

GENERAL NOTES

1. ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUYALLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE APPROVED ENGINEERING PLANS, REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES AT (253-841-5568) TO SCHEDULE THE MEETING. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN SET OF APPROVED PLANS AT THE MEETING.
2. AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
4. A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
5. ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY PRIOR TO ANY IMPLEMENTATION IN THE FIELD, THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
6. THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL AT LEAST TWO WORKING DAYS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
7. ANY STRUCTURE AND/OR OBSTRUCTION THAT REQUIRES REMOVAL OR RELOCATION RELATING TO THIS PROJECT SHALL BE DONE SO AT THE DEVELOPER'S EXPENSE.
8. LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF HIDDEN UTILITIES. ALL VISIBLE ITEMS SHALL BE THE ENGINEER'S RESPONSIBILITY.
9. THE CONTRACTOR SHALL INSTALL, REPLACE, OR RELOCATE ALL SIGNS, AS SHOWN ON THE PLANS OR AS AFFECTED BY CONSTRUCTION, PER CITY STANDARDS.
10. POWER, STREET LIGHT, CABLE, AND TELEPHONE LINES SHALL BE IN TRENCH LOCATED WITHIN A 10-FOOT UTILITY EASEMENT ADJACENT TO PUBLIC RIGHT-OF-WAY. RIGHT-OF-WAY CROSSING SHALL HAVE A MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES (SEWER, WATER, AND STORM) OF 5 FEET.
11. ALL CONSTRUCTION SURVEYING FOR EXTENSIONS OF PUBLIC FACILITIES SHALL BE DONE UNDER THE DIRECTION OF A WASHINGTON STATE LICENSED LAND SURVEYOR OR A WASHINGTON STATE LICENSED PROFESSIONAL CIVIL ENGINEER.
12. DURING CONSTRUCTION, ALL PUBLIC STREETS ADJACENT TO THIS PROJECT SHALL BE KEPT CLEAN OF ALL MATERIAL DEPOSITS RESULTING FROM ON-SITE CONSTRUCTION, AND EXISTING STRUCTURES SHALL BE PROTECTED AS DIRECTED BY THE CITY.
13. CERTIFIED RECORD DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
14. A NPDES STORMWATER GENERAL PERMIT MAY BE REQUIRED BY THE DEPARTMENT OF ECOLOGY FOR THIS PROJECT. FOR INFORMATION CONTACT THE DEPARTMENT OF ECOLOGY, SOUTHWEST REGION OFFICE AT (360)407-6300.
15. ANY DISTURBANCE OR DAMAGE TO CRITICAL AREAS AND ASSOCIATED BUFFERS, OR SIGNIFICANT TREES DESIGNATED FOR PRESERVATION AND PROTECTION SHALL BE MITIGATED IN ACCORDANCE WITH A MITIGATION PLAN REVIEWED AND APPROVED BY THE CITY'S PLANNING DIVISION. PREPARATION AND IMPLEMENTATION OF THE MITIGATION PLAN SHALL BE AT THE DEVELOPER'S EXPENSE.

UTILITY CONFLICT NOTE:

CAUTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 811 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE SURVEYOR TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 332-120. APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE RESPONSIBILITY OF THE CONTRACTOR.

STEP BY STEP PARKING LOT REVISION

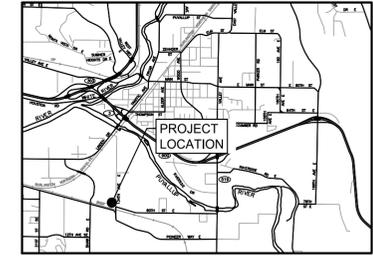
3303 8TH AVE SE, BLDG E PUYALLUP, WA 98372

MARCH 6, 2026 PERMIT #PRCCP20241731

3rd Submittal-2nd Review
PRCCP20241731
Mar 2026

SB 5290 requires local jurisdictions to conduct a formal meeting with the applicant after the second review cycle to discuss outstanding items. The meeting was held on 12/04/2025. After the 3rd review, the application must either be approved or denied UNLESS the applicant acknowledges in writing that they are willing to allow additional review cycles.

As discussed during review, the current zoning for parcel #0420264069 does not allow for a standalone parking lot as a permitted long-term use; however, the parking lot may continue on a temporary basis so long as there is active construction occurring on site. At this time, because a permanent zoning and land use path for the parking lot has not yet been established, application PRCCP20241731 cannot move forward in its current form and will be closed at this time. This closure is intended to pause the civil permit until the broader zoning direction for the property has been determined and coordinated between the City and the applicant. Once revised zoning has been decided and, if appropriate, adopted, the applicant may submit a new civil application for a permanent parking lot and associated storm drainage improvements consistent with that framework. In the meantime, the Temporary Use Permit may be extended, provided there continues to be active construction on site.



VICINITY MAP
SCALE: N.T.S.

OWNER/APPLICANT:
STEP BY STEP
3303 8TH AVE SE
PUYALLUP, WA 98372
CONTACT: JEFFREY E. BROWN
PHONE: (253) 606-8324
EMAIL: jeff@jeffbrowncarchitecture.com

CIVIL ENGINEER:
CECIL & ASSOCIATES, LLC
PO BOX 598
BOTHELL, WA 98011
CONTACT: ROGER CECIL, P.E.
PHONE: (206) 484-3495
EMAIL: roger@cecilnassoc.com

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- ROAD CENTERLINE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT

ABBREVIATIONS

- BSBL = BUILDING SETBACK LINE
- FF = FINISHED FLOOR (ELEVATION)
- DS = DOWNSPOUT
- SDCO = STORM DRAIN CLEANOUT
- BLDG = BUILDING

SITE INFORMATION:

SITE ADDRESS: 506 33RD ST SE PUYALLUP, WA 98372
TAX PARCEL NUMBER: 0420264069
ZONING: CMX-SHAW PIONEER COMMUNITY MIXED
USE
SITE AREA: 5.94 AC

HORIZONTAL DATUM:

NAD 83

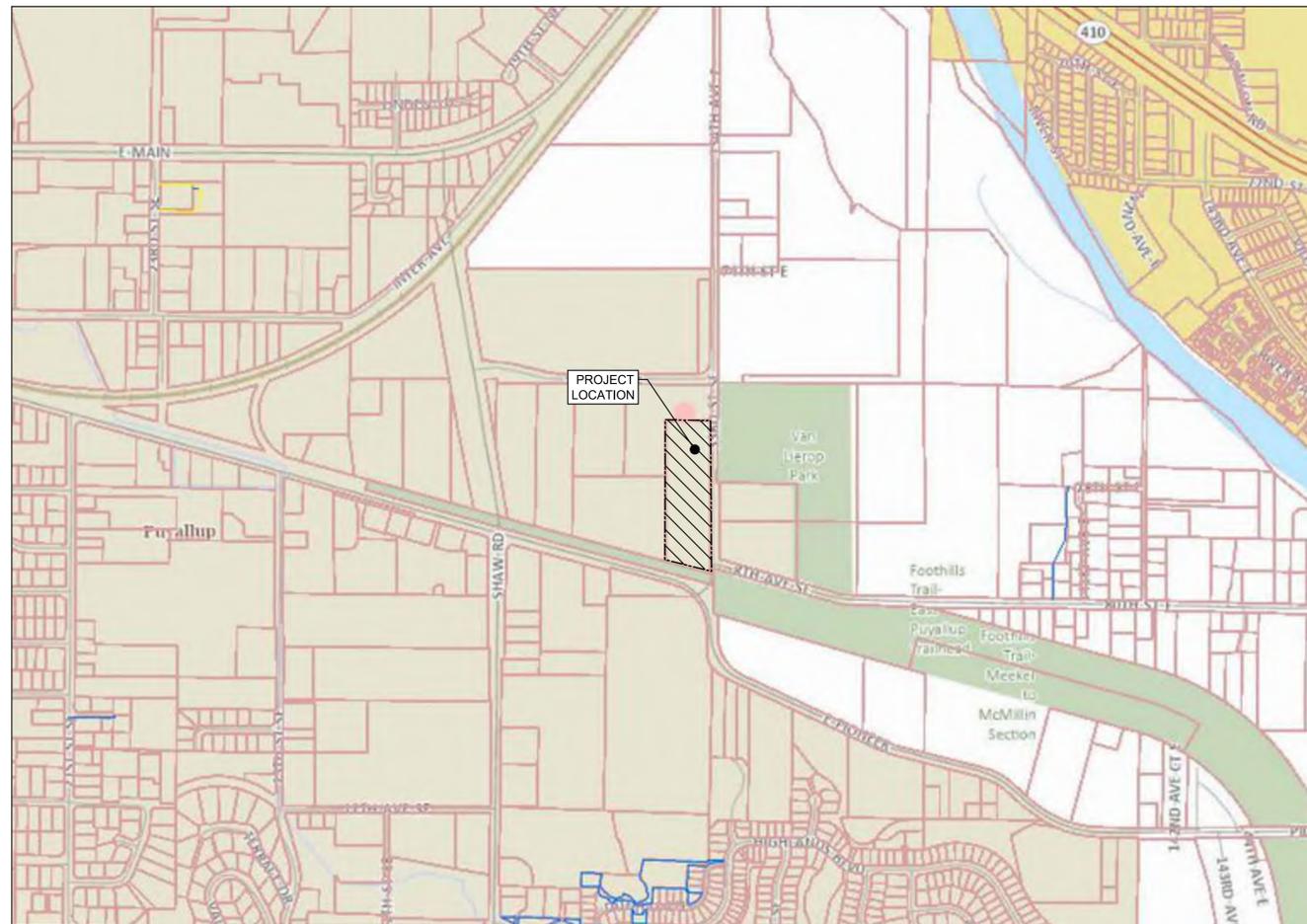
VERTICAL DATUM:

NAVD 88

LEGAL DESCRIPTION: SECTION 26 TOWNSHIP 20 RANGE 04 QUARTER 44 LOT 2 OF B/LA 2023-03-15-5002 COM AT INTER OF S LI OF RS MOORE DLC & E LI OF SE OF SEC TH S 00 DEG 44 MIN 18 SEC W 250.47 FT TH N 89 DEG 02 MIN 21 SEC W 20 FT TO POB TH N 89 DEG 02 MIN 21 SEC W 280.18 FT TH S 00 DEG 44 MIN 18 SEC W 887.38 FT TH S 74 DEG 08 MIN E 290.24 FT TH N 00 DEG 44 MIN 18 SEC E 962.04 FT TO POB EASE OF REC CURRENT USE ROW 84.34 AFN 2414198 AGRI 1971 AS AMEND 1973 AFN 2546752 OUT OF 04-20-26-4-007 & 4-019 SEC 2023-0331 03/24/23 JF/DH

SERVICE PROVIDERS:

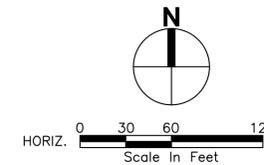
WATER: CITY OF PUYALLUP
SEWER: CITY OF PUYALLUP
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY
FIRE PROTECTION: PIERCE COUNTY FIRE DEPARTMENT



SITE MAP
SCALE: 1" = 60'

Sheet List Table

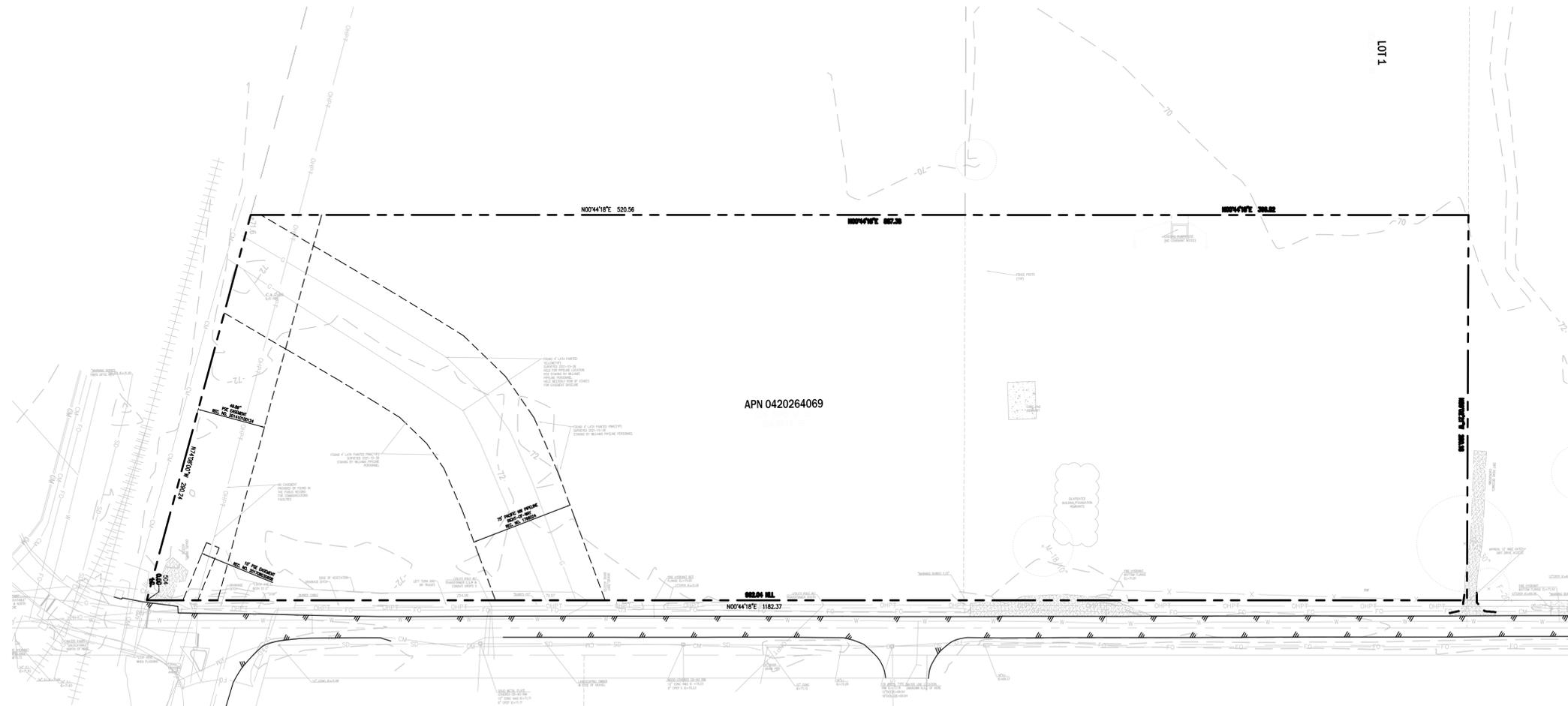
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C2.00	TESC PLAN
C2.10	TESC DETAILS
C3.00	SITE PLAN
C4.00	GRADING & DRAINAGE PLAN
C4.10	SITE SECTIONS
C4.11	SITE DETAILS



