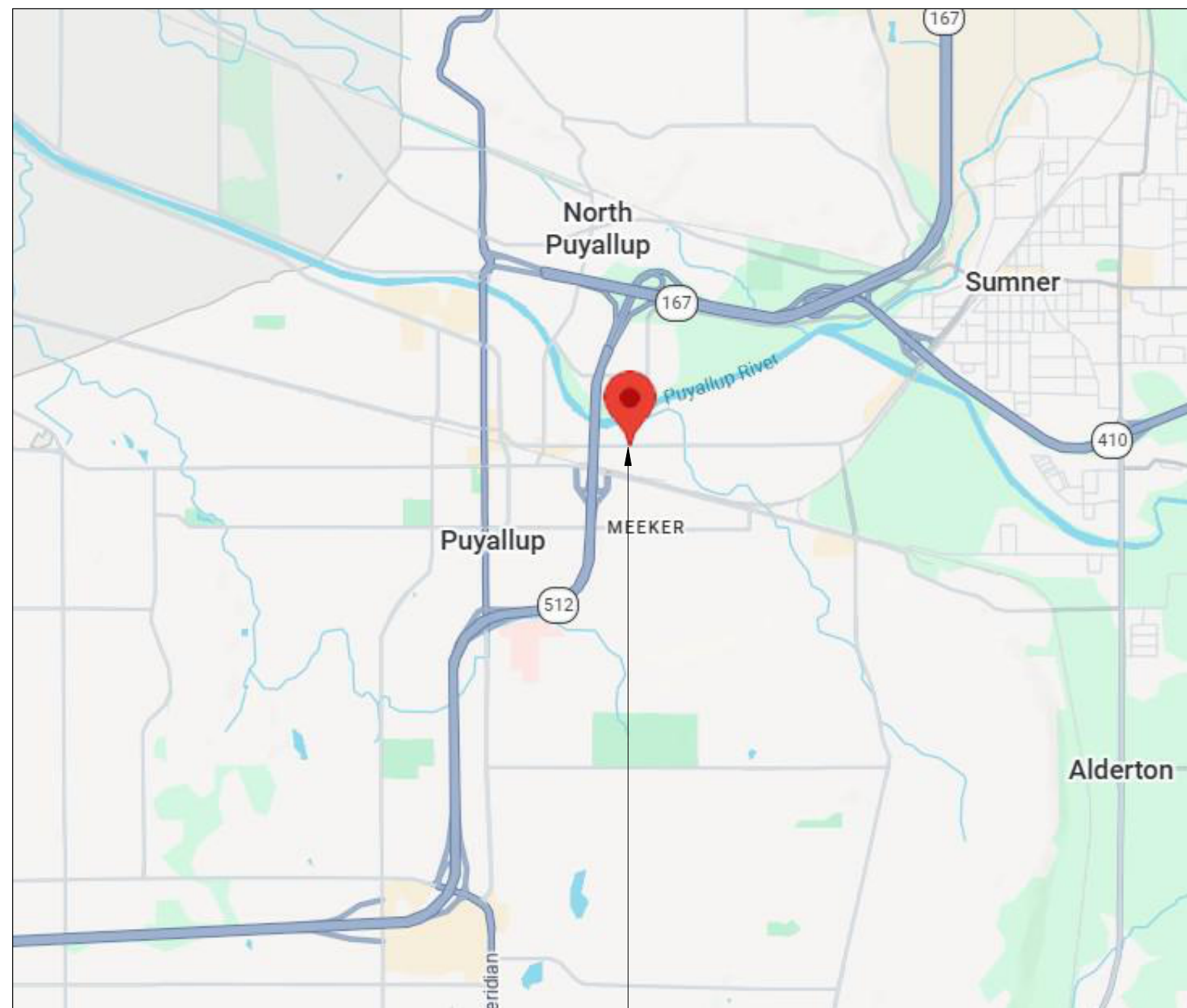


PEM WOODS COFFEE

1127 E. MAIN AVENUE
PUYALLUP, WA 98372
DEMOLITION PERMIT DRAWINGS - 3.13.2026

VICINITY MAP



PROJECT LOCATION



City of Puyallup
Planning
Division
APPROVED

See permit
conditions.
NComstock
03/24/2026
1:21:24 PM



Nonresidential design review guidelines will be required to be met for any proposed changes to the exterior of the structure (PMC 20.26.300). When submitting the TI for changes to the exterior, please include the nonresidential design worksheet linked below. Please note that there are changes coming to our design standards that will be adopted in about six (6) months. In the meantime, PMC 20.26.300 will apply to this project.

- Planning Division

SHEET INDEX

SHEET NUMBER DRAWING DESCRIPTION

GENERAL

G-101 COVER SHEET

ARCHITECTURAL DEMOLITION

AD121 FIRST FLOOR DEMOLITION PLAN
AD151 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
AD161 ROOF DEMOLITION PLAN
AD201 EXTERIOR ELEVATIONS
AD202 EXTERIOR ELEVATIONS

PROJECT TEAM

CLIENT
TACO TIME NORTHWEST
3401 LIND AVE SW
RENTON, WA 98057
CONTACT: ROBBY TONKIN
EMAIL: RTONKIN@TACOTIMENW.COM

ARCHITECT
BCRA, INC
2106 PACIFIC AVENUE, SUITE 300
TACOMA, WA 98402
CONTACT: HEIDI KIHLMAN
PHONE: 253.627.4367
EMAIL: HKIHLMAN@BCRADESIGN.COM

CONTRACTOR
LD SANDERS CONSTRUCTION, LLC
24920 SE 369TH PL
ENUMCLAW, WA 98022
CONTACT: LYLE SANDERS
PHONE: 360.239.2308
EMAIL: LDSANDERSCONSTRUCTION@YAHOO.COM

PROJECT GENERAL NOTES

- EXISTING DIMENSIONS AND CONDITIONS.
 - PRIOR TO START OF WORK, FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE OWNER OF ANY DISCREPANCIES FROM CONDITIONS SHOWN ON THE DRAWINGS.
- COORDINATION AND PROTECTION OF EXISTING COMPONENTS.
 - GENERAL COORDINATION: SCHEDULE ANY WORK ON THE EXTERIOR ENVELOPE OF THE BUILDING TO COINCIDE WITH DRY WEATHER. COORDINATE WORK SO THAT THE BUILDING INTERIOR AND THE ROOF DECK AND STRUCTURE ARE NOT EXPOSED TO WET WEATHER.
 - TEMPORARY WEATHER PROTECTION: PLAN THE WORK AND PROVIDE THE TEMPORARY COVER NECESSARY TO PROTECT THE BUILDING INTERIOR AND ROOF DECK AND STRUCTURE FROM EXPOSURE TO WET WEATHER UNTIL THE PERMANENT ROOFING INSTALLATION IS COMPLETED.
 - PROTECTION OF LANDSCAPING, PAVEMENT AND SITE: DO NOT ALLOW REMOVED MATERIALS OR DEBRIS TO FALL DIRECTLY ONTO THE LANDSCAPE AREAS AND PAVEMENT AROUND THE BUILDING, REMOVE ANY DEBRIS FROM THESE AREAS IMMEDIATELY. PROTECT FROM DAMAGE BY TRUCKS OR OTHER HEAVY EQUIPMENT. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY PAVEMENT OR LANDSCAPING DAMAGED BY THE WORK OF THIS PROJECT TO MATCH EXISTING AND TO THE OWNER'S SATISFACTION.
 - PROTECTION OF EXISTING BUILDING: PROTECT EXISTING BUILDING FROM DAMAGE, INCLUDING (BUT NOT LIMITED TO) WALLS, SOFFITS, SOFFIT VENTS, WINDOWS, ROOF DECK AND STRUCTURE, FASCIAS, AND PLUMBING VENTS. THE CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ANY BUILDING ELEMENT DAMAGED BY THE WORK OF THIS PROJECT TO MATCH EXISTING AND TO THE OWNER'S SATISFACTION.
 - TAKE MEASURES TO PREVENT ANY EXISTING ROOFING MATERIALS OR DEBRIS FROM ENTERING EXISTING ROOF PENETRATIONS.
- INSPECTION OF EXISTING CONSTRUCTION.
 - INSPECT THE EXISTING ROOF DECK, FASCIAS AND ROOF STRUCTURE FOR DETERIORATION AND DAMAGE OF ANY KIND AND, IF FOUND, ADVISE THE ARCHITECT AND OWNER IMMEDIATELY OF THE LOCATION, QUANTITY AND COST TO REPAIR AND/OR REPLACE.
 - INSPECT THE EXISTING MATERIALS AND ELEMENTS SHOWN TO BE REUSED FOR DETERIORATION AND DAMAGE OF ANY KIND AND, IF FOUND, ADVISE THE ARCHITECT AND OWNER IMMEDIATELY OF THE LOCATION, QUANTITY AND COST TO REPAIR AND/OR REPLACE.
 - MAINTAIN A DAILY INSPECTION LOG DOCUMENTING ANY FINDINGS OF DETERIORATION AND DAMAGE OF EXISTING ROOF DECK, FASCIAS AND ROOF STRUCTURE.

