

After recording return to:

City Clerk
City of Puyallup
333 South Meridian
Puyallup, WA 98371

Document Title: Right of Way Dedication Deed
Reference Number of Related Document(s): N/A
Grantor:
Grantee: City of Puyallup
Legal Description:
Additional Legal Description on Page(s):
Assessor's Tax Parcel Number:

RIGHT OF WAY DEDICATION DEED

The Grantor(s), GENESTAR PROPERTIES LLC, for and in good and valuable consideration, hereby grants and dedicates to Grantee, City of Puyallup, a Washington State municipal corporation, its successors, assigns, principals, and agents, for right of way purposes, that real property within which it is described in Exhibit A, and shown on a map in Exhibit B. The real property area(s) dedicated is/are situated in the County of Pierce, State of Washington.

Grantee shall have the right to regulate and use the area(s) dedicated as and for right(s) of way and for utility purposes. Such use shall include, but not be limited to the following: (1) the right of ingress and egress through and along said area(s); (2) the right to locate, design, construct, install, inspect, protect, maintain, repair, modify, and otherwise change utilities, rights of way, and any other appurtenances or related elements, including, but not limited to, signs, curbs, gutters, conduits, cables, wires, splicing boxes, power sources, and facilities, including but not limited to those for storm water, wastewater, water, electricity, gas, oil, telecommunications, communication transmission and reception, together with fencing and gates when the same are deemed by the Grantee to be necessary to protect facilities, prevent intrusions, and otherwise protect the public from loss or harm; and (3) the right to engage in any other activity that is reasonably related to the construction, operation and maintenance of public utilities and rights of way that are located in the dedicated area(s). In addition, Grantee shall have the right to clear, remove and dispose of any material, obstructions, timber and vegetation within the dedication area.

Subject to the terms hereof, Grantee shall have all other rights and benefits that are reasonably necessary or useful for Grantee's full and complete use of the area(s) dedicated. Grantor(s) shall not authorize or otherwise permit any person or entity to interfere with Grantee's use of the dedicated area(s).

All oil, gas and mineral rights are reserved to Grantor(s), provided that Grantor(s) shall not use a method of extraction that unreasonably interferes with or impairs in any way the exercise of Grantee's rights

herein, or Grantee's use of the easement; Nor shall Grantor(s) permit another person or entity to use a method of extraction that unreasonably interferes with or impairs in any way the exercise of Grantee's rights herein, or Grantee's use of the area(s) dedicated, except to the extent that any such person or entity has an existing right or entitlement to use such method of extraction.

Grantor(s) warrant(s) that he/she/they are seized of the real property interests that are granted in this instrument. Grantor(s) warrant(s) that he/she/they have the right to grant, and dedicate to the City for public use, the real property interests that are granted in this instrument. Grantor(s) warrant(s) that the real property interests that are granted in this instrument are not encumbered. Except where legally justified, Grantor(s) warrant(s) that Grantee will not be disturbed in Grantee's regulation and use of the real property interests that are granted in this instrument due to a person or entity having superior title. Furthermore, Grantor(s) warrant(s) that Grantor(s) and his/her/their successors and assigns will defend against claims and will compensate the Grantee(s) for any loss that the Grantee(s) may sustain due to a person or entity having superior title.

Also, the undersigned hereby request the Assessor and Treasurer of Pierce County to set-over to the remainder of the herein described Parcel "A" the lien of all unpaid taxes, if any, affecting the property hereby conveyed, as provided by RCW 84.60.070.

Dated: _____
_____ Grantor

Dated: _____
_____ Grantor

Dated: _____

Grantee: City of Puyallup,
Accepted by: _____ (City Engineer)

Dated: _____

Approved as to form:
Joseph N. Beck (City Attorney)

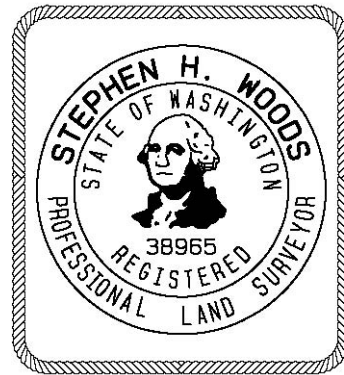
EXHIBIT A REVISED PARCEL DESCRIPTION

RESULTANT PARCEL A:

THAT PORTION OF LOTS 2 AND 3, PIERCE COUNTY SHORT PLAT, ACCORDING TO THE SHORT PLAT THEREOF RECORDED JANUARY 7, 1981, UNDER RECORDING NO. 8101070262, RECORDS OF PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 2;
THENCE SOUTH 87°52'36" EAST ALONG THE NORTH LINE THEREOF, A DISTANCE OF 335.43 FEET TO THE NORTHEAST CORNER THEREOF;
THENCE SOUTH 00°26'43" EAST ALONG THE EAST LINE OF SAID LOT 2 AND SAID LOT 3, A DISTANCE OF 346.08 FEET TO THE SOUTHEAST CORNER OF SAID LOT 3 THEREOF;
THENCE NORTH 87°32'37" WEST ALONG THE SOUTH LINE OF SAID LOT 3, A DISTANCE OF 335.04 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3 THEREOF;
THENCE NORTH 00°31'34" WEST ALONG THE WEST LINE OF SAID LOT 2 AND SAID LOT 3, A DISTANCE OF 344.15 FEET TO THE POINT OF BEGINNING.
CONTAINING 2.653 ACRES, MORE OR LESS.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