**CALL BEFORE
YOU DIG 811**
UNDERGROUND SERVICE (USA)

APPROVED
BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING
DATE _____
NOTE:
THIS APPROVAL IS VOID AFTER 180
DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE
FOR ERRORS AND/OR OMISSIONS ON
THESE PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE DEVELOPMENT
ENGINEERING MANAGER.

25-018 Project No.	PFA	Drawn By	RJC	Designed By	RJC	Approved By	3/6/2026	No.	1	Description	CIVIL PERMIT APPLICATION
	RJC	Drawn By	RJC	Designed By	RJC	Approved By	3/6/2026	No.	2	Description	CIVIL PERMIT APPLICATION
<p>CLIENT: STEP BY STEP FAMILY SUPPORT CENTER 3303 8TH AVENUE SE #A PUYALLUP, WA 98372</p> <p>CONTACT: KRISTALINDEN</p>											
<p>STEP BY STEP PARKING LOT REVISION COVER SHEET</p>											
<p>C0.00</p>											



LEGEND

- (NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)
- SURVEY MONUMENT (AS NOTED)
 - POWER METER
 - POWER POLE
 - JUNCTION BOX (AS NOTED)
 - CATCH BASIN (CB)
 - STORM MANHOLE (SDMH)
 - SANITARY SEWER MANHOLE (SSMH)
 - CLEANOUT (AS NOTED)
 - GAS METER
 - GAS VALVE
 - WATER VALVE (WV)
 - FAUCET
 - FIRE HYDRANT(FH) / CONNECTION(FDC)
 - WATER MANHOLE
 - WATER METER
 - BLOW-OFF / AIRVAC
 - MONITOR WELL
 - SIGN
 - IRRIGATION SPRINKLER
 - HANDICAP
 - CHAIN LINK FENCE
 - WATER LINE
 - GAS LINE
 - TELEPHONE LINE (OH) OR (UG)
 - POWER LINE (OH) OR (UG)
 - STORM LINE
 - SEWER LINE
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - CONCRETE
 - GRAVEL/SAND (AS NOTED)
 - ASPHALT
 - BUILDING LINE
 - EDGE OF ASPHALT
 - DITCH LINE
 - PROPERTY LINE
 - EASEMENT LINE

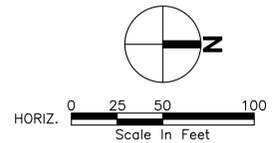
- ABBREVIATIONS**
- (R#) REFERENCE SURVEYS
 - (OH) OVERHEAD
 - (UG) UNDERGROUND
 - (TYP) TYPICAL
 - (C) CALCULATED
 - (M) MEASURED

EXISTING LOT COVERAGE:

PROJECT SITE AREA: 259,084 SF (5.95 AC)
 TOTAL IMPERVIOUS: 3,212 SF (1.2%)
 TOTAL PERVIOUS: 255,872 SF (98.8%)

**THE SITE HAS BEEN USED FOR AGRICULTURAL PURPOSES AND HAS HAD MULTIPLE "FARM ROADS" THROUGHOUT ITS HISTORY THAT COULD BE ADDED TO "EXISTING IMPERVIOUS" FOR HISTORICAL PURPOSES. THE EXISTING IMPERVIOUS AREA SHOWN IS AN ESTIMATE BASED ON CURRENT SITE CONDITIONS.

THIS PROJECT IS RETROACTIVELY MITIGATING GRAVEL PARKING INSTALLED WITHOUT A PERMIT. THOSE IMPERVIOUS SURFACES ARE SHOWN AS "PROPOSED".



APPROVED
 BY _____
 CITY OF PUYALLUP
 DEVELOPMENT ENGINEERING

DATE _____

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No.	Description	Date
3	PERMIT DOCUMENTS	3/16/2026
2	PERMIT DOCUMENTS	11/18/2025
1	CIVIL PERMIT APPLICATION	12/17/2023

Project No.	Drawn By	Designed By	Approved By	Date
25-018	PFA	RJC	RJC	3/16/2026



CECIL ASSOCIATES
 PO BOX 598 BOTHELL, WA 98011
 (206) 484-5495
 www.cecilradsoc.com

CLIENT
 STEP BY STEP
 FAMILY SUPPORT CENTER
 5303 8TH AVENUE SE #A
 PUYALLUP, WA 98672

CONTACT
 KRISTALINDEN

STEP BY STEP
 PARKING LOT REVISION
 EXISTING CONDITIONS

C1.00

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 UNDERGROUND SERVICE (USA)

CONSTRUCTION SEQUENCE

- HOLD A PRE-CONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
- CONSTRUCT PERIMETER DITCHES, SILT FENCES, AND OTHER EROSION CONTROL DEVICES AS SHOWN.
- CONSTRUCT PROTECTION DEVICES FOR CRITICAL AREAS AND SIGNIFICANT TREES PROPOSED FOR RETENTION.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CONSTRUCT STORM DRAINAGE RETENTION/DETENTION (CONTROL AND STORAGE) FACILITIES. PROVIDE EMERGENCY OVERFLOW AS APPLICABLE.
- ALL DITCHES AND SWALES AS SHOWN SHALL BE PROVIDED TO DIRECT ALL SURFACE WATER TO THE RETENTION/DETENTION AND SEDIMENTATION POND AS CLEARING AND GRADING PROGRESSES. NO UNCONTROLLED SURFACE WATER SHALL BE ALLOWED TO LEAVE THE SITE OR BE DISCHARGED TO A CRITICAL AREA AT ANY TIME DURING THE GRADING OPERATIONS.
- CLEARLY STATE AT WHAT POINT GRADING ACTIVITIES CAN BEGIN, USUALLY ONLY AFTER ALL DRAINAGE AND EROSION CONTROL MEASURES ARE IN PLACE.
- IDENTIFY EROSION CONTROL MEASURES WHICH REQUIRE REGULAR MAINTENANCE.