PROJECT INFORMATION

DESCRIPTION	EXISTING TACO TIME NW STORE TO BE TURNED INTO A PLAIN BUILDING SHELL CONDITION WITH FUTURE SHELL PERMIT SUBMITTAL AND THEN INTO A NEW COFFEE SHOP WITH A FUTURE TI PERMIT SUBMITTAL. ONLY DEMOLITION AND PREP AS NEEDED FOR THIS SCOPE OF WORK. ALL FIXTURES, FURNITURE, EQUIPMENT, AND FINISHES TO BE REMOVED. ALL INTERIOR WALLS TO BE REMOVED UNLESS NOTED OTHERWISE. NO WORK TO BE COMPLETED THAT WILL DAMAGE THE STRUCTURAL INTEGRITY OF THE BUILDING.
SITE ADDRESS	1127 E MAIN AVENUE, PUYALLUP, WA 98372
PARCEL NUMBERS	0420271174 (ORIGINALLY 7845100032)
ZONING	GENERAL COMMERCIAL (GC)
LAND USE DESIGNATION	GENERAL COMMERCIAL (GC)
JURISDICTION	CITY OF PUYALLUP
PROJECT SITE AREA	3.21 ACRES / 139,828 SQUARE FEET
UTILITY PURVEYORS	SEWER: CITY OF PUYALLUP WATER: CITY OF PUYALLUP ELECTRIC: PUGET SOUND ENERGY
PROJECT SITE ACCESS	SOUTH: EXISTING PAVED ENTRY FROM E MAIN AVENUE
CODES UTILIZED	2021 IBC W WAC AMENDMENTS 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2017 ICC A117.1 CITY OF PUYALLUP MUNICIPAL CODE
CONSTRUCTION TYPE	VB
NUMBER OF STORIES	1
SPRINKLERED	NO

LEGAL DESCRIPTION

Section 27 Township 20 Range 04 Quarter 13 L 1 OF LOT COMB 2025-05-01-0254 PARCELS 1 & 2 OF BLA 2003-05-28-5004 EXC THAT POR CYD TO CY OF PUYALLUP FOR RIVERFRONT TRAIL PER ETN 4054956 ALSO EXC POR CYD TO CY OF PUYALLUP PER ETN 4191000 EASE OF REC APPROVED COMB BY CY OF PUYALLUP PLAN DEPT 04/29/25 COMB OF 784510-003-2 & 04-20-27-1-174 SEG 2025-0359 05/07/25 JP

ABBREVIATIONS

DS	DOWNSPOUT	MIN	MINIMUM
EQ	EQUAL	SIM	SIMILAR
FV	FIELD VERIFY	TYP	TYPICAL
MAX	MAXIMUM	UNO	UNLESS NOTED OTHERWISE

SEPARATE / DEFERRED SUBMITTALS

SEPARATE:	DEFERRED:
BUILDING SHELL	SIGNAGE
TENANT IMPROVEMENT (MECH, ELEC, PLUMB)	

Signage must be separate permit(s).

ARCHITECTURAL SYMBOLS

	NORTH ARROW		CUT LINE
	GRAPHIC SCALE		WALL TYPE CALLOUT
	BUILDING SECTION		ROOF TYPE CALLOUT
	WALL SECTION		FLOOR/CEILING TYPE CALLOUT
	EXTERIOR ELEVATION		WINDOW TYPE CALLOUT
	DATUM POINT		STOREFRONT TYPE CALLOUT
	ELEVATION MARKER		LOUVER TYPE CALLOUT
			SHEET NOTE - DEMOLITION
			SHEET NOTE
			REVISION

Approval of submitted plans is not an approval of omissions or oversights by this office or non compliance with any applicable regulations of local government. The contractor is responsible for making sure that the building complies with all applicable codes and regulations of the local government.

The approved construction plans, documents, and all engineering must be posted on the job at all inspections in a visible and readily accessible location.

Full sized legible color plans are required to be provided by the permittee on site for inspection.

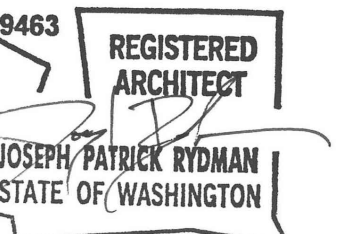
All existing service utility connections must be properly discontinued and capped.

Ensure site is clear of all hazards and debris prior to scheduling Final inspection.

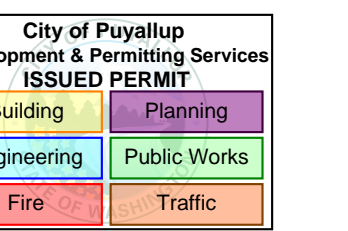
Measures must be taken to protect adjoining public and private property from damage during demolition activities.

City of Puyallup
Building
REVIEWED
FOR
COMPLIANCE

B.Snowden
04/01/2026
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PRDE20260358

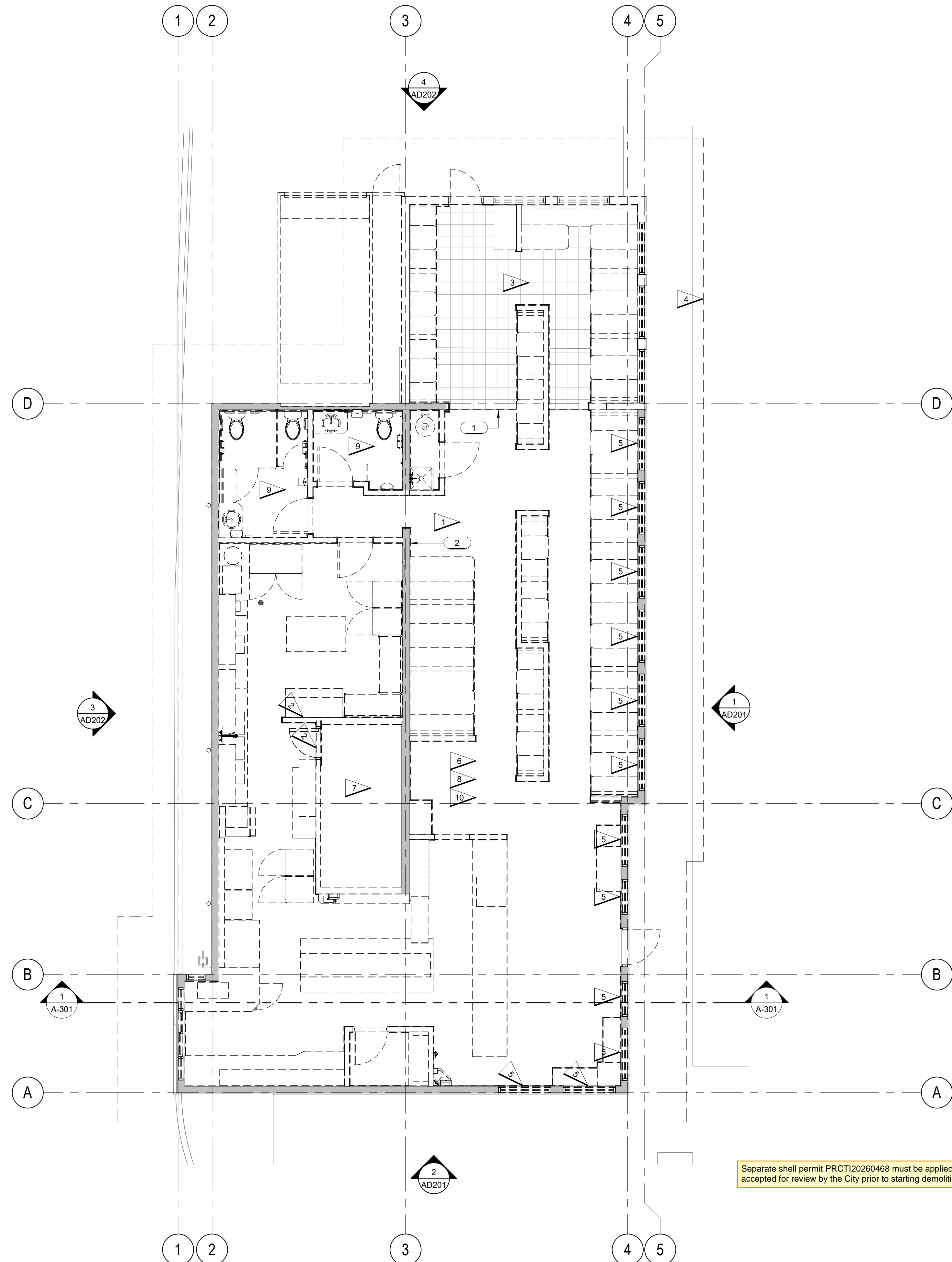


PROJECT:
BUILDING SHELL RENOVATION
PEM WOODS COFFEE
1127 E. MAIN AVENUE
PUYALLUP, WA 98372

DATE	03.13.2026
BCRA NO.	25137.00.00
DRAWN BY:	
REVIEWED BY:	
SHEET TITLE	COVER SHEET



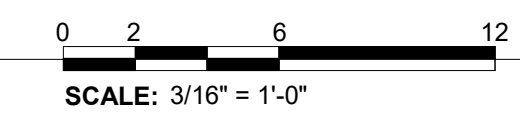
G-101
DEMOLITION PERMIT



1 FIRST FLOOR DEMOLITION PLAN
3/16" = 1'-0"

If the building is sprinklered; existing sprinkler system must remain active and operational. Demolition work must not inhibit or obstruct fire sprinkler coverage.

