

1015 BLDG EAST PARKING LOT TRASH ENCLOSURE

1015 39TH AVE SE, PUYALLUP, WA 98374

PERMIT SET

DESIGNER



MARSHALL DESIGN + MANAGEMENT
12400 SE 38TH #50766
BELLEVUE, WA 98015

CLIENT



BENAROYA
9675 SE 36TH STREET
MERCER ISLAND, WA 98040

PROJECT



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1015 39TH AVE SE
PUYALLUP, WA 98374

PRCNC20251558

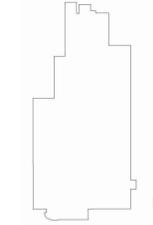
ISSUANCE

ISSUE DATE: 11.25.2025
DRAWN BY: LK
CHECKED BY: MM

REVISION LIST

NO.	DATE	DESCRIPTION	BY

KEY PLAN



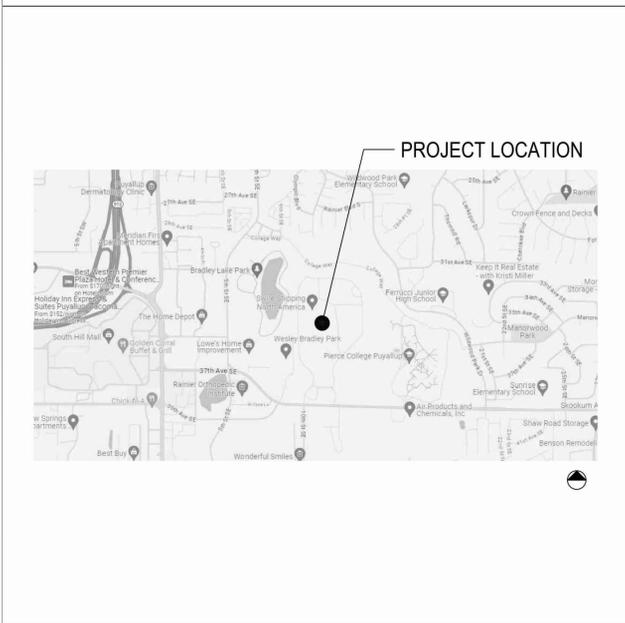
SHEET TITLE

COVER SHEET

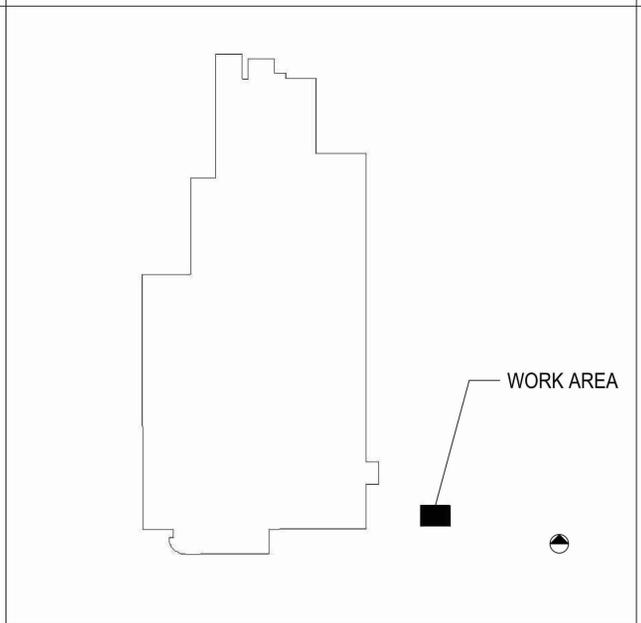
SHEET NUMBER

CS1.1

VICINITY MAP



KEY PLAN



PROJECT TEAM

DESIGNER
MARSHALL DESIGN + MANAGEMENT, LLC
12400 SE 38TH
#50766
BELLEVUE, WA 98015
CONTACT: MIA MARSHALL
206.890.1570
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MERCER ISLAND, WA 98040
CONTACT: DAVID VRANIZAN
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DAVEV@BENAROYA.COM

STRUCTURAL
QUANTUM CONSULTING ENGINEERS
1511 THIRD AVE,
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SEATTLE, WA 98101
CONTACT: SCOTT TINKER
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SCOTTTINKER@QUANTUMCE.COM