TESC NOTES

- CONTRACTOR TO INSTALL TESC MEASURES AS NECESSARY TO ENSURE STORMWATER LEAVING THE SITE IS FREE OF SETTLEABLE SOLIDS.
- EXISTING GRAVEL DRIVEWAY TO BE USED AS CONSTRUCTION ENTRANCE. MAINTAIN CONSTRUCTION ENTRANCE PER CITY OF PUYALLUP STANDARD DETAIL 05.01.01 AND INSTALL WHEEL WASH AS NEEDED PER WASHINGTON DOE BMP C106.
- INSTALL SILT FENCE PER CITY OF PUYALLUP STANDARD DETAIL 02.03.02 SILT FENCE TO MARK CLEARING LIMITS IN THE FIELD.
- ROADS SHALL BE CLEANED THOROUGHLY AS NEEDED TO PROTECT STORMWATER INFRASTRUCTURE AND DOWNSTREAM WATER RESOURCES. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- EXPOSED SOILS SHALL BE WATERED AS NECESSARY TO PREVENT DUST FROM LEAVING THE SITE.
- DISTURBED SOILS TO BE AMENDED PER DOE BMP T5.13 AND CITY STANDARD DETAIL 01.02.08A, SEE SHEET C4.11.
- IF NECESSARY, ALTERNATIVE SEDIMENT CONTROL METHODS SHALL BE SUBMITTED BY THE CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- A CESCL SHALL BE PRESENT ON-SITE OR ON-CALL FOR THE DURATION OF CONSTRUCTION OPERATIONS.

TESC LEGEND

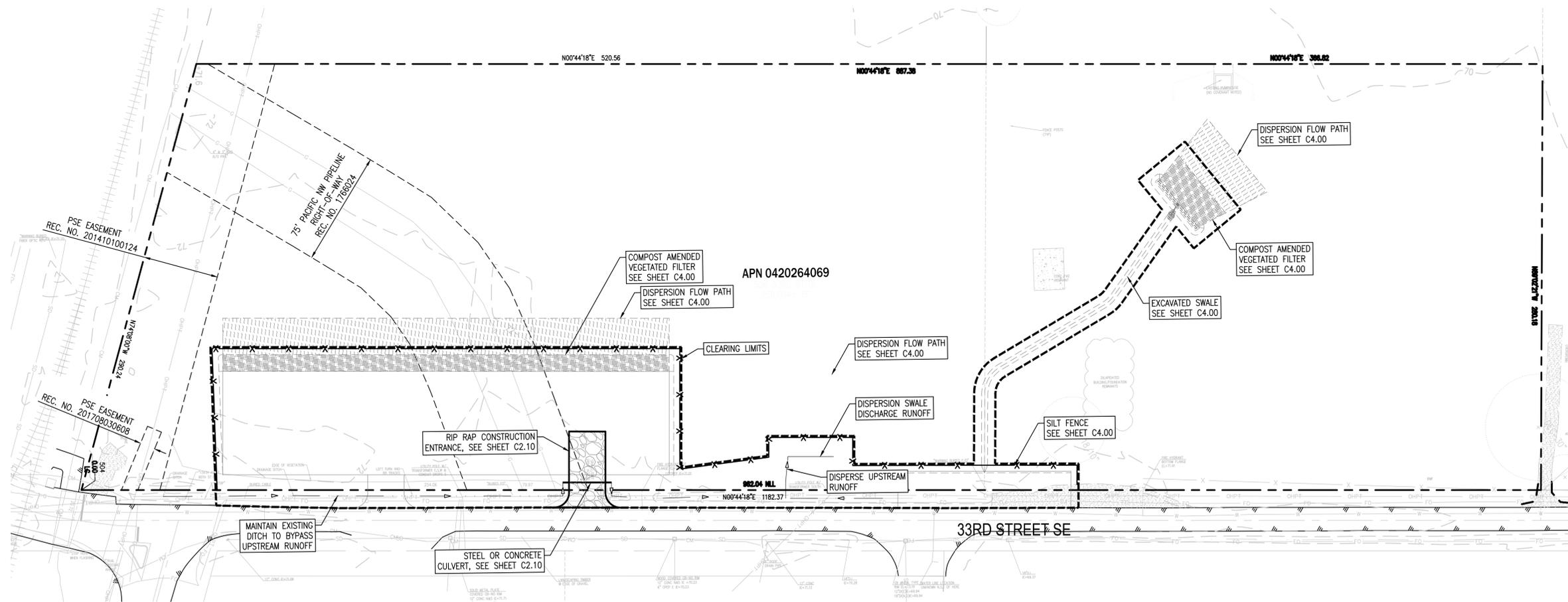


DEMOLITION NOTES

VEGETATION TO BE REMOVED: 21,841 SF
DISTURBED AREA: 46,634 SF

EARTHWORK

CUT: 165 CY
FILL: 906 CY
NET: 741 CY (FILL)



No.	Description	Date
3	PERMIT DOCUMENTS	3/16/2026
2	PERMIT DOCUMENTS	11/18/2025
1	CIVIL PERMIT APPLICATION	12/12/2023



CECIL ASSOCIATES
PO BOX 598 BOTHELL, WA 98011
(206) 484-3495
www.cecilrassoc.com

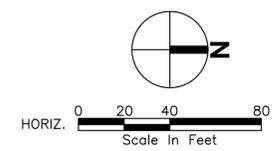
CLIENT
STEP BY STEP
FAMILY SUPPORT CENTER
5303 8TH AVENUE SE #A
PUYALLUP, WA 98012

KRISTALINDEN
CONTACT

STEP BY STEP
PARKING LOT REVISION

TESC PLAN

C2.00



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UNDERGROUND SERVICE (USA)

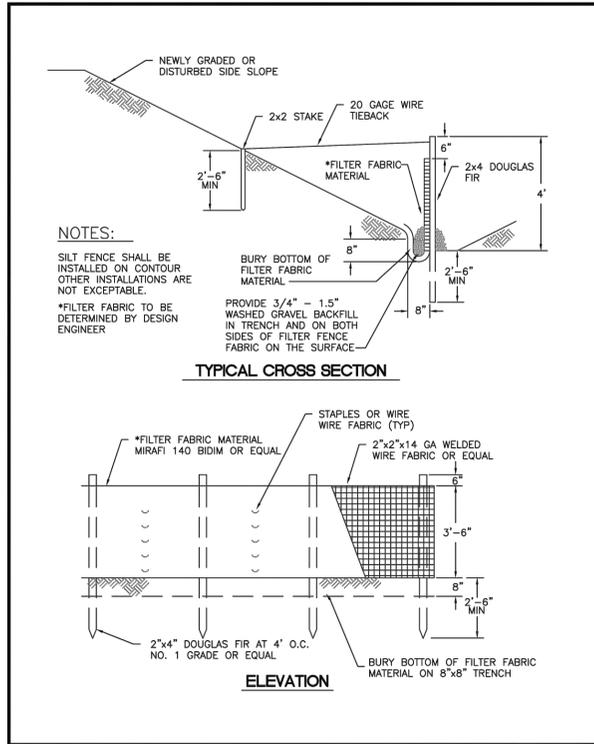
APPROVED
BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