Separate shell permit PRCT120260468 must be applied for and accepted for review by the City prior to starting demolition work.

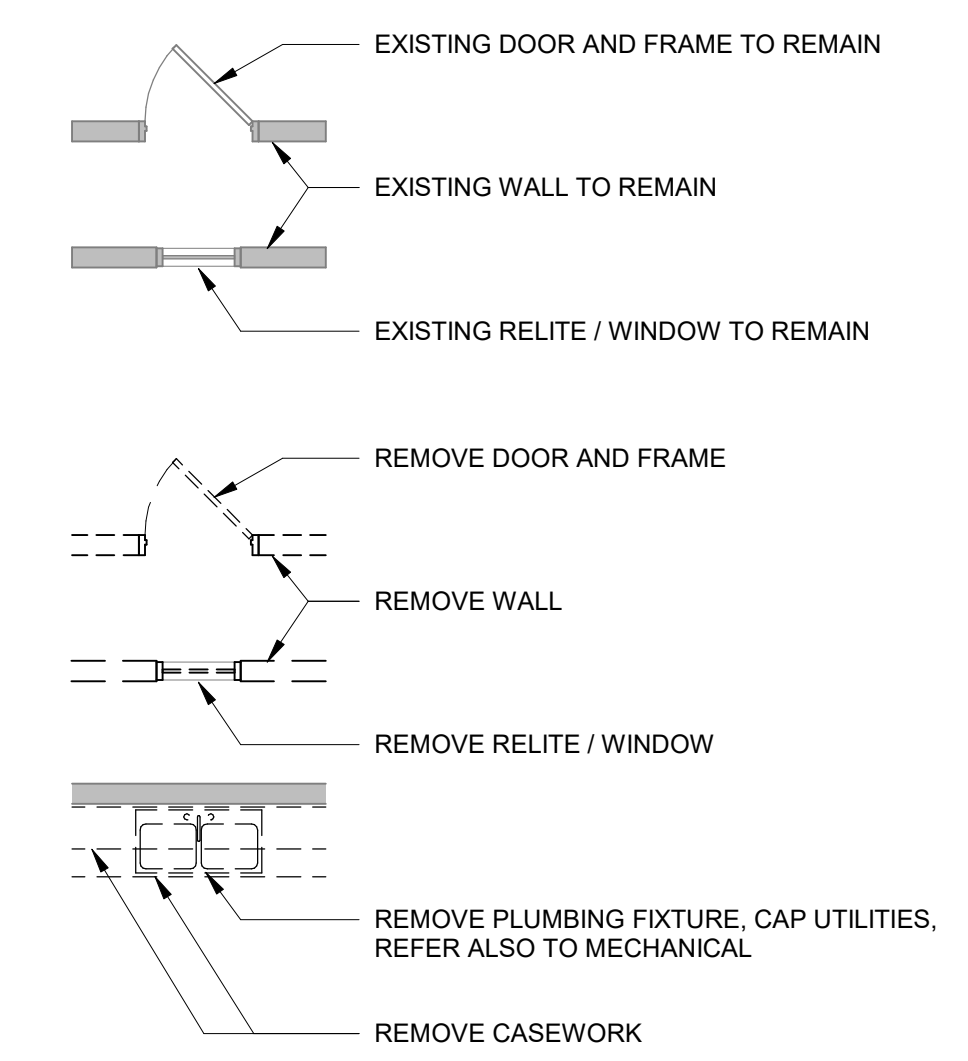


DEMOLITION FLOOR PLAN GENERAL NOTES

- GC TO REMOVE ALL INTERIOR FINISHES, PLUMBING, MECHANICAL, ELECTRICAL, AND EQUIPMENT TO DELIVER A CLEAN EMPTY SHELL. ADDITIONAL SCOPE TO BE CAPTURED UNDER SEPARATE SHELL OR TENANT IMPROVEMENT PERMIT.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
- FOR THE PURPOSES OF THESE DEMOLITION DRAWINGS, DEFINITIONS ARE AS FOLLOWS:
 - DEMOLISH** - COMPLETE DEMOLITION OF AN ENTIRE STRUCTURE. NO ITEMS TO BE REMOVED OR SALVAGED.
 - REMOVE** - SELECTIVE REMOVAL OF A DESIGNATED BUILDING ELEMENT IN A MANNER THAT ENSURES THAT SURROUNDING EXISTING BUILDING ELEMENTS (TO REMAIN) ARE PROTECTED FROM DAMAGE. ALL REMOVED ITEMS ARE TO BE DISPOSED OF IN AN APPROPRIATE MANNER OFF-SITE.
 - SALVAGE** - REMOVAL OF A DESIGNATED BUILDING ELEMENT IN A MANNER THAT PROTECTS THE ITEM BEING REMOVED FOR RE-USE IN THE PROJECT, OR TURNED OVER TO THE OWNER. ITEM IS TO BE STORED BY THE GENERAL CONTRACTOR (FOR RE-USE) OR COORDINATED WITH THE OWNER FOR REMOVAL FROM THE SITE.
- WHERE EXISTING WALLS AND DOOR FRAMES ARE REMOVED, DISASSEMBLE OR CUT OFF FLUSH ANCHOR BOLTS, CONDUIT, PIPING IN FLOOR AND FILL HOLES W/ CEMENTITIOUS UNDERLAYMENT/GROUT FLUSH W/ FLOOR SURFACE.
- PROTECT ALL EXISTING STRUCTURE, WALLS, AND ROOFS TO REMAIN FROM DAMAGE DURING DEMOLITION. REPAIR AND REPLACE DAMAGED EXISTING CONSTRUCTION.

DEMOLITION FLOOR PLAN LEGEND

NOTE: NOT ALL LEGEND ITEMS MAY BE PRESENT ON THIS SHEET

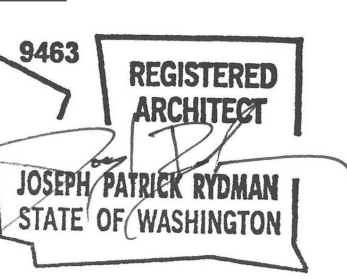


DEMOLITION FLOOR PLAN DEMO SHEET NOTES

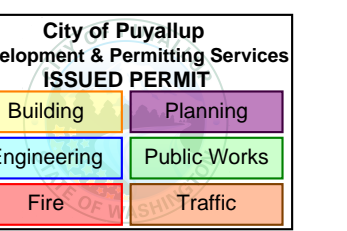
- REMOVE ALL WALLS AND DOORS EXCEPT FOR SHEAR WALL ALONG GRID 3 AND PORTION OF WALLS INDICATED IN DEMO SHEET NOTE 2.
- REMOVE PORTION OF WALL UP TO SECTION NEEDED FOR ROOF ACCESS.
- REMOVE ADDITION FROM 2004. PREP FOR NEW EXTERIOR WALL AT TRANSITION BETWEEN ADDITION AND REST OF THE BUILDING. NO DEMOLITION OR REMOVAL TO OCCUR THAT WILL IMPACT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- REMOVE MANSARD ROOF ABOVE.
- REMOVE WINDOW, INCLUDING SILL, TRIM, AND BLINDS, AND WALL BELOW. PREPARE FOR FULL HEIGHT STOREFRONT SYSTEM WITH REUSE OF EXISTING HEADER.
- REMOVE ALL EXISTING KITCHEN EQUIPMENT AND PLUMBING FIXTURES, CAP AND/OR PREP UTILITY LINES FOR REUSE, COORDINATE WITH TI DRAWINGS.
- REMOVE EXISTING WALK-IN COOLER & FREEZER.
- REMOVE EXISTING CASEWORK, EXISTING BOOTHS, AND ASSOCIATED FINISHES AND MATERIALS.
- REMOVE EXISTING RESTROOM FINISHES, FLOORING AND FIXTURES, INCLUDING TILE BACKER BOARD AND PREP FOR NEW GWB ON EXISTING WALLS TO REMAIN.
- REMOVE ALL WALL FINISHES, LIGHT FIXTURES, CHAIRRAIL, ARTWORK, AND DETAILING.

DEMOLITION FLOOR PLAN SHEET NOTES

- EXISTING SUPPORT BEAM TO REMAIN.
- SHEAR WALL TO REMAIN.