GENERAL CONTRACTOR
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SUITE 110
SEATTLE, WA 98108
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206.454.9879
MORME@JTMCONSTRUCTION.COM

ARCHITECT
UTILIZE DESIGN LLC
3901 SW OTHELLO ST
SEATTLE, WA 98136
CONTACT: LIZ KATZ
402.676.0007
UTILIZE.LIZ.KATZ@GMAIL.COM

CIVIL ENGINEER
BARHAUSEN ENGINEERS
307 29TH STREET NE
SUITE 102
PUYALLUP, WA 98372
CARA VISINTAINER
425.656.7409
CVISINTAINER@CORE-STATES.COM

INDEX OF DRAWINGS

	ISSUED FOR PERMIT SET	ISSUED FOR REVISED PERMIT SET
CS1.1 COVER SHEET/INDEX	●	●
ARCHITECTURAL DRAWINGS		
A1.2 SITE PLAN	●	●
A1.3 ENLARGED SITE PLAN & FLOOR PLAN	●	●
A1.4 FRAMING PLAN, SECTION, ELEVATIONS, & 3D VIEW	●	●
A1.5 STRUCTURAL SKETCHES	●	●
CIVIL DRAWINGS		
C1.0 CIVIL PLAN	●	●

BUILDING DATA

ZONING: MP - BUSINESS PARK
SEISMIC DESIGN CAT.: D-1
SEISMIC SITE CLASS: D
CONSTRUCTION TYPE: TYPE III

PROJECT DESCRIPTION

WORK INCLUDES 24' x 27' TRASH COMPACTOR ENCLOSURE OF 8' HEIGHT CHAINLINK FENCE WITH BLACK SLATS.

SITE AND LANDSCAPING SHOWN FOR REFERENCE ONLY. BOTH SUBMITTED AND APPROVED ON PREVIOUS PERMIT.

APPLICABLE CODES

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE (IBC) WAC 51-50
FIRE CODE: 2021 INTERNATIONAL FIRE CODE, WAC 51-54A
ENERGY CODE: 2021 WASHINGTON STATE ENERGY CODE (WSEC) WAC 51-11C
MECHANICAL CODE: 2021 INTERNATIONAL MECHANICAL CODE (IMC), WAC 51
ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE (NEC)
PLUMBING CODE: UNIFORM PLUMBING CODE (UPC), WAC 51-56
ZONING CODE: CITY OF PUYALLUP ZONING CODE
ACCESSIBILITY CODE: 2009 ICC A117.1 ACCESSIBLE AND USEABLE BUILDING AND FACILITIES

