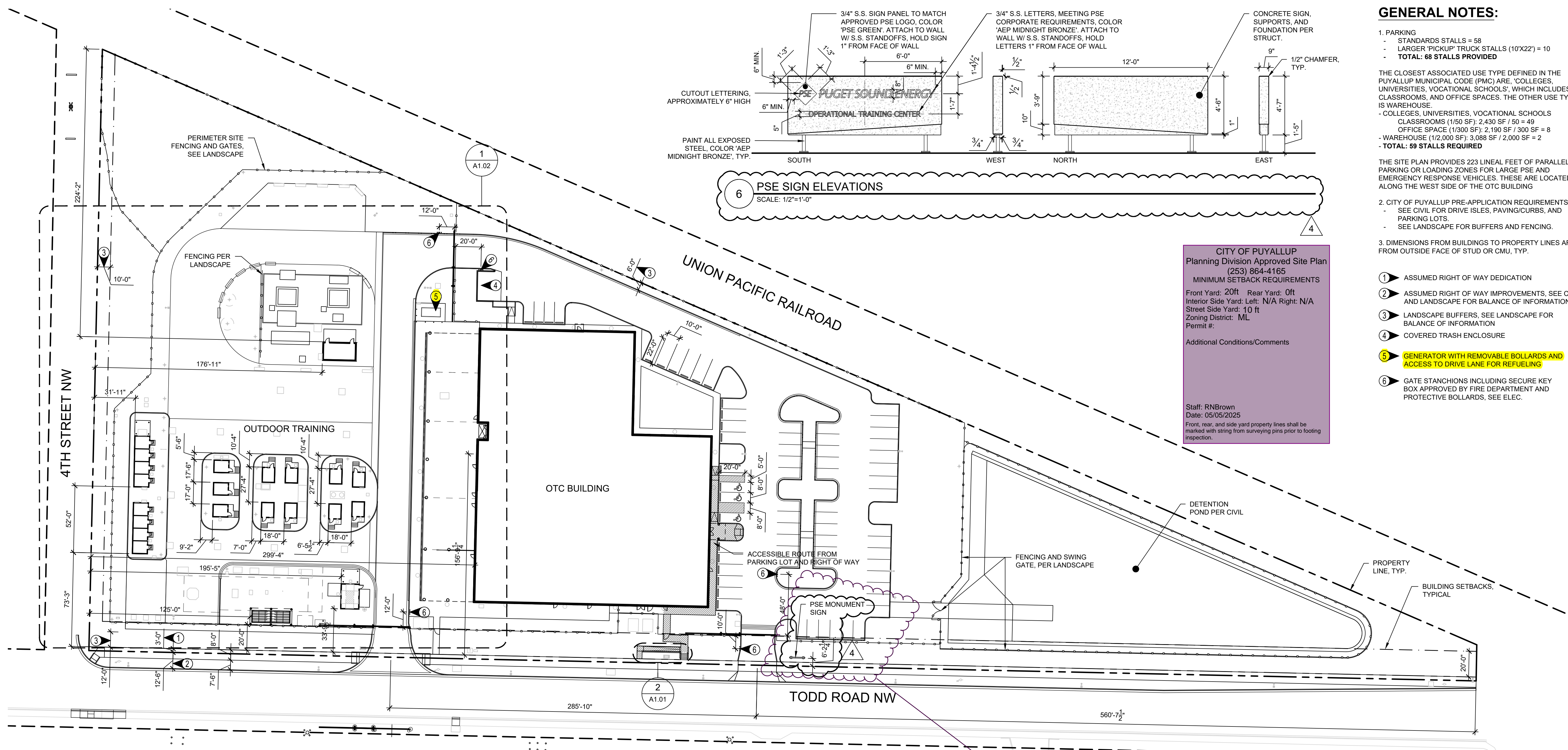


2 ENLARGED RAMP AND STAIR PLAN  
SCALE: 1/4"=1'-0"

4 STAIR SECTION  
SCALE: 1/4"=1'-0"

5 HANDRAIL DETAIL @ RAMP, STAIR SIM.  
SCALE: 1/2"=1'-0"



**CITY OF PUYALLUP**  
Planning Division Approved Site Plan  
(253) 864-4165  
MINIMUM SETBACK REQUIREMENTS  
Front Yard: 20ft Rear Yard: 0ft  
Interior Side Yard: Left: N/A Right: N/A  
Street Side Yard: 10 ft  
Zoning District: ML  
Permit #:  
Additional Conditions/Comments  
  
Staff: RNBrown  
Date: 05/05/2025  
Front, rear, and side yard property lines shall be marked with string from surveying pins prior to footing inspection.