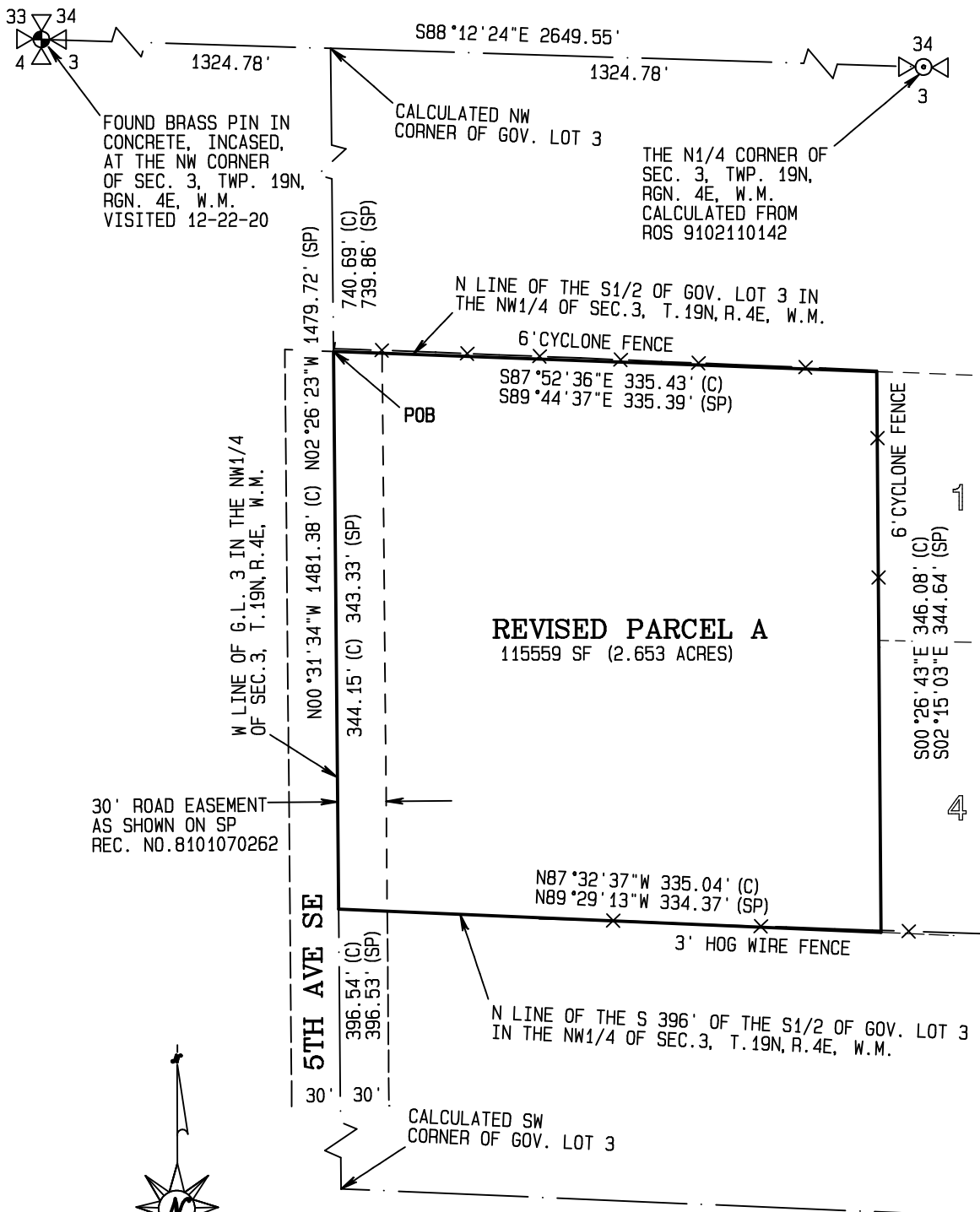
The exhibit A and B should describe and show the portion to be dedicated instead of the whole project parcel. [Deed of Dedication, pg. 4]



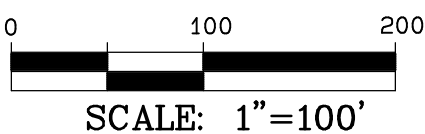
CONTOUR
ENGINEERING • LLC

4706 97th Street Northwest, Suite 100, Gig Harbor, WA 98335. ph 253-857-5454. fax 253-509-0044

EXHIBIT B REVISED PARCEL



OWNER NAME AND ADDRESS
 GENESTAR PROPERTIES LLC
 2504 43RD ST SE
 PUYALLUP, WA 98374-1745



LEGEND:

- ⊕ = FOUND MONUMENT AS NOTED
- ⊙ = CALCULATED MONUMENT PER ROS NO. 9102110142