DESIGN STANDARDS: SECTION 208 - TRASH ENCLOSURES

TAX PARCEL NUMBER

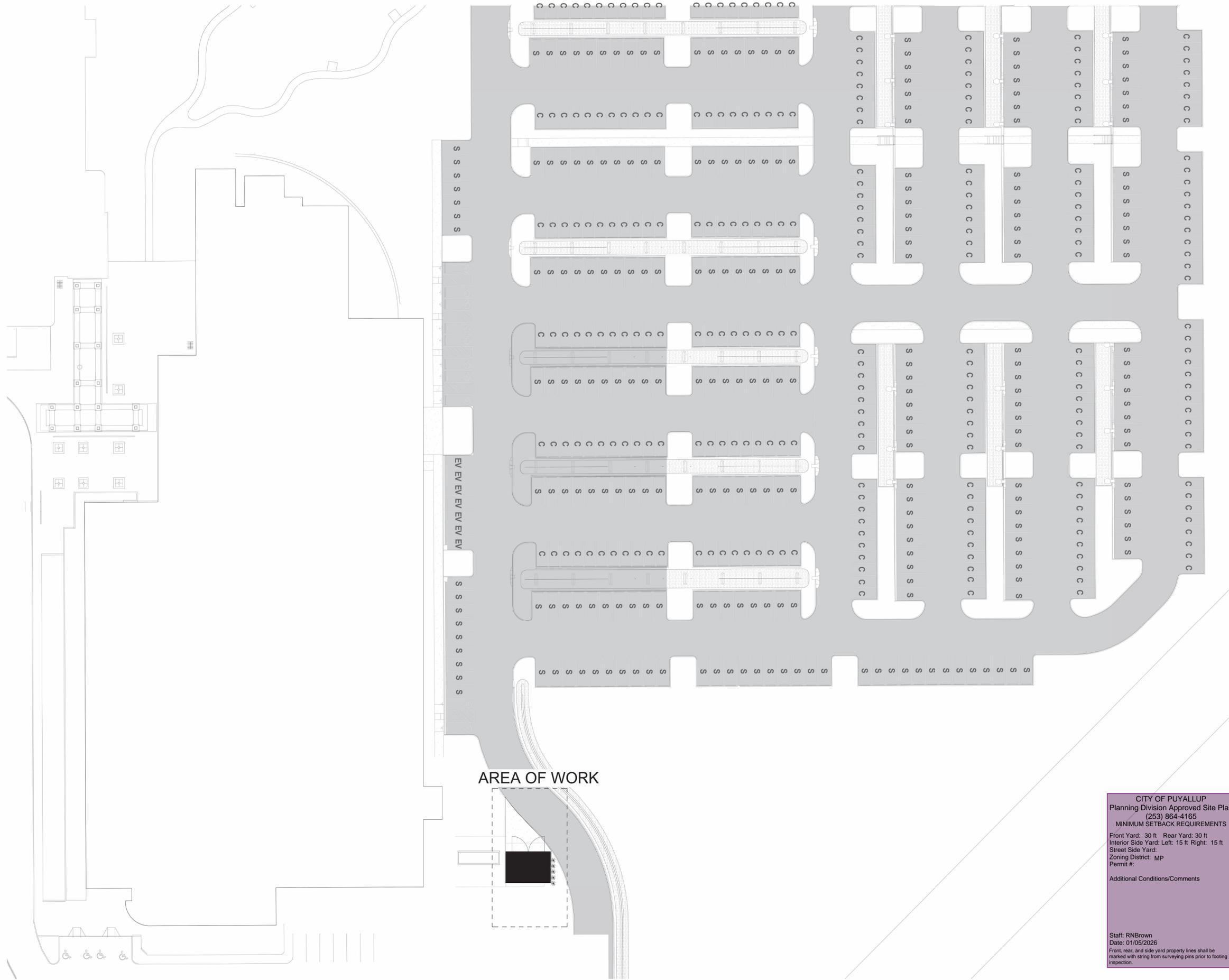
PIERCE COUNTY ASSESSOR'S OFFICE PARCEL #0419034038

Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

Separate Electrical Permit is required with the Washington State Department of Labor & Industries.
<https://lni.wa.gov/licensing-permits/electrical/electrical-permits-fees-and-inspections>
or call for Licensing Information:
1-800-647-0982



1 SITE PLAN
1" = 30'-0"

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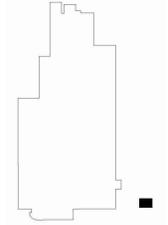
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KEY PLAN



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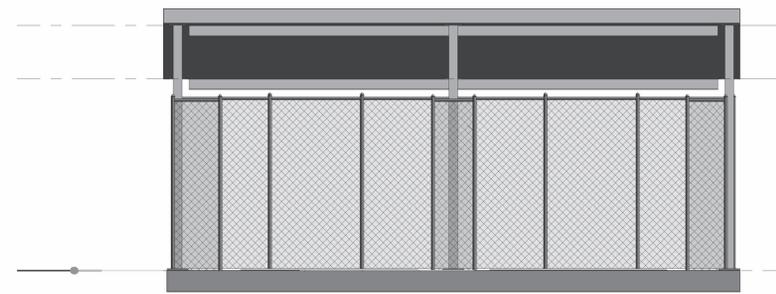
SITE PLAN

