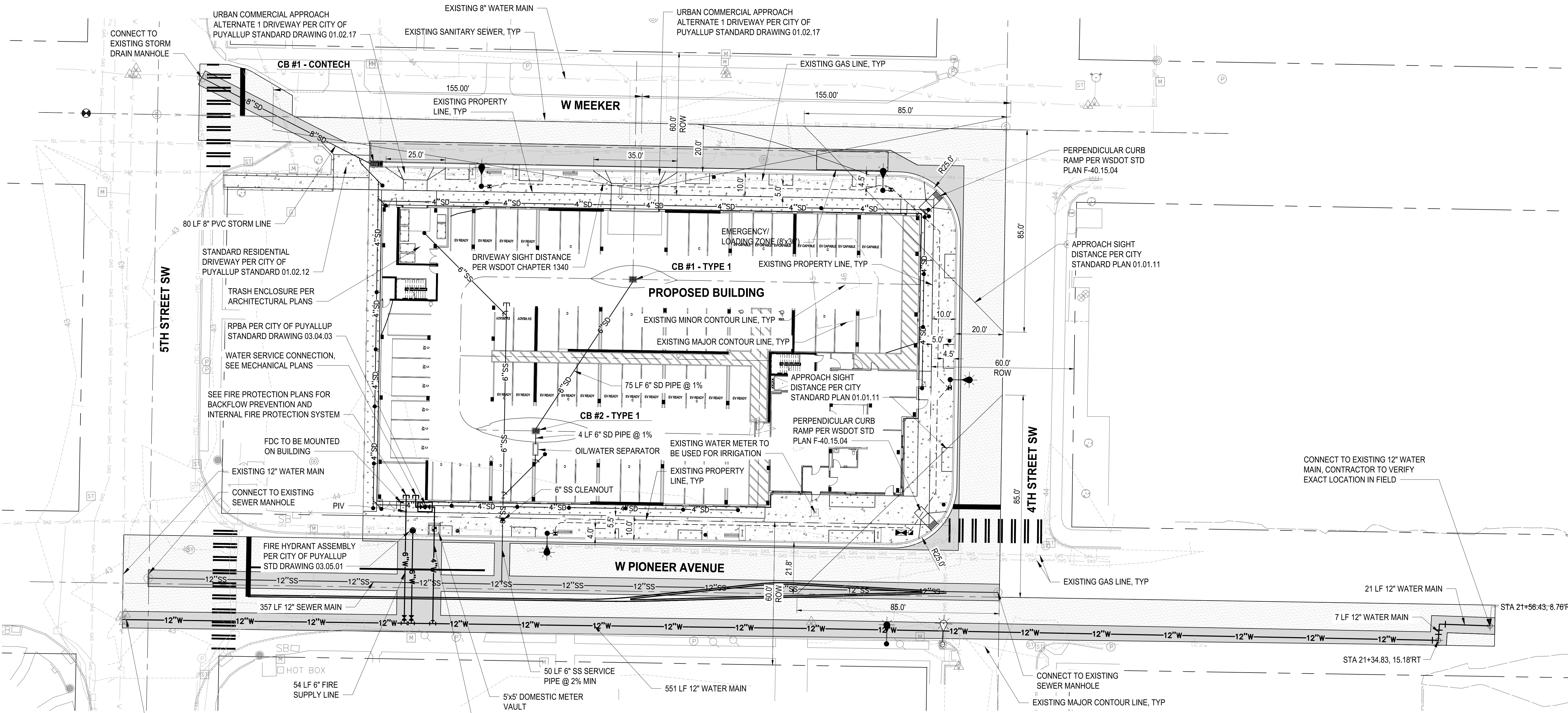
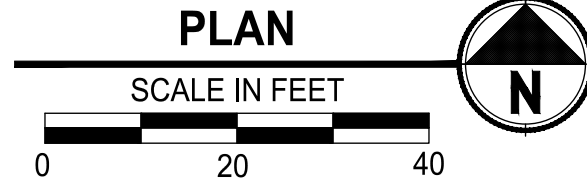


PLOTED BY: becker.k DATE: Thursday, March 19, 2026 7:07:21 AM
 PATH: U:\PSO\Projects\Clients\9504-Puyallup Mixed Use, LLC\217-9504-002-Bell Place Apartments\9504-CAD\DWG
 LAYOUT: CI



PRMU20260421 site plan must match the approved civil site plan from PRCCP20260425. Coordinate updates with each submittal of civil and building permits.



SITE INFORMATION:

ADDRESS:	204 4TH STREET SW PUYALLUP, WA 98371
TAX PARCEL NUMBERS	5745001631, 5745001632, 5745001641
SECTION:	28
TOWNSHIP:	20N
RANGE:	4E
ZONING	RM-CORE - REGIONAL GROWTH CENTER ORIENTED MULTI-FAMILY
SITE AREA:	0.75 ACRES
HOUSING UNITS:	100
DENSITY:	134 DU/ACRE
EXISTING SITE AREA:	
TOTAL SITE AREA	32,516 SF
TOTAL LANDSCAPE AREA	27,971 SF
IMPERVIOUS SURFACE AREA	4,545 SF
PROPOSED SITE AREA:	
PROPOSED BLDG FOOTPRINT	27,758 SF
ONSITE SIDEWALK	1,537 SF
ONSITE PAVING	261 SF
LANDSCAPE AREA	2,996 SF
IMPERVIOUS SURFACE	29,556 SF

PARKING SUMMARY:

OFF STREET PARKING PROVIDED =	70 SPACES (TOTAL)
COMPACT STALLS =	27 SPACES
ADA ACCESSIBLE =	2 SPACES
EV CHARGING =	7 SPACES
EV CAPABLE =	7 SPACES
EV READY =	18 SPACES



Know what's below.
Call before you dig.

LAND USE REVIEW SUBMITTAL
NOT FOR CONSTRUCTION



3-20-2026



1019 39th Avenue SE, Suite 100 • Puyallup, WA 98374
Ph: 253.604.6600

PROJECT NAME
**PUYALLUP BELL PLACE
URBAN PUYALLUP MIXED USE, LLC**
PUYALLUP, WASHINGTON

SITE PLAN

DRAWING NO.
1 OF 4
C1

REVISIONS	DATE	BY	DESIGNED	DRAWN	CHECKED	APPROVED
			M. CRAIG	K. BECKER		

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY
FILE NAME
P09504002-C-LANDUSE
JOB No.
217-9504-002
DATE
MARCH 2026