DATE _____

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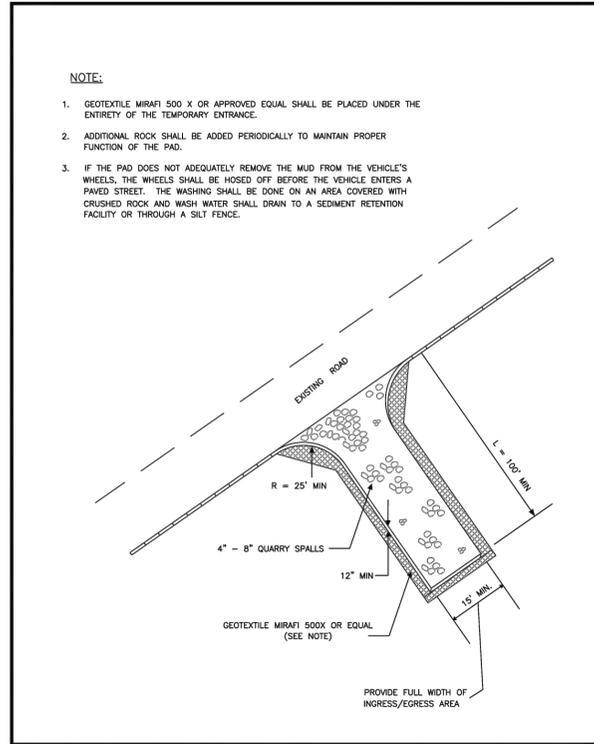
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CHANGES TO THESE PLANS AS
DETERMINED BY THE DEVELOPMENT
ENGINEERING MANAGER.



CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	SILTATION FENCE				CITY STANDARD 02.03.02
	DESIGNED BY LINDA LIAN	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISION BY NONE	

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES				CITY STANDARD 05.01.01
	DESIGNED BY DAN BROWN-EVORODIA	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISION BY LINDA LIAN	



CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS	TEMPORARY CONSTRUCTION ENTRANCE				CITY STANDARD 05.01.01
	DESIGNED BY DAN BROWN-EVORODIA	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISION BY NONE	

APPROVED

BY _____
 CITY OF PUYALLUP
 DEVELOPMENT ENGINEERING

DATE _____

NOTE:
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 FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

CALL BEFORE YOU DIG 811
 UNDERGROUND SERVICE (USA)

<p>25-018 Project No. PFA Drawn By RJC Designed By RJC Approved By 3/16/2026 Date</p>	<p>3/16/2026 Date 3/16/2026 Date 12/12/2023 Date</p> <p>3 No. 2 1 1 No.</p> <p>PERMIT DOCUMENTS PERMIT DOCUMENTS CIVIL PERMIT APPLICATION</p>
<p>PO BOX 598 BOTHELL, WA 98011 (206) 484-3495 www.cecilrassoc.com</p>	
<p>CLIENT STEP BY STEP FAMILY SUPPORT CENTER 5303 8TH AVENUE SE #A PUYALLUP, WA 98072</p> <p>KRISTALINDEN CONTACT</p>	
<p>STEP BY STEP PARKING LOT REVISION</p>	
<p>TESC DETAILS</p>	
<p>C2.10</p>	

SITE DATA

PROJECT SITE AREA: 259,084 SF (5.95 AC)
 TAX PARCEL NUMBER: 0420264069
 ZONING: CMX - SHAW-PIIONEER COMMUNITY MIXED USE

PROPOSED LOT COVERAGE:

PROJECT SITE AREA: 259,084 SF (5.95 AC)
 NEW + REPLACED GRAVEL AREA: 21,896 SF
 ONSITE: 2,024 SF
 OFFSITE R/W: 23,920 SF
 TOTAL: 25,944 SF
 TOTAL ONSITE IMPERVIOUS: 25,053 SF (9.7%)
 TOTAL ONSITE PERVIOUS: 234,031 SF (90.3%)

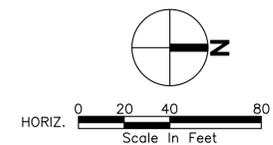
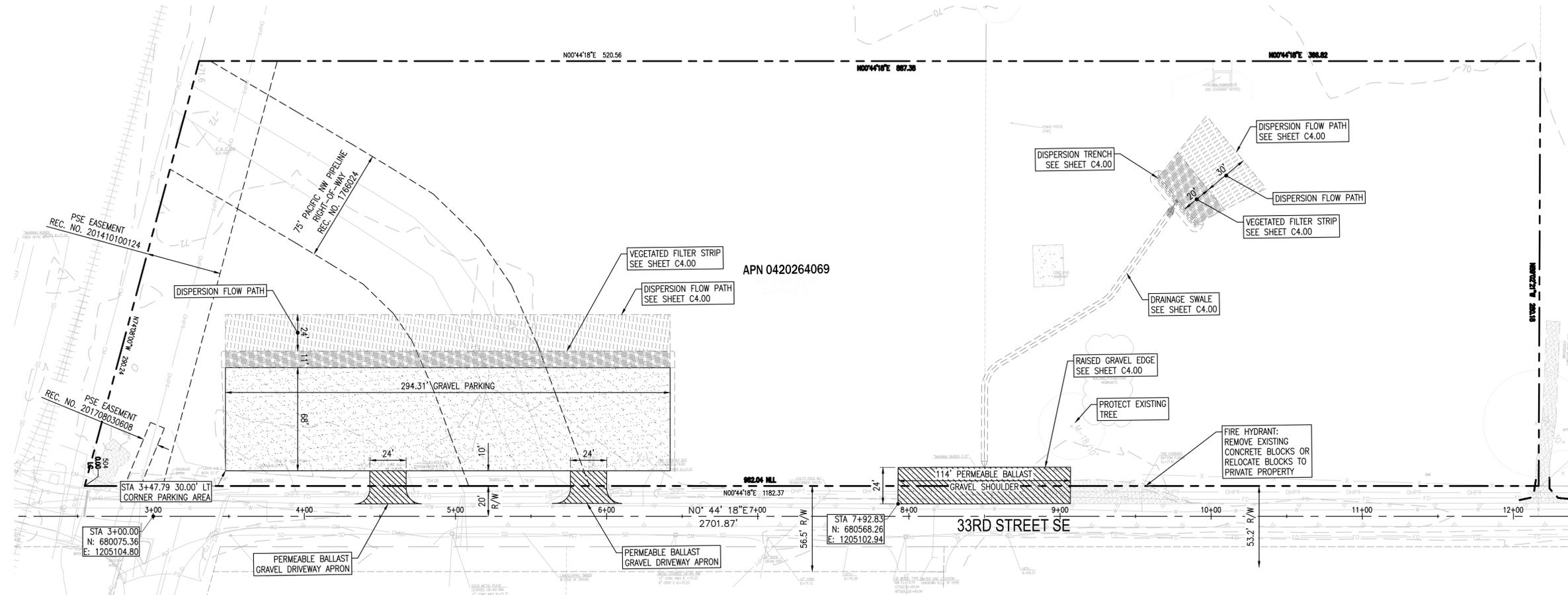
**THIS PROJECT IS RETROACTIVELY MITIGATING GRAVEL PARKING INSTALLED WITHOUT A PERMIT. THOSE IMPERVIOUS SURFACES ARE SHOWN AS "PROPOSED".