SHEET NUMBER

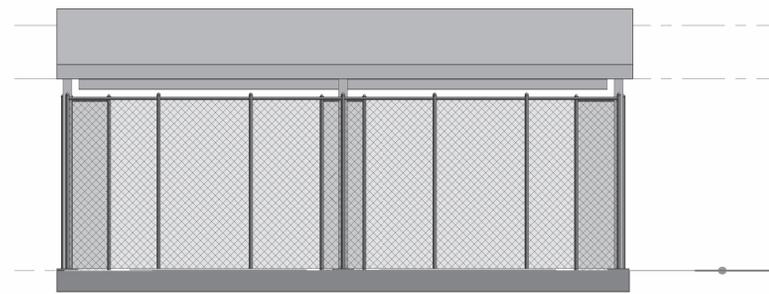
A1.2

CITY OF PUYALLUP
Planning Division Approved Site Plan
(253) 864-4165
MINIMUM SETBACK REQUIREMENTS
Front Yard: 30 ft Rear Yard: 30 ft
Interior Side Yard: Left: 15 ft Right: 15 ft
Street Side Yard:
Zoning District: MP
Permit #:
Additional Conditions/Comments

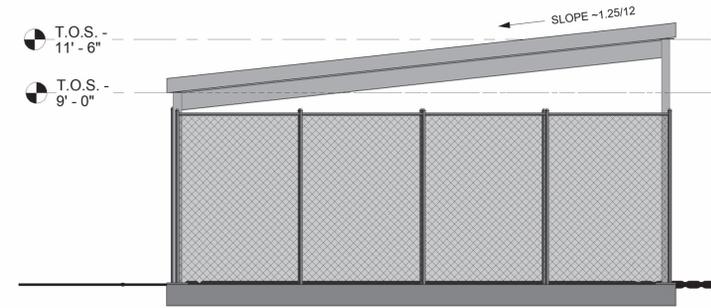
Staff: RNBrown
Date: 01/05/2026
Front, rear, and side yard property lines shall be marked with string from surveying pins prior to final inspection.