PRCT120250486 shall only be for the scope of as stated on application - "Generator - Installation of concrete pad for support of generator, including fuel tank and enclosure."

**City of Puyallup**  
Development & Permitting Services  
**ISSUED PERMIT**

Building	Planning
Engineering	Public Works
Fire	Traffic

**GENERAL NOTES:**

- PARKING
  - STANDARDS STALLS = 58
  - LARGER "PICKUP" TRUCK STALLS (10'X22') = 10
  - TOTAL: 68 STALLS PROVIDED**
- THE CLOSEST ASSOCIATED USE TYPE DEFINED IN THE PUYALLUP MUNICIPAL CODE (PMC) ARE: COLLEGES, UNIVERSITIES, VOCATIONAL SCHOOLS, WHICH INCLUDES CLASSROOMS, AND OFFICE SPACES. THE OTHER USE TYPE IS WAREHOUSE.
  - COLLEGES, UNIVERSITIES, VOCATIONAL SCHOOLS CLASSROOMS (1/50 SF): 2,430 SF / 50 = 49
  - OFFICE SPACE (1/300 SF): 2,190 SF / 300 SF = 8
  - WAREHOUSE (1/2,000 SF): 3,088 SF / 2,000 SF = 2
  - TOTAL: 59 STALLS REQUIRED**
- THE SITE PLAN PROVIDES 223 LINEAL FEET OF PARALLEL PARKING OR LOADING ZONES FOR LARGE PSE AND EMERGENCY RESPONSE VEHICLES. THESE ARE LOCATED ALONG THE WEST SIDE OF THE OTC BUILDING
- CITY OF PUYALLUP PRE-APPLICATION REQUIREMENTS
  - SEE CIVIL FOR DRIVE ISLES, PAVING/CURBS, AND PARKING LOTS.
  - SEE LANDSCAPE FOR BUFFERS AND FENCING.
- DIMENSIONS FROM BUILDINGS TO PROPERTY LINES ARE FROM OUTSIDE FACE OF STUD OR CMU, TYP.
- ASSUMED RIGHT OF WAY DEDICATION
- ASSUMED RIGHT OF WAY IMPROVEMENTS, SEE CIVIL AND LANDSCAPE FOR BALANCE OF INFORMATION
- LANDSCAPE BUFFERS, SEE LANDSCAPE FOR BALANCE OF INFORMATION
- COVERED TRASH ENCLOSURE
- GENERATOR WITH REMOVABLE BOLLARDS AND ACCESS TO DRIVE LANE FOR REFUELING**
- GATE STANCHIONS INCLUDING SECURE KEY BOX APPROVED BY FIRE DEPARTMENT AND PROTECTIVE BOLLARDS, SEE ELEC.

**ZERVAS**  
ARCHITECTURE | INTERIOR DESIGN  
zervasgroup.com  
209 Prospect Street  
Bellingham, WA 98225  
360.734.4744

9587 REGISTERED ARCHITECT  
ANDREW J. KRZYSEK  
STATE OF WASHINGTON

PRCT120250486

**100% CD SET**

REV	ISSUED FOR	DATE
1	BUILDING PERMIT REVISION	05/11/2024
2	100% CD REVISIONS	08/06/2024
3	COMPRESSOR BUILDING REVISIONS	01/02/2025
4	PSE SIGNAGE	03/13/2025

PLAN NORTH TRUE NORTH  
SCALE: AS NOTED  
0 X'

**PSE - OPERATIONAL TRAINING CENTER**  
**OVERALL SITE PLAN**

PROJECT No: 202202.06  
DRAWN BY: MR  
CHECKED BY: AK  
DATE ISSUED: 12/06/24

**A1.01**

Monument Sign under separate permit. Not a part of this permit.