CONSTRUCTION NOTES

- ALL DISTURBED LAWN AND LANDSCAPED AREA TO BE AMENDED PER BMP T5.13 POST-CONSTRUCTION SOIL QUALITY AND DEPTH. SEE CITY STANDARD DETAIL 01.02.08A AT SHEET C4.11

LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT LINE
- GRAVEL SURFACING
- COMPOST AMENDED FILTER STRIP
- VEGETATED FLOW PATH
- PERMEABLE BALLAST DRIVEWAY SURFACING



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DATE _____
 NOTE:
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 THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS.
 FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

No.	Description	Date
3	PERMIT DOCUMENTS	3/16/2026
2	PERMIT DOCUMENTS	11/18/2025
1	CIVIL PERMIT APPLICATION	12/17/2023

25-018	Project No.	PFA	Drawn By	RJC	Designed By	RJC	Approved By	RJC	Date	3/16/2026
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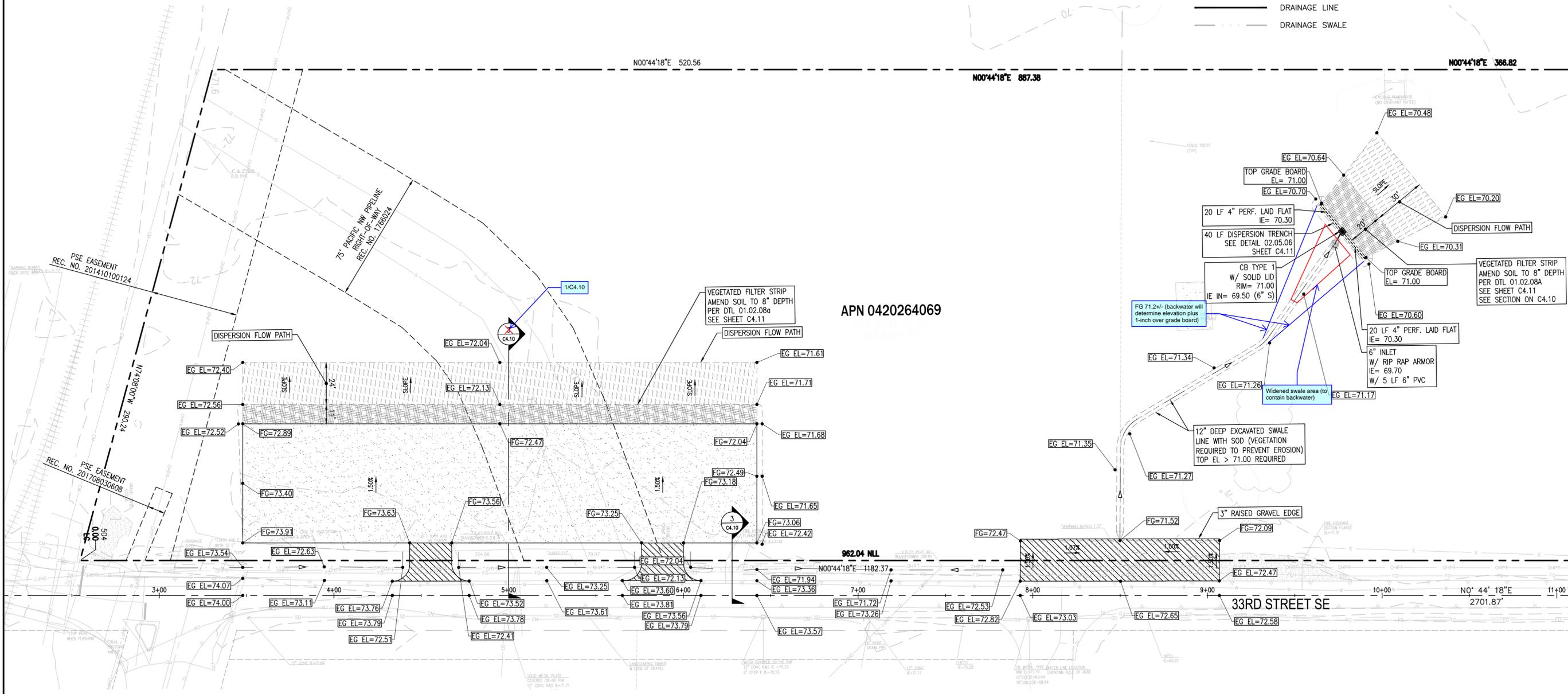
CONTACT
 KRISTALINDEN

STEP BY STEP
 PARKING LOT REVISION
 SITE PLAN

C3.00

LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT LINE
- GRAVEL SURFACING
- COMPOST AMENDED FILTER STRIP
- VEGETATED FLOW PATH
- PERMEABLE BALLAST DRIVEWAY SURFACING
- DRAINAGE LINE
- DRAINAGE SWALE



APN 0420264069

REVISIONS	No.	Description	Date
	1	PERMIT DOCUMENTS	3/16/2026
	2	PERMIT DOCUMENTS	11/18/2025
	3	CIVIL PERMIT APPLICATION	12/12/2023

25-018
Project No.
PFA
Drawn By
RJC
Designed By
RJC
Approved By
RJC
Date
3/16/2026



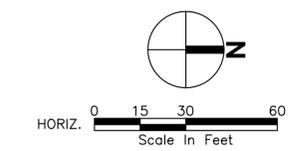
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5303 8TH AVENUE SE #A
PUYALLUP, WA 98072

KRISTAL LINDEN
CONTACT

STEP BY STEP
PARKING LOT REVISION
GRADING & DRAINAGE PLAN

C4.00



APPROVED
BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEER

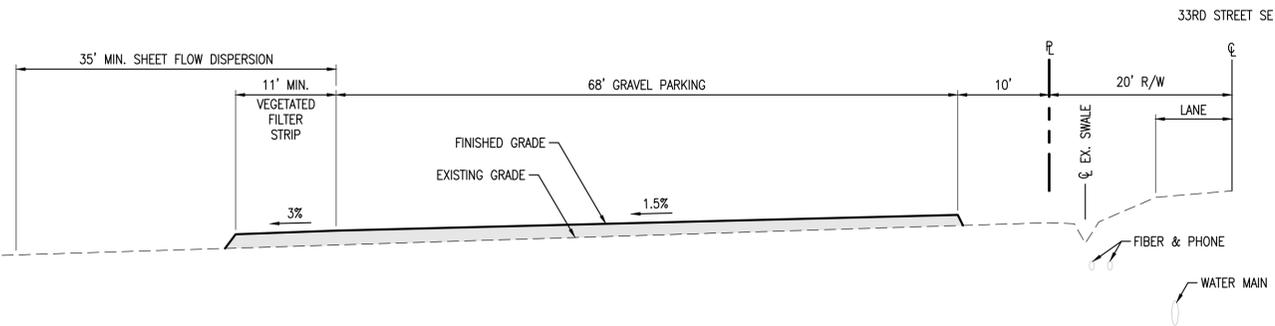
DATE _____

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DAYS FROM APPROVAL DATE.