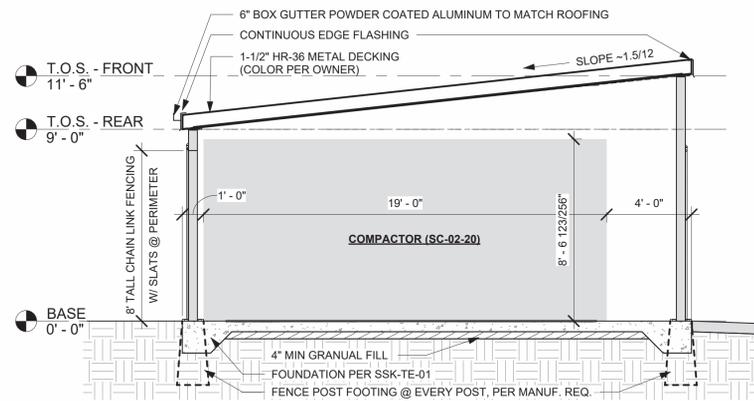
1 FRONT ELEVATION



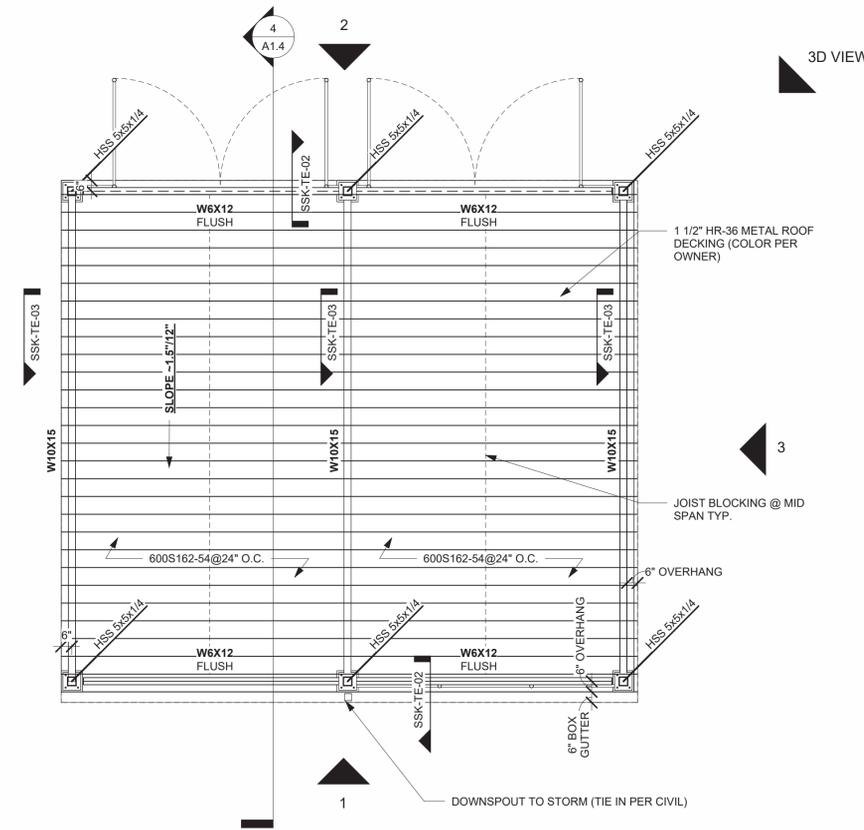
2 REAR ELEVATION



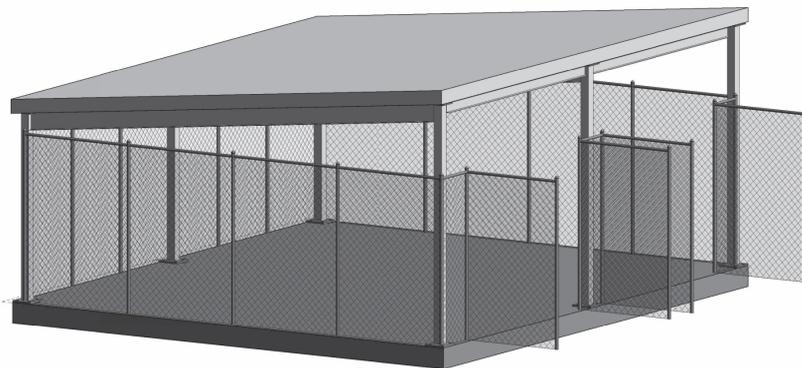
3 SIDE ELEVATION



4 SECTION
1/4" = 1'-0"



3 SIM



5 3D VIEW

6 TRASH ENCLOSURE - FRAMING PLAN
1/4" = 1'-0"

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STAMP



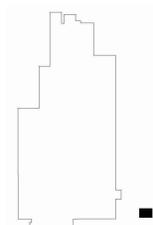
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SHEET TITLE

FRAMING PLAN, SECTION,
ELEVATIONS, & 3D VIEW

SHEET NUMBER

A1.4

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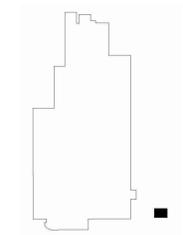
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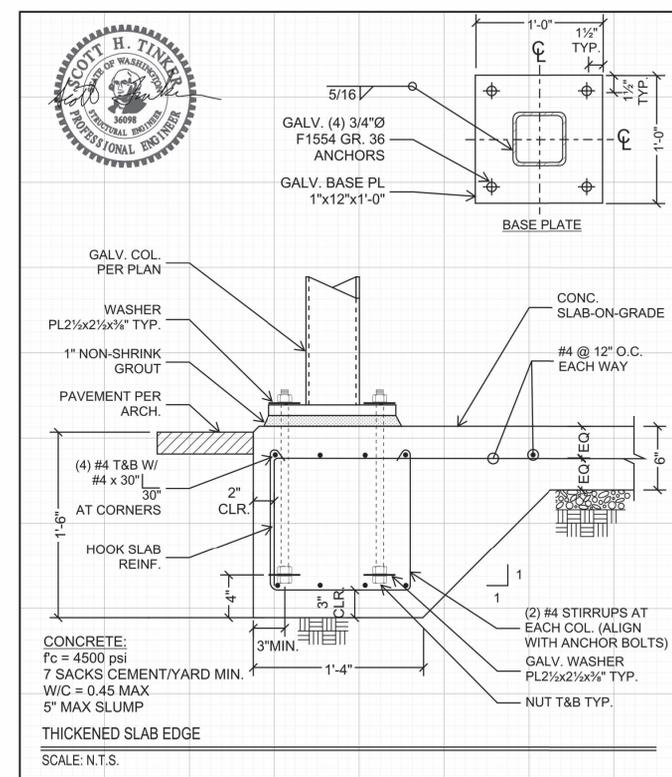