PRDE20260358



PROJECT:
BUILDING SHELL RENOVATION
PEN WOODS COFFEE
1127 E. MAIN AVENUE
PUYALLUP, WA 98372

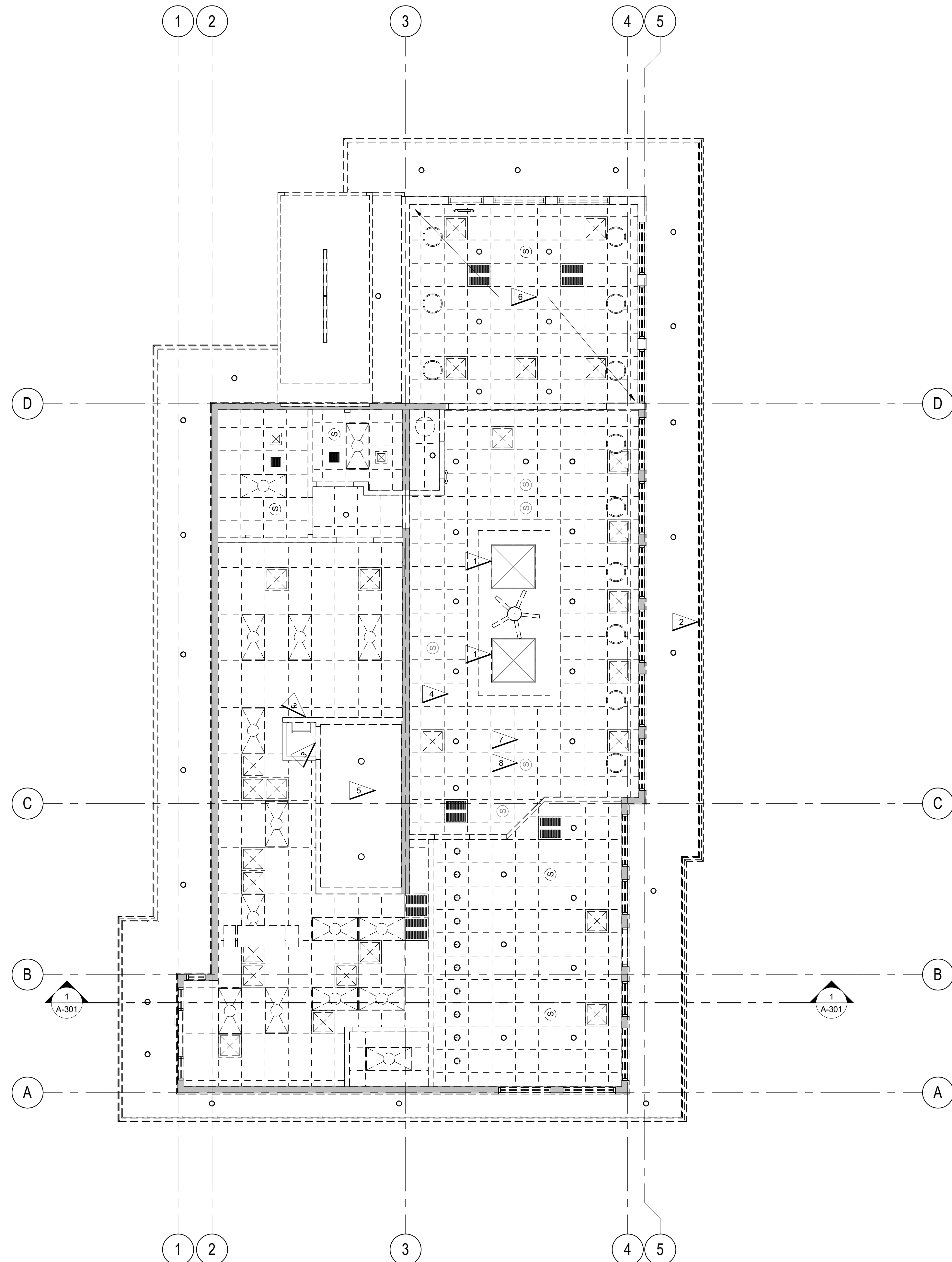
REVISIONS

NO.	DATE	DESCRIPTION

DATE: 03.13.2026
BCRA NO: 25137.00.00
DRAWN BY:
REVIEWED BY:
SHEET TITLE: FIRST FLOOR DEMOLITION PLAN

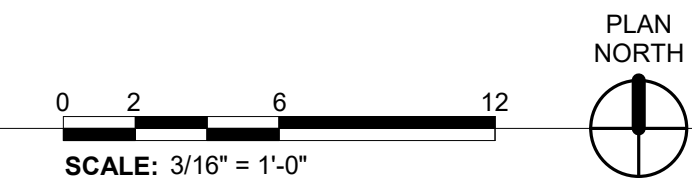


AD121
DEMOLITION PERMIT



1 FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN
3/16" = 1'-0"

If the building is sprinklered; existing sprinkler system must remain active and operational. Demolition work must not inhibit or obstruct fire sprinkler coverage.

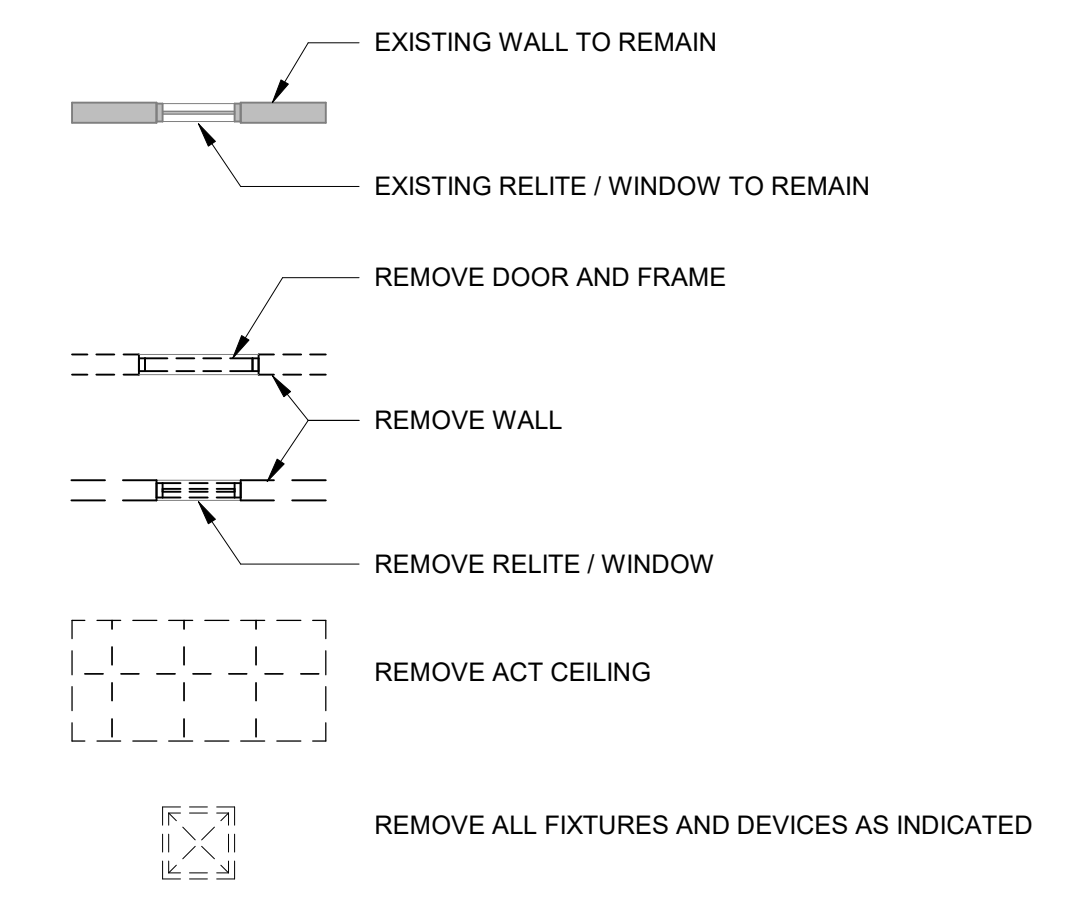


DEMO REFLECTED CEILING GENERAL NOTES

- GC TO REMOVE ALL INTERIOR FINISHES, PLUMBING, MECHANICAL, ELECTRICAL, AND EQUIPMENT TO DELIVER A CLEAN EMPTY SHELL. ADDITIONAL SCOPE TO BE CAPTURED UNDER SEPARATE SHELL OR TENANT IMPROVEMENT PERMIT.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
- FOR THE PURPOSES OF THESE DEMOLITION DRAWINGS, DEFINITIONS ARE AS FOLLOWS:
 - DEMOLISH** - COMPLETE DEMOLITION OF AN ENTIRE STRUCTURE. NO ITEMS TO BE REMOVED OR SALVAGED.
 - REMOVE** - SELECTIVE REMOVAL OF A DESIGNATED BUILDING ELEMENT IN A MANNER THAT ENSURES THAT SURROUNDING EXISTING BUILDING ELEMENTS (TO REMAIN) ARE PROTECTED FROM DAMAGE. ALL REMOVED ITEMS ARE TO BE DISPOSED OF IN AN APPROPRIATE MANNER OFF-SITE.
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- WHERE EXISTING WALLS AND DOOR FRAMES ARE REMOVED, DISASSEMBLE OR CUT OFF FLUSH ANCHOR BOLTS, CONDUIT, PIPING IN FLOOR AND FILL HOLES W/ CEMENTITIOUS UNDERLAYMENT/GROUT FLUSH W/ FLOOR SURFACE.
- PROTECT ALL EXISTING STRUCTURE, WALLS, AND ROOFS TO REMAIN FROM DAMAGE DURING DEMOLITION. REPAIR AND REPLACE DAMAGED EXISTING CONSTRUCTION.