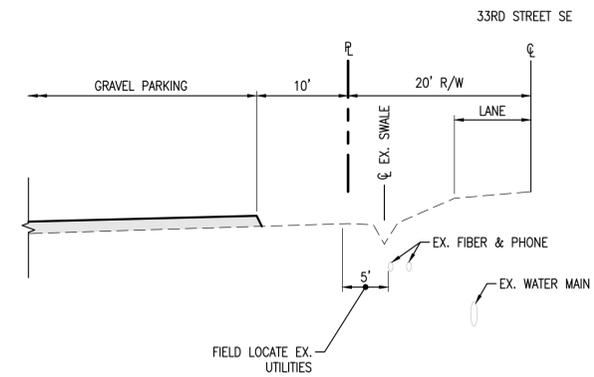
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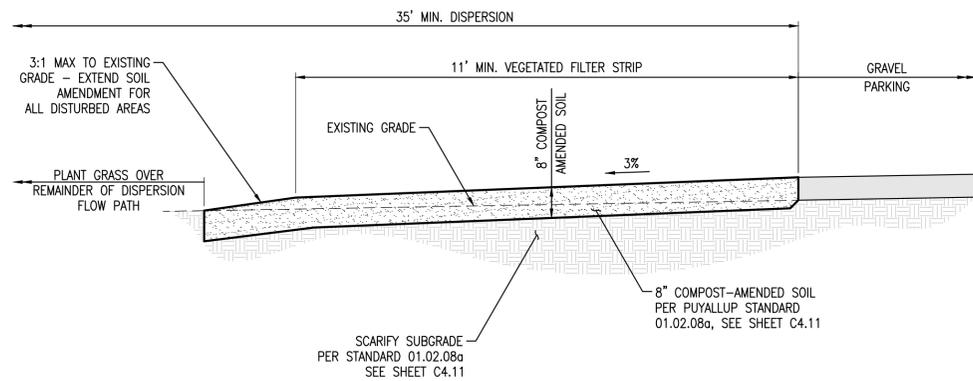
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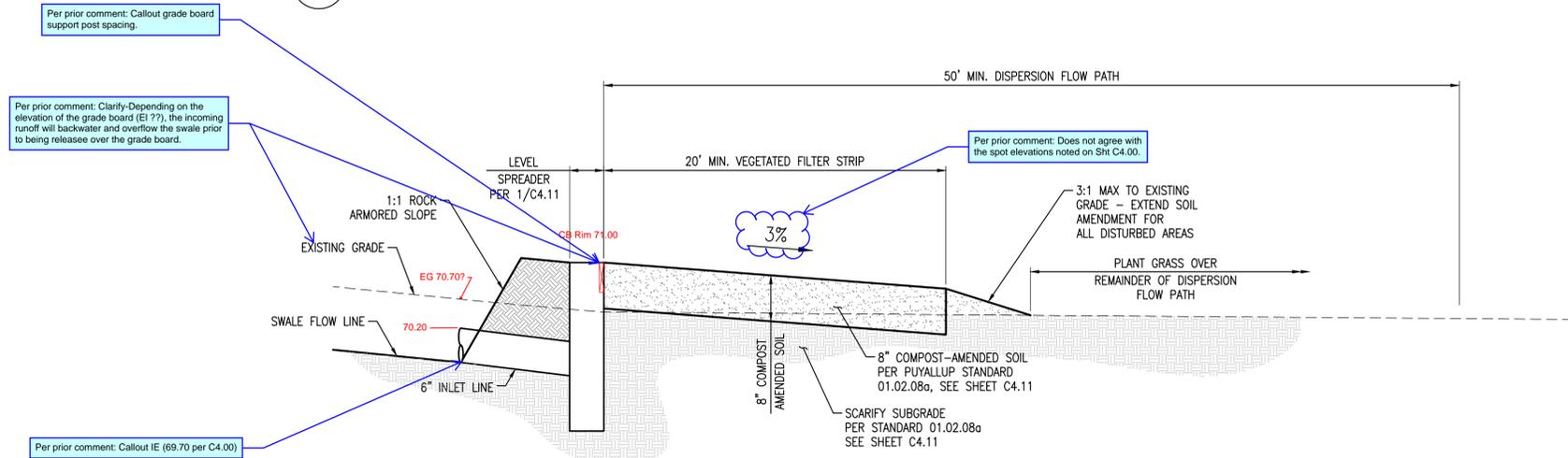
1 TYPICAL GRAVEL PARKING AREA SECTION
SCALE: H 1"=10'; V 1"=2'



3 TYPICAL FRONTAGE W/ SWALE SECTION
SCALE: H 1"=10'; V 1"=2'



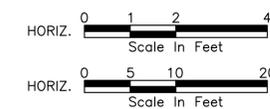
2 VEGETATED FILTER STRIP SECTION
SCALE: 1"=2'



4 DISPERSION TRENCH W/ VEGETATED FILTER STRIP SECTION
SCALE: H 1"=5'; V 1"=1'

SOIL/COMPOST MIX NOTE:

1. PLACE AND ROTOTILL 1.75 INCHES OF COMPOSTED MATERIAL INTO 6.25 INCHES OF SOIL (A TOTAL AMENDED DEPTH OF ABOUT 9.5 INCHES), FOR A SETTLED DEPTH OF 8 INCHES.
2. WATER OR ROLL TO COMPACT SOIL TO 85% MAXIMUM.
3. PLANT GRASS.
4. RECOMMEND MIXING 60% TO 65% LOAMY SAND MIXED WITH 25% TO 30% COMPOST OR 30% SANDY LOAM, 30% COURSE SAND, AND 30% COMPOST IN ORDER TO ACHIEVE ORGANIC CONTENT OF 5% BY DRY WEIGHT.
5. FINAL SOIL MIXTURE TO BE TESTED PRIOR TO INSTALLATION FOR FERTILITY, MICRONUTRIENT ANALYSIS, AND ORGANIC MATERIAL CONTENT.



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DATE _____
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REVISIONS	No.	Description	Date
	3	PERMIT DOCUMENTS	3/6/2026
	2	PERMIT DOCUMENTS	11/16/2025
	1	CIVIL PERMIT APPLICATION	12/12/2023