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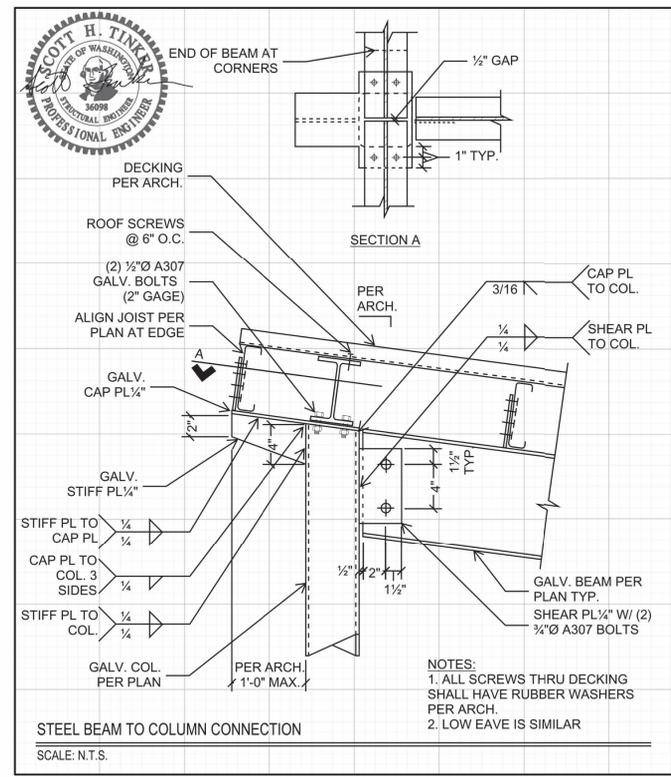
STRUCTURAL SKETCHES

SHEET NUMBER

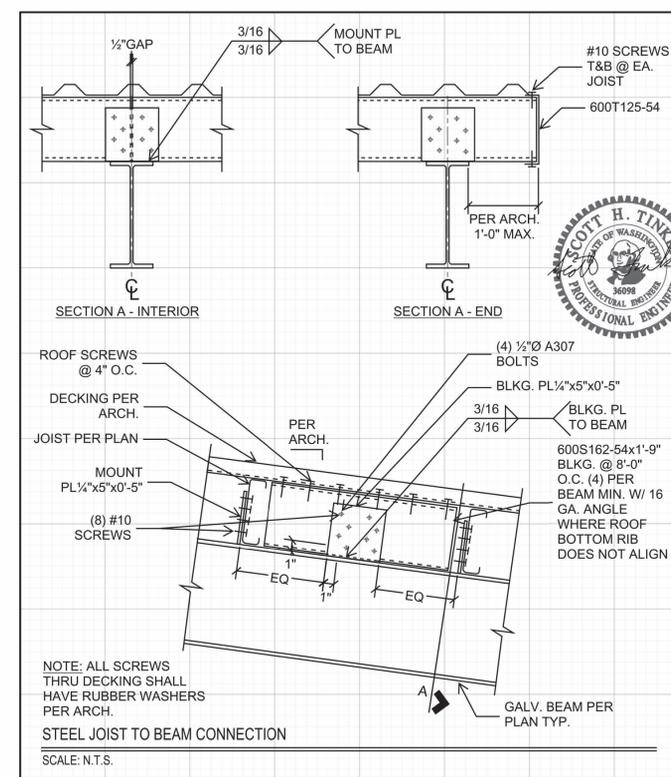
A1.5



1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
drawn by: TVM
design by: SSK-TE-01
client: BENAROYA COMPANIES
sheet no.



1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
drawn by: TVM
design by: SSK-TE-02
client: BENAROYA COMPANIES
sheet no.



1015 BUILDING TRASH ENCLOSURE
project
11/24/2025
date
19305.04
job no.
drawn by: TVM
design by: SSK-TE-03
client: BENAROYA COMPANIES
sheet no.

Welding to be done by an individual or fabricator who is WABO certified or approved by the Building Official to perform the work. All welds must be inspected and approved by a WABO certified special inspector.