DEMO REFLECTED CEILING PLAN LEGEND

NOTE: NOT ALL LEGEND ITEMS MAY BE PRESENT ON THIS SHEET

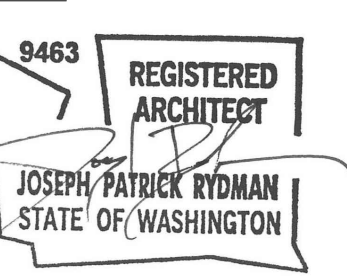


DEMO REFLECTED CEILING PLAN SHEET NOTES

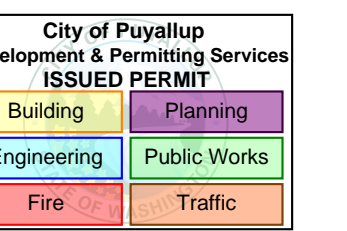
- SKYLIGHT EXISTING TO REMAIN. REMOVE SURROUNDING WALLS AND CEILINGS.
- REMOVE MANSARD ROOF ABOVE AND ALL ASSOCIATED LIGHTING FIXTURES AND DEVICES.
- REMOVE PORTION OF WALL UP TO SECTION NEEDED FOR ROOF ACCESS.
- REMOVE ALL EQUIPMENT, INCLUDING, BUT NOT LIMITED TO, SECURITY CAMERAS, AV EQUIPMENT, AND SPEAKERS.
- REMOVE WALK-IN COOLER & FREEZER AND ASSOCIATED LIGHT FIXTURES AND DEVICES.
- REMOVE ADDITION FROM 2004. PREP FOR NEW EXTERIOR WALL AT TRANSITION BETWEEN ADDITION AND REST OF THE BUILDING. NO DEMOLITION OR REMOVAL TO OCCUR THAT WILL IMPACT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- REMOVE ALL CEILINGS, SOFFITS, AND ASSOCIATED LIGHT FIXTURES AND DEVICES THROUGHOUT BUILDING. PATCH AND REPAIR AS REQUIRED.
- REMOVE DIFFUSERS AND PREP TO REROUTE DUCTS PER TI DRAWINGS.



T 253.627.4367 F 253.627.4395 WWW.BCRADESIGN.COM
2108 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402



PRDE20260358



PROJECT:
BUILDING SHELL RENOVATION
PEM WOODS COFFEE
1127 E. MAIN AVENUE
PUYALLUP, WA 98372

REVISIONS

NO.	DESCRIPTION

DATE
03.13.2026
BCRA NO.
25137.00.00
DRAWN BY:
REVIEWED BY:

SHEET TITLE
FIRST FLOOR
REFLECTED CEILING
DEMOLITION PLAN

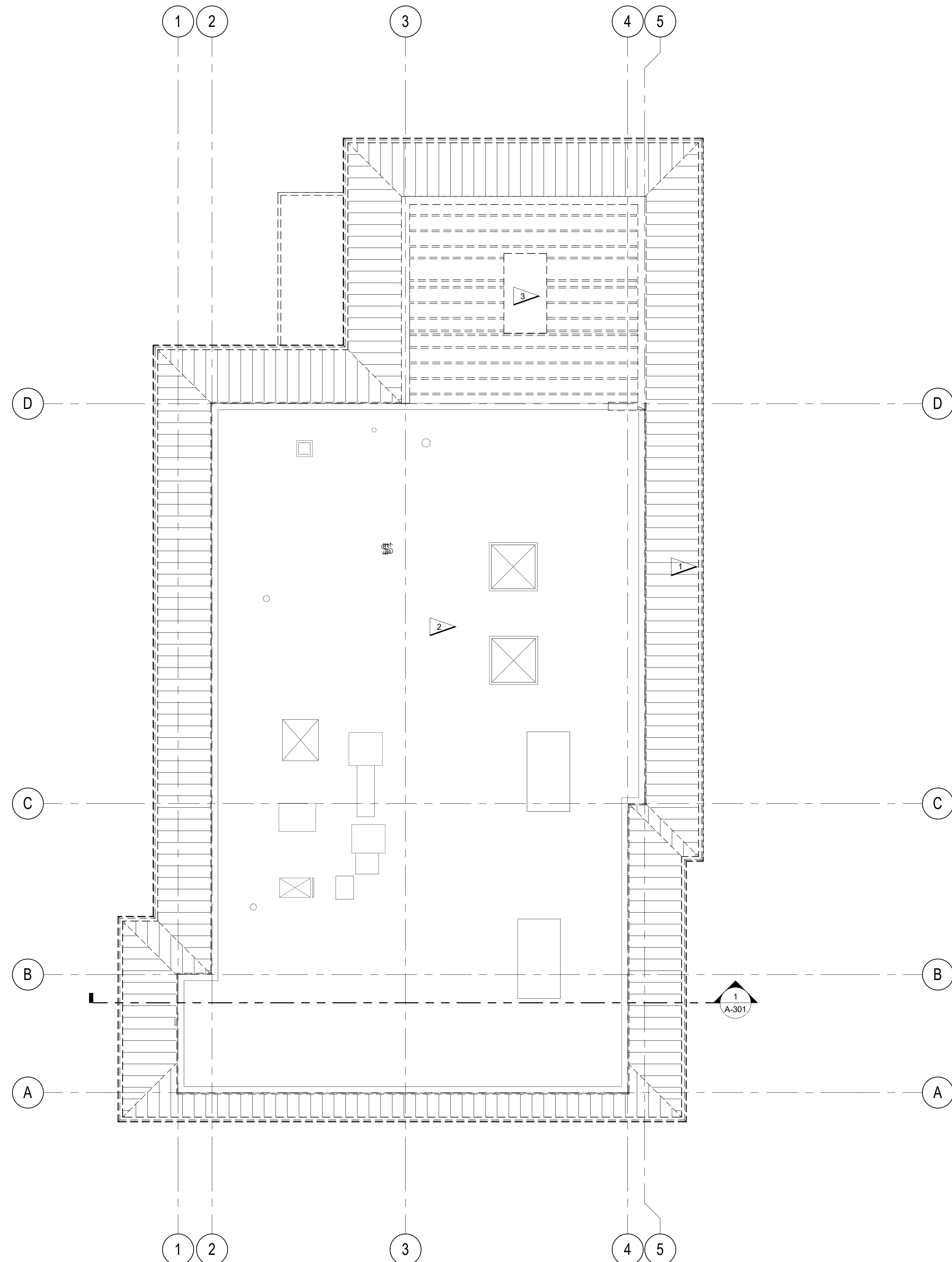


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SHEET

AD151

DEMOLITION PERMIT

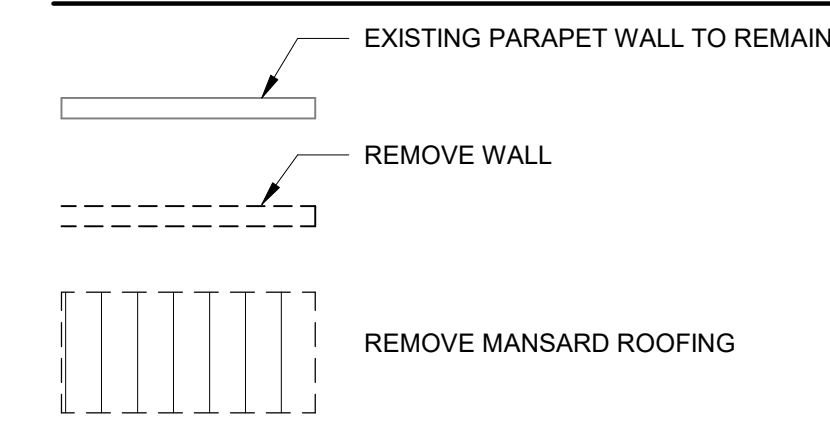
IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY



DEMOLITION ROOF PLAN GENERAL NOTES

- ADDITIONAL EXTERIOR SCOPE TO BE CAPTURED UNDER SEPARATE SHELL PERMIT.
 - FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
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 - WHERE EXISTING WALLS AND DOOR FRAMES ARE REMOVED, DISASSEMBLE OR CUT OFF FLUSH ANCHOR BOLTS, CONDUIT, PIPING IN FLOOR AND FILL HOLES W/ CEMENTITIOUS UNDERLAYMENT/GROUT FLUSH W/ FLOOR SURFACE.
- PROTECT ALL EXISTING STRUCTURE, WALLS, AND ROOFS TO REMAIN FROM DAMAGE DURING DEMOLITION. REPAIR AND REPLACE DAMAGED EXISTING CONSTRUCTION.