25-018	Project No.
PFA	Drawn By
RJC	Designed By
RJC	Approved By
3/6/2026	Date

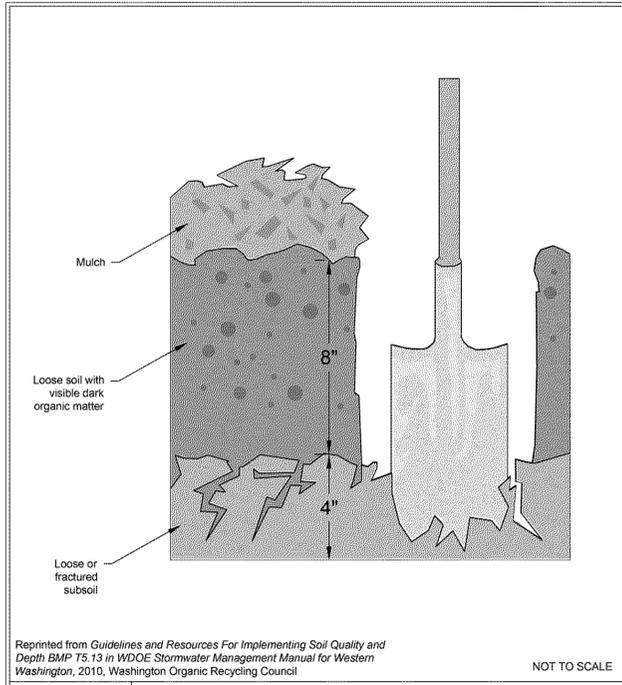


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PUYALLUP, WA 98072

CONTACT:
KRISTALINDEN

STEP BY STEP
PARKING LOT REVISION
SITE SECTIONS
C4.10



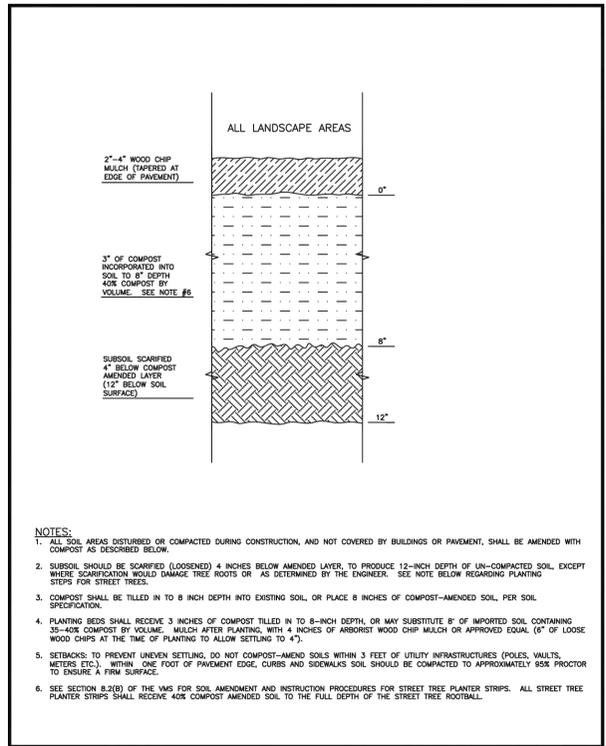
Reprinted from *Guidelines and Resources For Implementing Soil Quality and Depth BMP T5.13 in WDOE Stormwater Management Manual for Western Washington, 2010*, Washington Organic Recycling Council

NOT TO SCALE

DEPARTMENT OF ECOLOGY
State of Washington

Figure V-5.3.3
Planting Bed Cross-Section
Revised January 2016

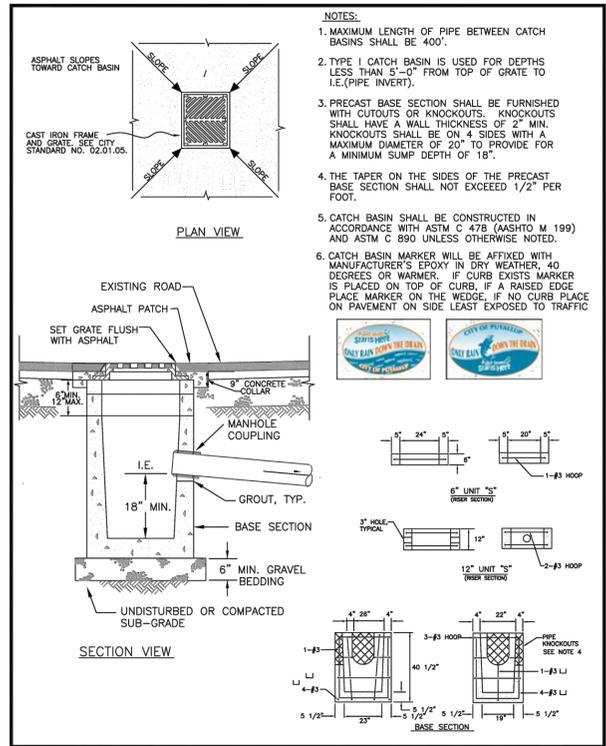
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CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

SOIL AMENDMENT AND DEPTH

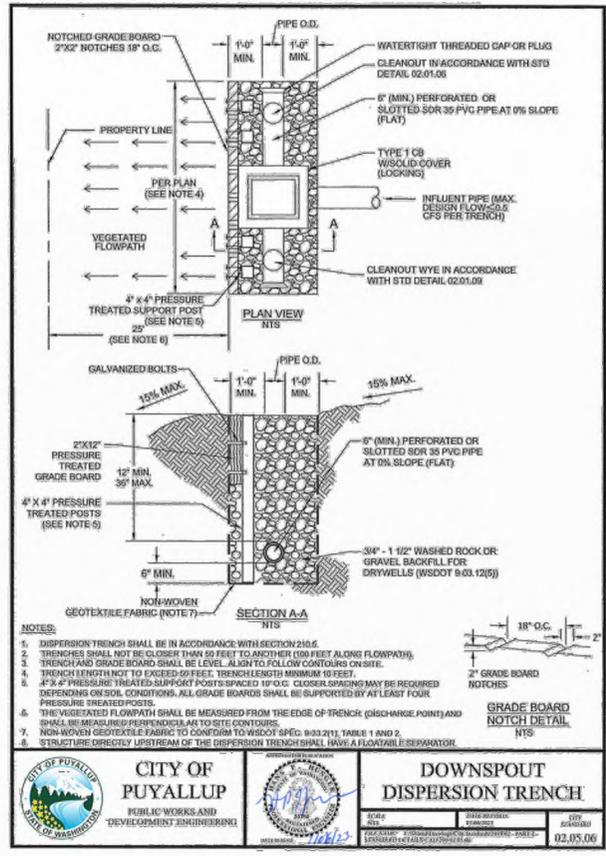
DESIGNED BY LINDA LEAN	CHECKED BY CHRIS BEALE	APPROVED BY COLLEEN HARRIS	DATE APPROVED 01.02.08a
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CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

CATCH BASIN TYPE 1 (AREA DRAIN)

DESIGNED BY LINDA LEAN	CHECKED BY LINDA LEAN	APPROVED BY COLLEEN HARRIS	DATE APPROVED 02.01.02
---------------------------	--------------------------	-------------------------------	---------------------------



CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

DOWNSPOUT DISPERSION TRENCH

DESIGNED BY LINDA LEAN	CHECKED BY LINDA LEAN	APPROVED BY COLLEEN HARRIS	DATE APPROVED 02.05.06
---------------------------	--------------------------	-------------------------------	---------------------------

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PROFESSIONAL ENGINEER
STATE OF WASHINGTON
4374

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CONTACT
KRISTALINDEN

REVISIONS

No.	Description	Date
1	CIVIL PERMIT APPLICATION	12/12/2023
2	PERMIT DOCUMENTS	11/16/2023
3	PERMIT DOCUMENTS	3/16/2026

25-018
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PFA
Drawn By
RJC
Designed By
RJC
Approved By
3/16/2026
Date

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APPROVED

BY _____
CITY OF PUYALLUP
DEVELOPMENT ENGINEERING

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STEP BY STEP
PARKING LOT REVISION

SITE DETAILS

C4.11