DEMOLITION ROOF PLAN LEGEND

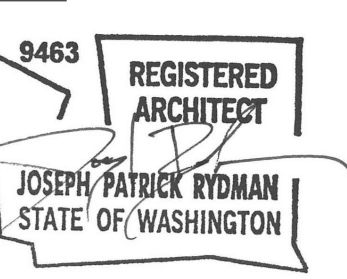
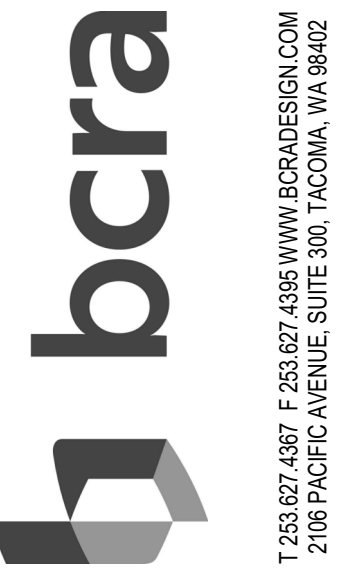
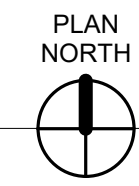
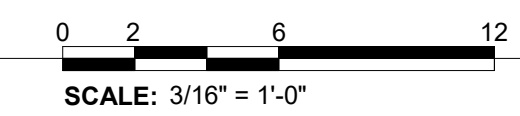


DEMOLITION ROOF PLAN SHEET NOTES

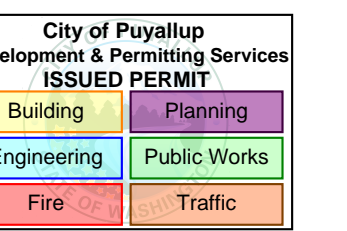
- REMOVE MANSARD ROOF, FRAME, SOFFIT, AND ASSOCIATED LIGHT FIXTURES. PATCH AND REPAIR AS NEEDED.
- ALL SINGLE-PLY ROOFING MEMBRANE TO BE REMOVED. PREP TO RECEIVE NEW ROOFING SYSTEM.
- REMOVE ADDITION FROM 2004 INCLUDING ROOFTOP UNIT. PREP FOR NEW EXTERIOR WALL AT TRANSITION BETWEEN ADDITION AND REST OF THE BUILDING. NO DEMOLITION OR REMOVAL TO OCCUR THAT WILL IMPACT THE STRUCTURAL INTEGRITY OF THE BUILDING.

1 DEMOLITION ROOF PLAN
3/16" = 1'-0"

If the building is sprinklered, existing sprinkler system must remain active and operational. Demolition work must not inhibit or obstruct fire sprinkler coverage.



PRDE20260358



PROJECT:
BUILDING SHELL RENOVATION
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1127 E. MAIN AVENUE
PUYALLUP, WA 98372

REVISIONS

NO.	DATE	DESCRIPTION

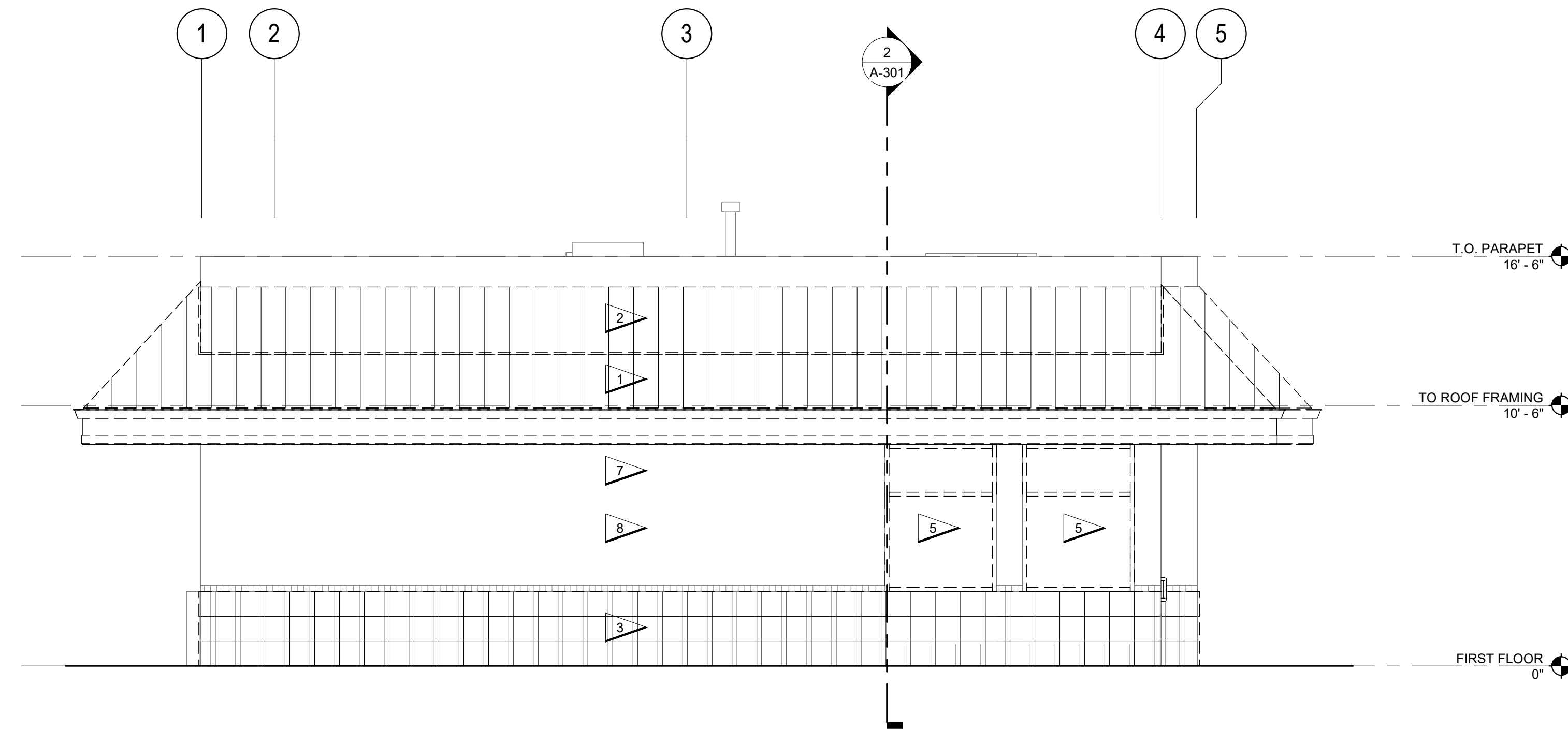
DATE: 03.13.2026
BCRA NO: 25137.00.00
DRAWN BY:
REVIEWED BY:
SHEET TITLE: ROOF DEMOLITION PLAN



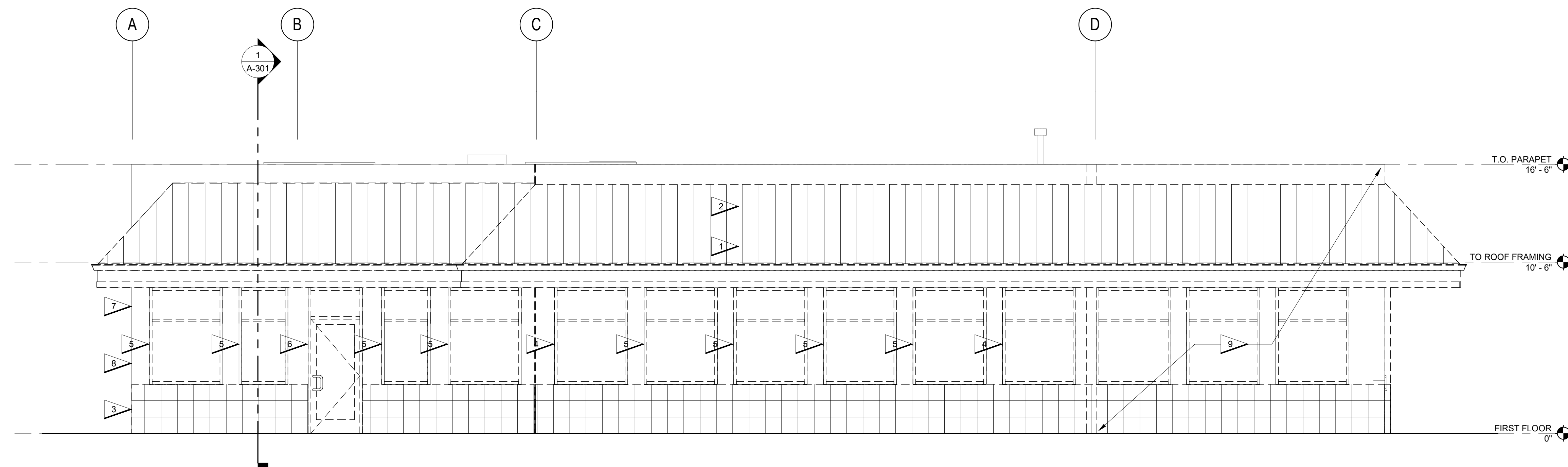
AD161

DEMOLITION PERMIT

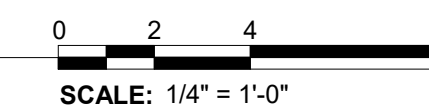
IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY



2 EXTERIOR ELEVATION - SOUTH DEMOLITION
1/4" = 1'-0"



1 EXTERIOR ELEVATION - EAST DEMOLITION
1/4" = 1'-0"



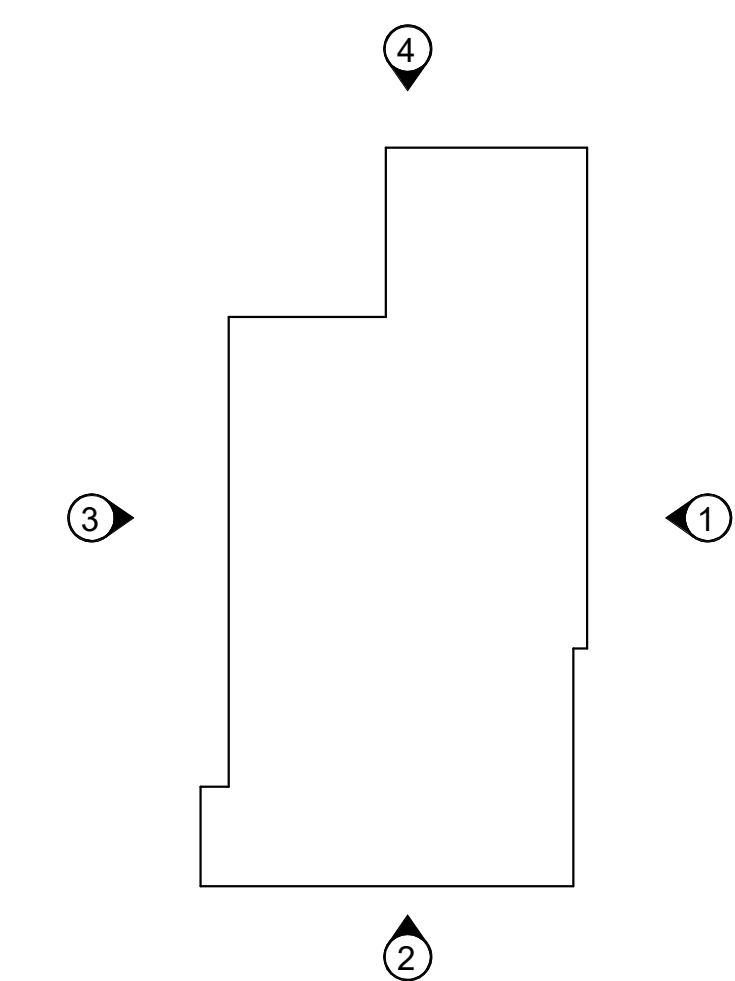
DEMOLITION GENERAL NOTES

1. ADDITIONAL EXTERIOR SCOPE TO BE CAPTURED UNDER SEPARATE SHELL PERMIT.
2. FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
3. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
4. FOR THE PURPOSES OF THESE DEMOLITION DRAWINGS, DEFINITIONS ARE AS FOLLOWS:
 - A. **DEMOLISH** - COMPLETE DEMOLITION OF AN ENTIRE STRUCTURE. NO ITEMS TO BE REMOVED OR SALVAGED.
 - B. **REMOVE** - SELECTIVE REMOVAL OF A DESIGNATED BUILDING ELEMENT IN A MANNER THAT ENSURES THAT SURROUNDING EXISTING BUILDING ELEMENTS (TO REMAIN) ARE PROTECTED FROM DAMAGE. ALL REMOVED ITEMS ARE TO BE DISPOSED OF IN AN APPROPRIATE MANNER OFF-SITE.
 - C. **SALVAGE** - REMOVAL OF A DESIGNATED BUILDING ELEMENT IN A MANNER THAT PROTECTS THE ITEM BEING REMOVED FOR RE-USE IN THE PROJECT, OR TURNED OVER TO THE OWNER. ITEM IS TO BE STORED BY THE GENERAL CONTRACTOR (FOR RE-USE) OR COORDINATED WITH THE OWNER FOR REMOVAL FROM THE SITE.
5. WHERE EXISTING WALLS AND DOOR FRAMES ARE REMOVED, DISASSEMBLE OR CUT OFF FLUSH ANCHOR BOLTS, CONDUIT, PIPING IN FLOOR AND FILL HOLES W/ CEMENTITIOUS UNDERLAYMENT/GROUT FLUSH W/ FLOOR SURFACE.
6. PROTECT ALL EXISTING STRUCTURE, WALLS, AND ROOFS TO REMAIN FROM DAMAGE DURING DEMOLITION. REPAIR AND REPLACE DAMAGED EXISTING CONSTRUCTION.

ELEVATION DEMOLITION SHEET NOTES

- 1 REMOVE MANSARD ROOF, FRAME, SOFFIT, AND ASSOCIATED LIGHT FIXTURES. PATCH AND REPAIR AS NEEDED.
- 2 REMOVE ALL ROOF METAL PANEL FINISH AND COPING. CAP AT PARAPET AND MAINTAIN STRUCTURE. PATCH AND REPAIR AS NEEDED. PREP TO INSTALL NEW FINISH.
- 3 REMOVE EXISTING TILE FINISH. PATCH AND REPAIR EXISTING WALL ASSEMBLY LAYERS INCLUDING WATERPROOFING AS REQUIRED. PREP TO INSTALL NEW WALL FINISH. SEE EXTERIOR ELEVATIONS FOR SIDING MATERIAL.
- 4 REMOVE WINDOW AND FRAME ASSEMBLY. PREP TO INFILL TO MATCH EXISTING WALL ASSEMBLY. REFER TO SHEET A-101.
- 5 REMOVE STOREFRONT ASSEMBLY AND WALL BELOW (ALIGNED WITH OPENING). PREP FOR NEW FULL-HEIGHT STOREFRONT.
- 6 REMOVE EXISTING STOREFRONT ASSEMBLY. PREP FOR NEW STOREFRONT.
- 7 REMOVE LIGHTING, RE-ROUTE POWER AS NEEDED FOR SIGNAGE.
- 8 REMOVE EXISTING STUCCO FINISH. PATCH AND REPAIR EXISTING WALL ASSEMBLY INCLUDING WATERPROOFING AS REQUIRED. PREP TO INSTALL NEW WALL FINISH. SEE EXTERIOR ELEVATIONS FOR SIDING MATERIAL.
- 9 DEMOLISH 2004 BUILDING ADDITION.
- 10 REMOVE EXISTING DOWNSPOUTS.

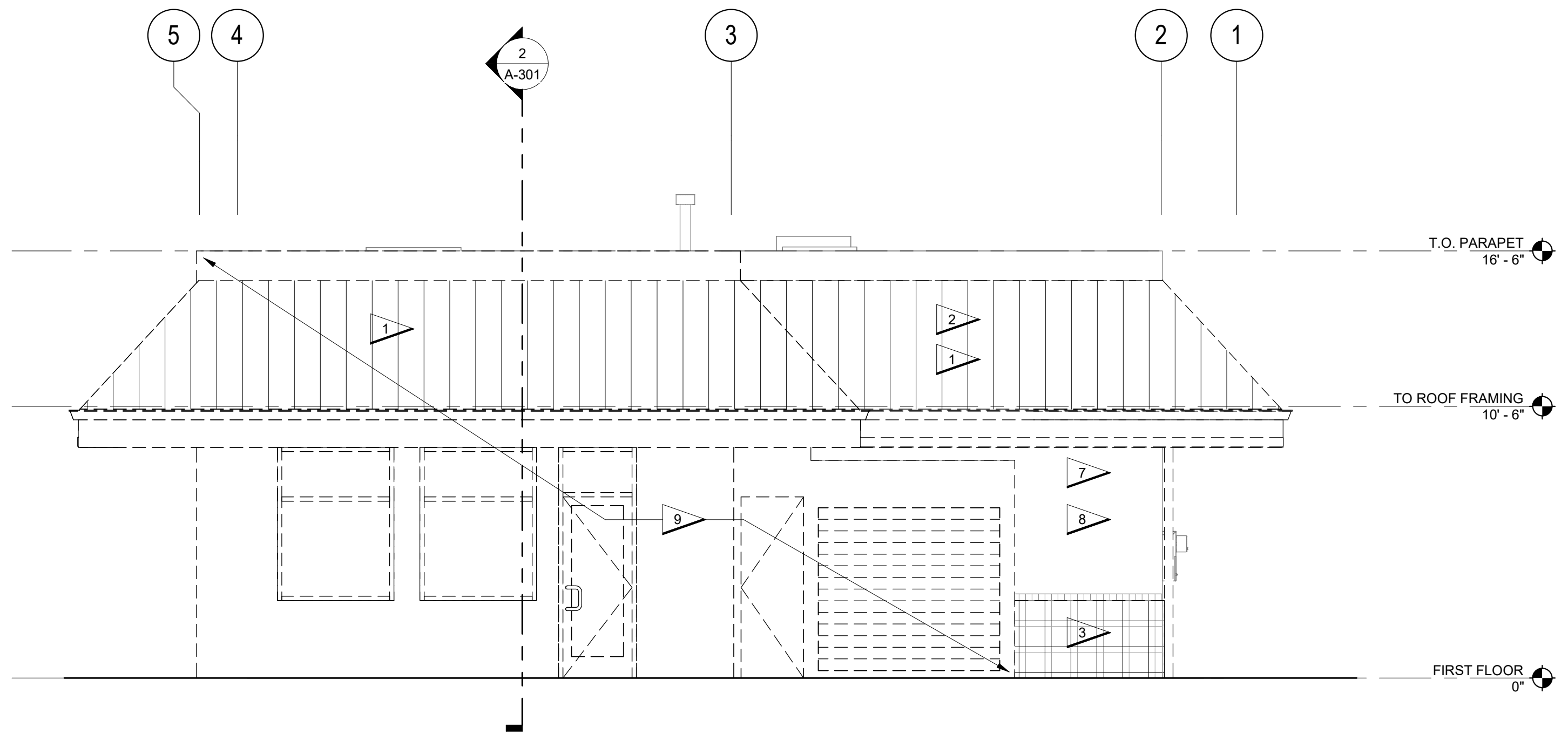
KEY PLAN



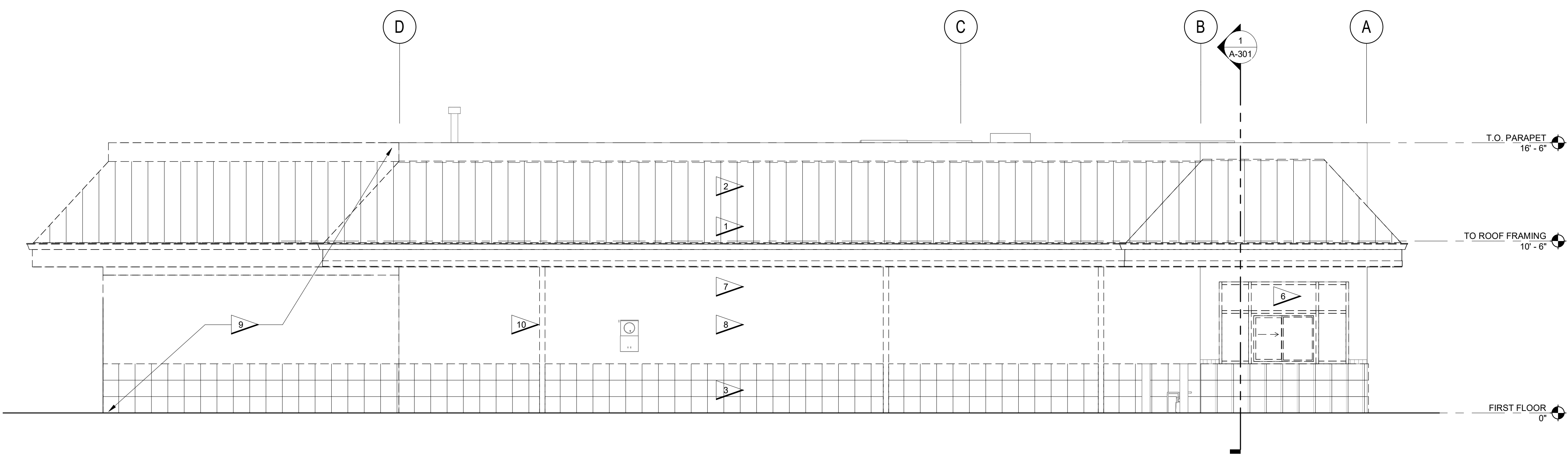
REVISIONS

NO.	DATE	DESCRIPTION

DATE	03.13.2026
BCRA NO.	25137.00.00
DRAWN BY:	
REVIEWED BY:	
SHEET TITLE	EXTERIOR ELEVATIONS



4 EXTERIOR ELEVATION - NORTH DEMOLITION
1/4" = 1'-0"



3 EXTERIOR ELEVATION - WEST DEMOLITION
1/4" = 1'-0"

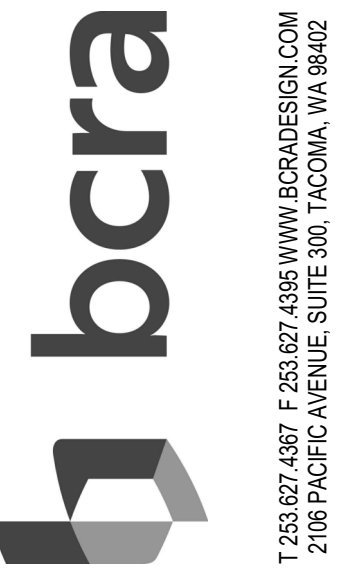
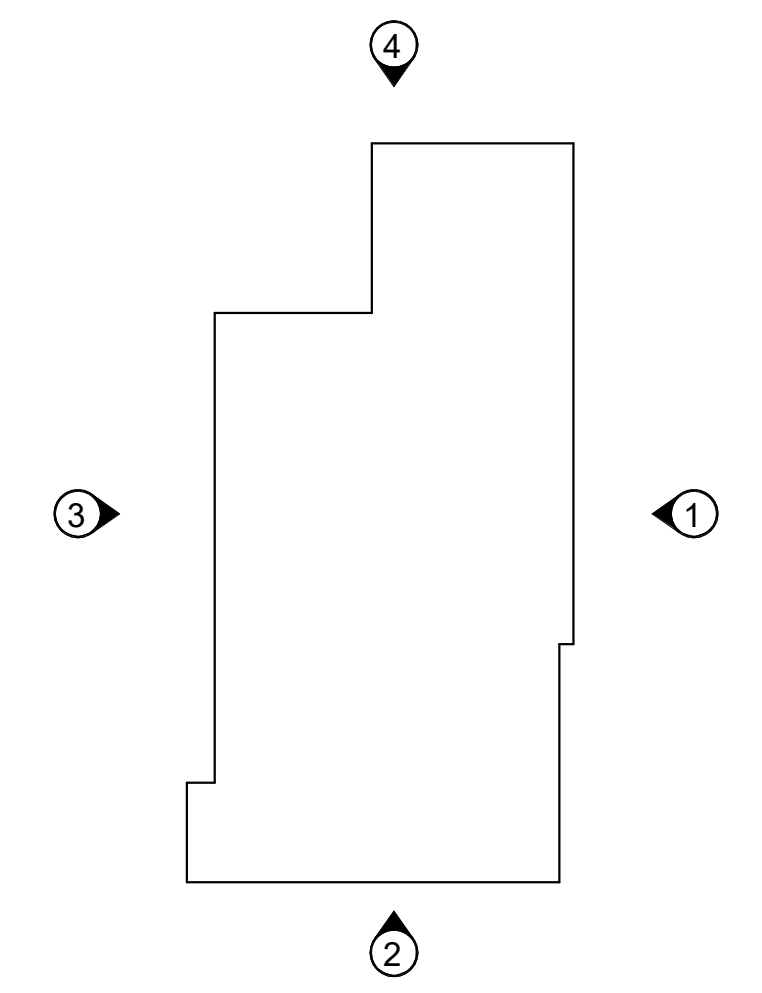
DEMOLITION GENERAL NOTES

1. ADDITIONAL EXTERIOR SCOPE TO BE CAPTURED UNDER SEPARATE SHELL PERMIT.
2. FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION OPERATIONS. BRING ANY DISCREPANCIES WHICH MAY SIGNIFICANTLY AFFECT DEMOLITION TO THE ATTENTION OF THE ARCHITECT FOR REVIEW.
3. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
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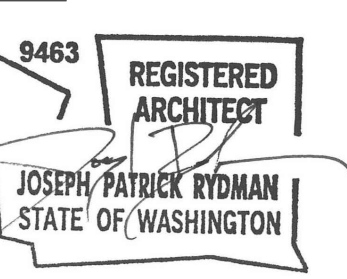
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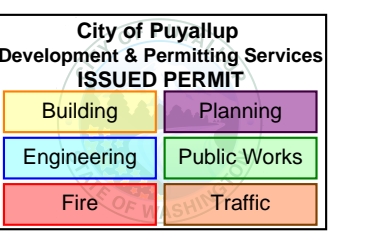
KEY PLAN



T 253.627.4367 F 253.627.4395 WWW.BCRADESIGN.COM
2109 PACIFIC AVENUE, SUITE 300, TACOMA, WA 98402



PRDE20260358



PROJECT:
BUILDING SHELL RENOVATION
PEM WOODS COFFEE
1127 E. MAIN AVENUE
PUYALLUP, WA 98372

REVISIONS

NO.	DATE	DESCRIPTION

DATE
03.13.2026
BCRA NO.
25137.00.00
DRAWN BY:
REVIEWED BY:
SHEET TITLE
EXTERIOR ELEVATIONS



AD202

DEMOLITION PERMIT

IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY