

BINDING SITE PLAN MODIFICATION
FAIRFIELD INN - 15TH AVENUE SW
 A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 33,
 TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN,
 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

PROPERTY DESCRIPTION

PARCEL 1 AND PARCEL 2, FAIRFIELD INN BINDING SITE PLAN, ACCORDING TO THE MAP THEREOF RECORDED UNDER AUDITOR'S FILE NO. 201008055003, RECORDS OF PIERCE COUNTY AUDITOR.

OWNER'S FREE CONSENT

KNOW ALL PEOPLE BY THESE PRESENTS THAT HOLLANDER INVESTMENTS INC., THE UNDERSIGNED, ATTEST THAT WE ARE THE LEGAL OWNERS OF THE PROPERTY CONTAINED WITHIN THE BOUNDARIES OF THIS BINDING SITE PLAN AND THAT THIS BINDING SITE PLAN IS MADE WITH OUR FREE CONSENT AND IN ACCORDANCE WITH OUR DESIRE.

[Signature]
 PUYALLUP 15TH AVENUE, LLC

DEDICATION

WE, THE UNDERSIGNED OWNERS OF THE HEREIN DESCRIBED PROPERTY DEDICATE THESE LOTS TO THE PURCHASERS THEREOF. WE DEDICATE THE EASEMENTS HEREIN TO THE USE OF THE PURCHASERS FOREVER. WE DEDICATE TO THE CITY OF PUYALLUP, ITS OFFICERS, EMPLOYEES, AGENTS, SUCCESSORS, ASSIGNS, CONTRACTORS, FOR THE USE OF THE PUBLIC, FOREVER, A PERPETUAL EASEMENT WITH A RIGHT OF IMMEDIATE ENTRY AND CONTINUED ACCESS FOR THE CONSTRUCTION, IMPROVEMENT, MAINTENANCE AND REPAIR OF SEWER PIPELINES, MANHOLES AND OTHER APPURTENANT SEWER STRUCTURES, WATER PIPELINES AND THEIR APPURTENANT STRUCTURES OVER UNDER AND ACROSS THE EASEMENTS AND/OR PRIVATE ROADS SHOWN ON THE FACE OF THIS BINDING SITE PLAN. THE STORM DRAINAGE SYSTEM WITHIN THE BOUNDARY OF THIS BINDING SITE PLAN WILL BE JOINTLY OWNED AND MAINTAINED BY THE PROPERTY OWNERS.

IN WITNESS WHEREOF WE HAVE SET OUR HAND AND SEAL

[Signature]
 BY: *[Signature]*

ACKNOWLEDGMENT

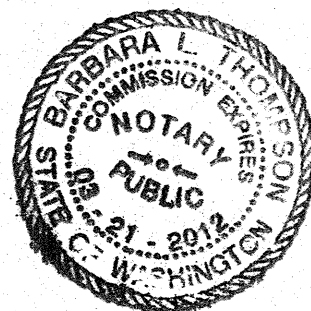
STATE OF WASHINGTON)
) SS
 COUNTY OF PIERCE)

BY ITS PROPER OFFICERS THIS 21st DAY OF JANUARY, 2012, ON THE DAY AND YEAR FIRST ABOVE WRITTEN, BEFORE ME PERSONALLY APPEARED Mark A. Hollander TO ME KNOWN TO BE THE member/manager OF THE CORPORATION THAT EXECUTED THE WITHIN AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE AND VOLUNTARY ACT AND DEED OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR FIRST ABOVE WRITTEN.

Barbara L. Thompson
 NOTARY PUBLIC IN AND FOR
 THE STATE OF WASHINGTON

RESIDING AT Bellingham, WA
 MY COMMISSION EXPIRES 3-21-2012



SITE OWNER

PUYALLUP 15TH AVENUE, LLC
 119 N. COMMERCIAL STREET
 BELLINGHAM, WA 98225-4446

THE PURPOSE OF THIS BINDING SITE PLAN MODIFICATION IS TO REVISE THE EASEMENT LOCATIONS SHOWN ON SHEET 5 AND TO REFLECT THE NEWLY CONSTRUCTED HOTEL AND ASSOCIATED IMPROVEMENTS. THIS BINDING SITE PLAN MODIFICATION SUPERSEDES THE BINDING SITE PLAN RECORDED UNDER APN 201008055003.

DEVELOPMENT ACCORDING TO SITE PLAN

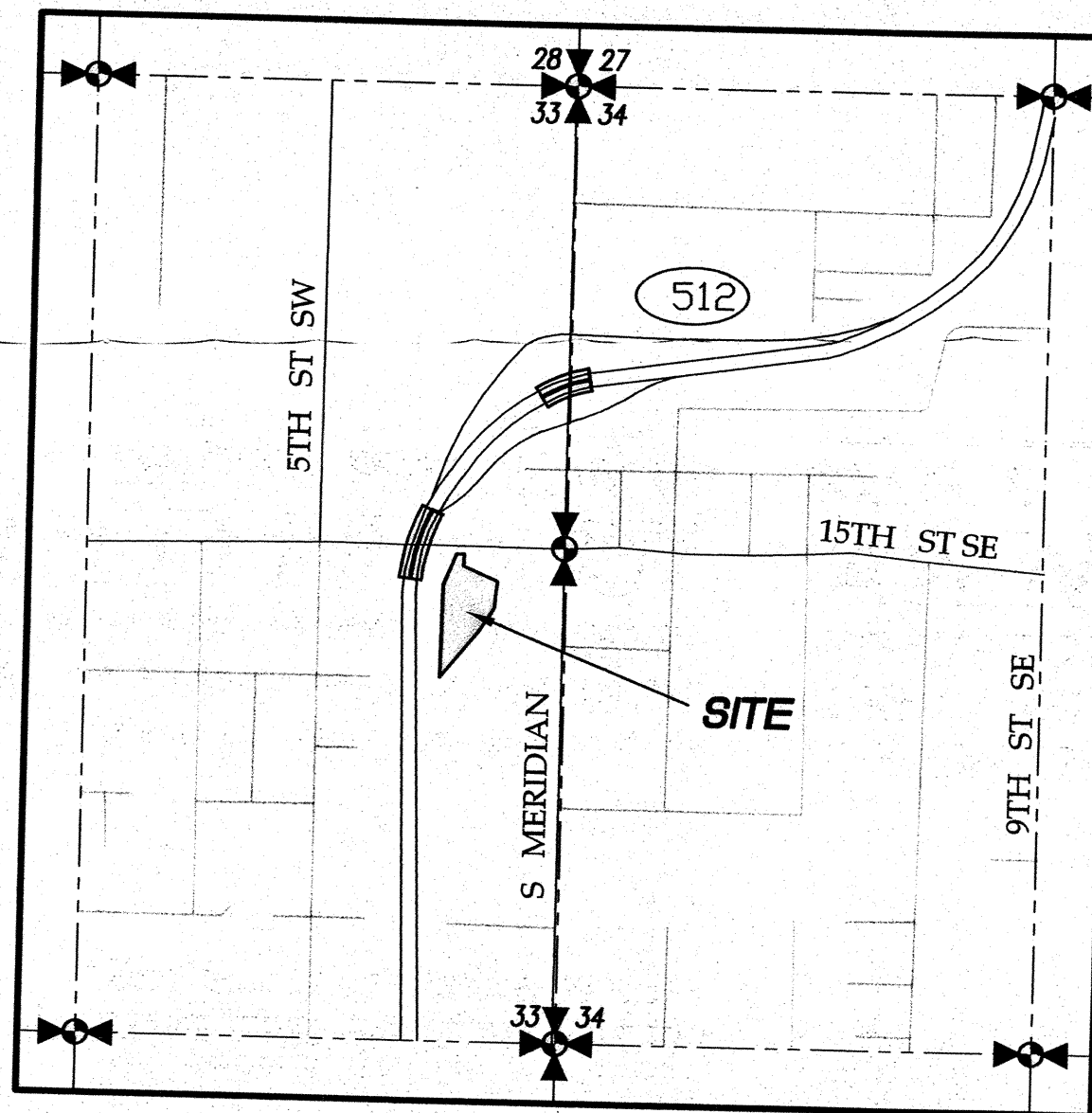
THE USE AND DEVELOPMENT OF THIS PROPERTY MUST BE IN ACCORDANCE WITH THE PLAN AS REPRESENTED HEREIN OR AS HEREAFTER AMENDED, ACCORDING TO THE PROVISIONS OF THE BINDING SITE PLAN REGULATIONS OF THE CITY OF PUYALLUP; AND THE ROADS AND UTILITIES SHOWN ON THIS PLAN NEED NOT HAVE BEEN CONSTRUCTED AND/OR INSTALLED AT THE TIME THAT THE PROPERTY SUBJECT TO THIS PLAN IS DIVIDED. NO PERMIT REQUIRED TO BUILD PERMANENT STRUCTURES UPON ANY PORTION OF THIS PROPERTY, OTHER THAN FOR SITE PREPARATION (INCLUDING GRADING AND INFRASTRUCTURE INSTALLATIONS), SHALL BE ISSUED UNTIL THE ROADS AND UTILITIES NECESSARY TO SERVE THAT PORTION OF THIS PROPERTY HAVE BEEN CONSTRUCTED AND INSTALLED OR UNTIL ARRANGEMENTS ACCEPTABLE TO THE CITY OF PUYALLUP HAVE BEEN MADE TO ENSURE THAT THE CONSTRUCTION AND INSTALLATION OF SUCH ROADS AND UTILITIES WILL BE ACCOMPLISHED.

SITE DEVELOPMENT CONFORMITY

ANY DEVELOPMENT OF THIS BINDING SITE PLAN SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN.

NOTE

IF AT ANY TIME DURING CONSTRUCTION IT IS DETERMINED BY THE CITY THAT MUD AND DEBRIS ARE BEING TRACKED ONTO PUBLIC STREETS WITH INSUFFICIENT CLEANUP, ALL WORK SHALL CEASE ON THE PROJECT UNTIL THIS CONDITION IS CORRECTED. THE CONTRACTOR AND/OR THE OWNER SHALL IMMEDIATELY TAKE ALL STEPS NECESSARY TO PREVENT TRACKING OF MUD AND DEBRIS INTO THE PUBLIC ROW, WHICH MAY INCLUDE THE INSTALLATION OF A WHEEL WASH FACILITY ON-SITE.



VICINITY MAP
 SCALE: 1" = 1000'

SHEET INDEX

- SHEET 1 - COVER SHEET, PROPERTY DESCRIPTION AND APPROVALS
- SHEET 2 - SECTION/BOUNDARY CONTROL
- SHEET 3 - SITE DETAIL AND BINDING SITE PLAN NOTES
- SHEET 4 - TOPOGRAPHIC SURVEY & PROPOSED CONTOURS
- SHEET 5 - CONCEPTUAL UTILITY PLAN

APPROVALS:

PLANNING DIVISION

I HEREBY CERTIFY THAT THIS MAP IS BEING RECORDED IN COMPLIANCE WITH THE CITY OF PUYALLUP SUBDIVISION CODE AND COMPLIES IN GENERAL WITH THE SITE PLAN APPROVED WITH CASE NUMBER P-10-007

[Signature] 2/10/12
 PLANNING DIRECTOR DATE

ASSESSOR/TREASURER

I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE PROPERTY AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED.

[Signature] 2-23-12
 ASSESSOR/TREASURER DATE

FIRE PREVENTION

[Signature] 02/10/12
 FIRE MARSHAL FOR FIRE PREVENTION DATE

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS 23 DAY OF February, 2012, AT 09 MINUTES PAST 3 P.M. RECORDS OF THE PIERCE COUNTY AUDITOR, TACOMA, WASHINGTON.

RECORDING NUMBER 201202235005

[Signature] by *[Signature]*
 PIERCE COUNTY AUDITOR
\$148.00
 FEE

SURVEYOR'S CERTIFICATE

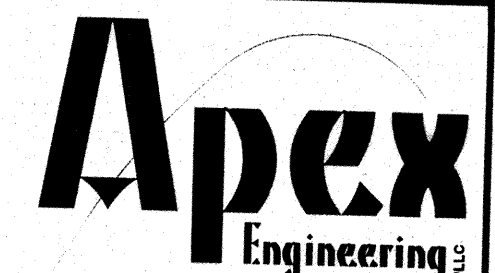
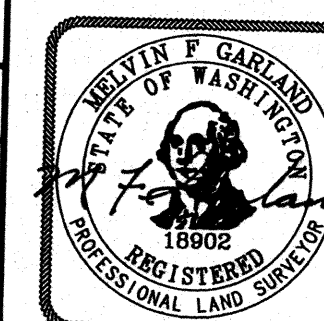
I HEREBY CERTIFY THAT THIS BINDING SITE PLAN IS BASED ON AN ACTUAL SURVEY, THAT ALL DISTANCES, COURSE AND ANGLES ARE SHOWN CORRECTLY THEREON; THAT ALL MONUMENTS WILL BE SET AND PARCEL CORNERS STAKED CORRECTLY ON THE GROUND; THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF THE STATUTES AND OF THE REGULATIONS GOVERNING BINDING SITE PLANS.

[Signature] 1/9/12
 MELVIN F. GARLAND, P.L.S. #18902 DATE

SHEET 1 OF 5

JOB NO. 31815

BINDING SITE PLAN
 APPLICATION NO. P-10-007



2601 South 35th, Suite 200
 Tacoma, Washington 98409-7479
 (253) 473-4494 FAX: (253) 473-0599

ORIGINAL

BINDING SITE PLAN MODIFICATION
FAIRFIELD INN - 15TH AVENUE SW
 A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 33,
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 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

SECTION/BOUNDARY CONTROL

FOUND BRASS DISK
 W/7" IN MONUMENT
 CASE, DOWN 0.30'
 AT INTX. 15TH AVE.
 & 5TH ST,
 P.C.P.W.D. #2212
 VISITED 8-31-06

FOUND BRASS DISK
 W/7" IN MONUMENT
 CASE, DOWN 0.50'
 AT INTX. 15TH AVE.
 & MERIDIAN S.,
 P.C.P.W.D. #2211
 VISITED 8-31-06

PROPERTY DESCRIPTION

PARCEL 1 AND PARCEL 2, FAIRFIELD INN BINDING SITE PLAN, ACCORDING TO THE MAP THEREOF RECORDED UNDER AUDITOR'S FILE NO. 201008055003, RECORDS OF PIERCE COUNTY AUDITOR.

SITE ADDRESS PARCEL NUMBERS

202 & 210 15TH AVENUE SW
 PUYALLUP, WA

6026420010 & 6026420020

BASIS OF BEARINGS

HELD NORTH 89°58'10" WEST BETWEEN PIERCE COUNTY MONUMENT #2211 AT THE INTERSECTION OF 15TH AVE. & MERIDIAN AVE. AND PIERCE COUNTY MONUMENT #2212 AT THE INTERSECTION OF 15TH AVE. & 5TH ST.

REFERENCES

- 1) BOUNDARY LINE ADJUSTMENT AFN 9905275001.
- 2) BOUNDARY LINE ADJUSTMENT AFN 9909245005.
- 3) SHORT PLAT AFN 8607070251.
- 4) BINDING SITE PLAN AFN 201008055003.

BOUNDARY NOTE

THE SUBJECT PARCEL WAS CALCULATED USING BOUNDARY LINE ADJUSTMENT AFN 9905275001 AND HOLDING STATE PLANE COORDINATES ON PIERCE COUNTY PUBLIC WORKS MONUMENTS #2211 AND #2212. THE BEARING BETWEEN SAID MONUMENTS WAS HELD AND ALL RESPECTIVE BEARINGS LISTED ON SAID BOUNDARY LINE ADJUSTMENT WERE ROTATED TO CORRESPOND TO THIS BEARING.

EASEMENT NOTES

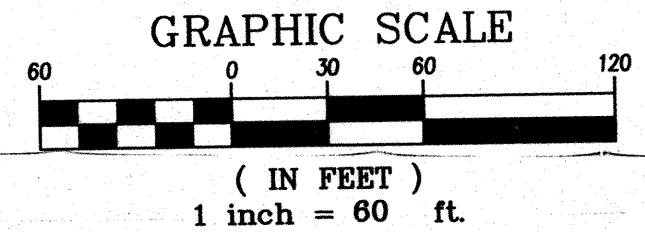
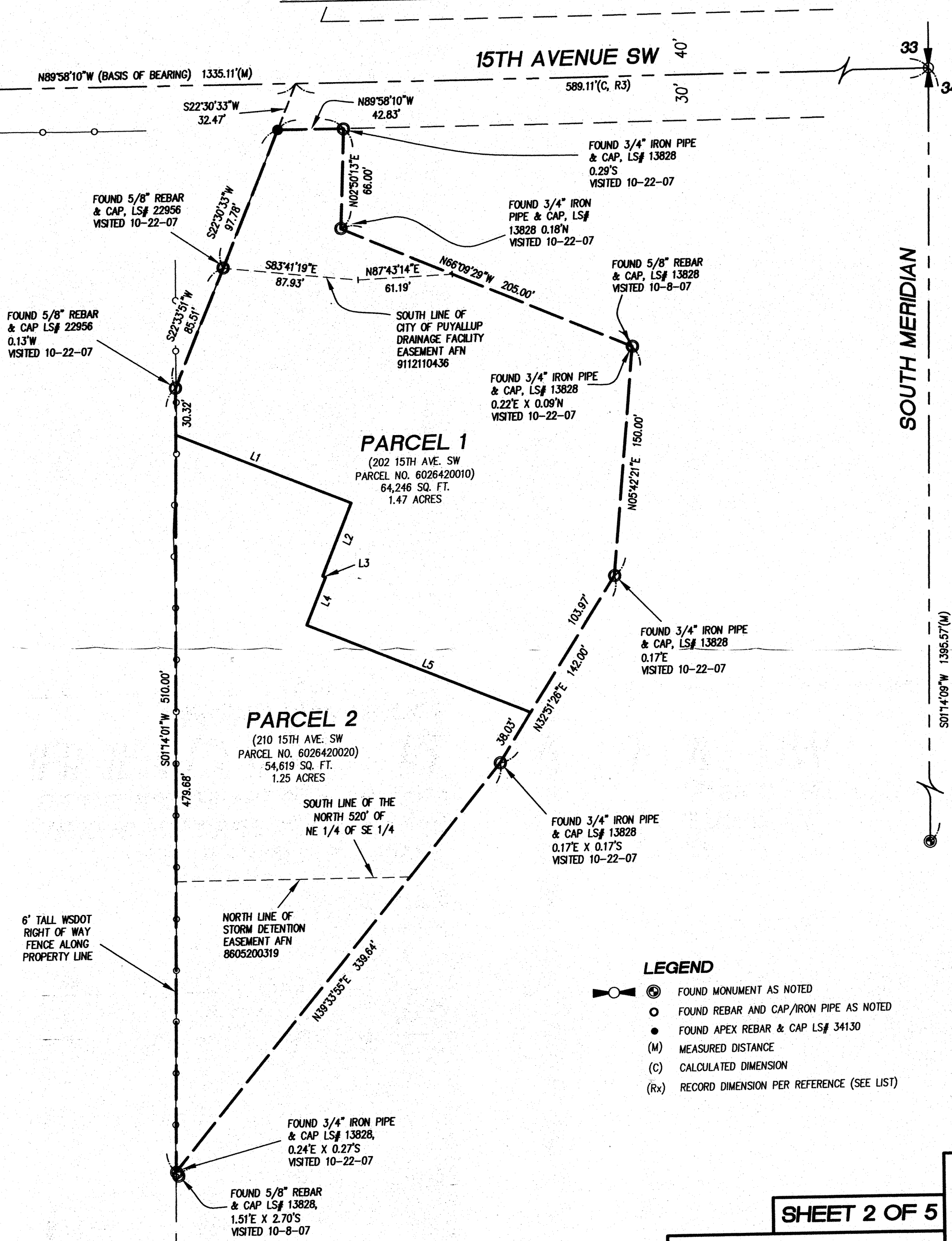
- 1) SUBJECT TO AN EASEMENT FOR THE CONSTRUCTION AND MAINTENANCE OF A DRAINAGE FACILITY GRANTED TO THE CITY OF PUYALLUP UNDER AFN 9112110436 AS PLOTTED HEREON.
- 2) SUBJECT TO A STORM WATER DETENTION EASEMENT GRANTED TO THE CITY OF PUYALLUP UNDER AFN 8605200319 AS PLOTTED HEREON.

LINE TABLE		
LINE	LENGTH	BEARING
L1	122.48'	S67°27'53"E
L2	51.25'	S22°32'07"W
L3	2.02'	S67°27'53"E
L4	33.50'	S22°32'07"W
L5	156.04'	S67°27'53"E

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SR 512

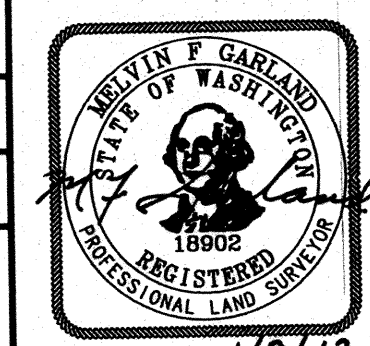
SOUTH MERIDIAN



- LEGEND**
- FOUND MONUMENT AS NOTED
 - FOUND REBAR AND CAP/IRON PIPE AS NOTED
 - FOUND APEX REBAR & CAP LS# 34130
 - (M) MEASURED DISTANCE
 - (C) CALCULATED DIMENSION
 - (Rx) RECORD DIMENSION PER REFERENCE (SEE LIST)

SHEET 2 OF 5

JOB NO. 31815
 BINDING SITE PLAN
 APPLICATION NO. P-10-007



201202235005

Apex
 Engineering
 2601 South 35th, Suite 200
 Tacoma, Washington 98409-7479
 (253) 473-4494 FAX: (253) 473-0599

11/9/12

ORIGINAL

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 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

CODE DATA

PARCEL NUMBERS: 6026420010; 6026420020

ZONING: CG - GENERAL COMMERCIAL

TOTAL LOT AREA: 118,865 SF. (2.73 ACRES)

TOTAL BUILDING AREA: HOTEL
 FOOTPRINT AREA: 11,027 SF.
 HEIGHT: 81.72' (6 STORIES)
 OFFICE BUILDING
 FOOTPRINT AREA: 5,340 SF.
 HEIGHT: 59.25' (4 STORIES), W/PARKING DECK 74.00'

TOTAL BUILDING & IMPERMEABLE SITE COVERAGE: 58,106 SF. (48.88%)

NUMBER OF UNITS PROPOSED: 120 HOTEL ROOMS

TOTAL NUMBER OF PARKING STALLS INCLUDING HANDICAPPED-PHASE 1: 120 STALLS

TOTAL NUMBER OF PARKING STALLS INCLUDING HANDICAPPED-AFTER DEVELOPMENT OF PHASE 2: 140 STALLS

TOTAL PARKING & MANEUVERING AREA (ASPHALT): 43,947 SF.

REQUIRED LANDSCAPING: 2,197 SF.

PERCENT OF LOT IN OPEN SPACE: 47%

TYPE OF CONSTRUCTION: GROUND FLOOR = 1A
 FLOORS 2-6 = 5A

FIRE PROTECTION: SPRINKLERED

OCCUPANCY CLASSIFICATION: GROUND = A2; A3; B
 FLOORS 2-6 = R1

DESCRIPTION OF PROPOSED USE: PHASE 1: HOTEL
 PHASE 2: OFFICE BUILDING.

BINDING SITE PLAN NOTES

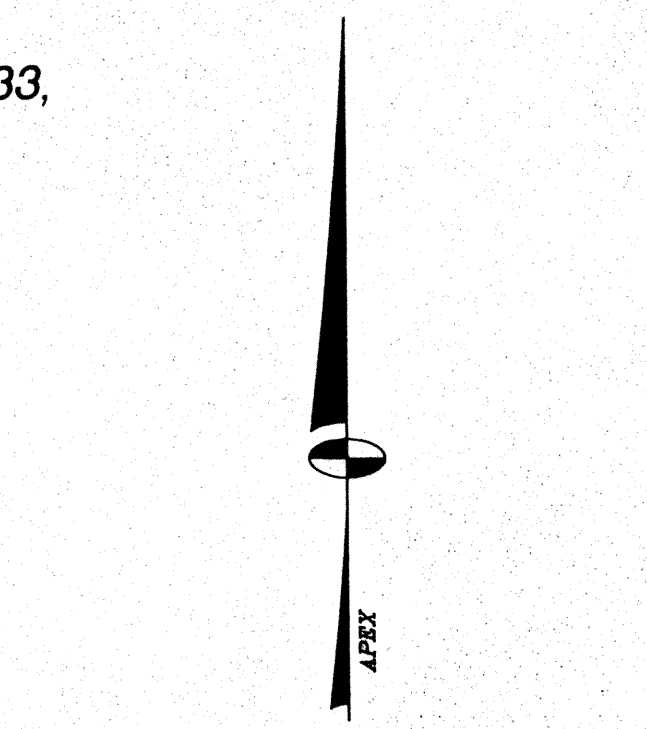
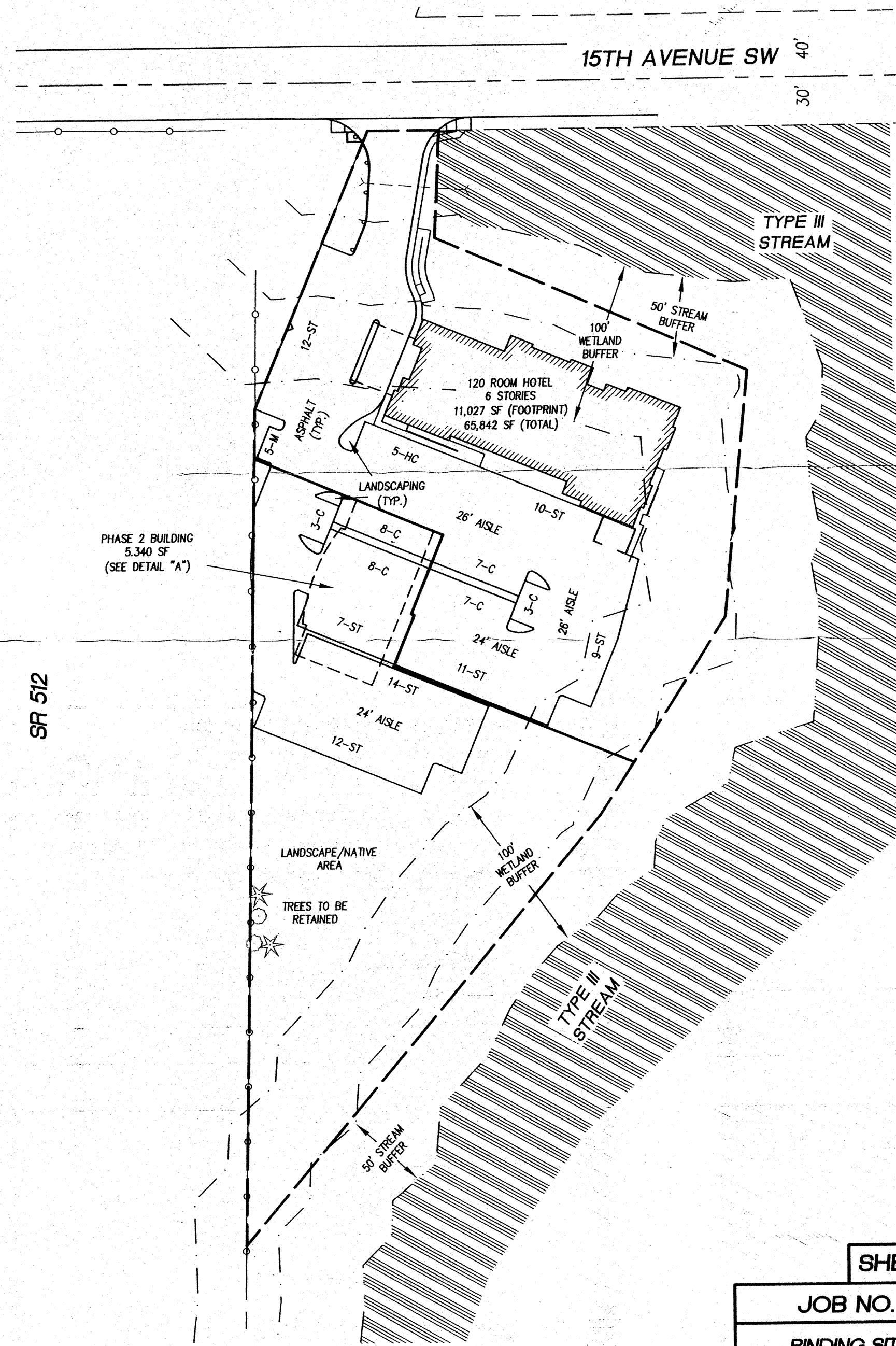
- THE PURPOSE OF THIS BINDING SITE PLAN IS TO DIVIDE FOR SALE OR LEASE PURPOSES OF THE LOTS SHOWN.
- SEPARATE APPROVALS WILL BE REQUIRED BY THE CITY OF PUYALLUP FOR:
 A: BUILDING PERMITS
 B: SITE DEVELOPMENT PERMITS
- THIS BINDING SITE PLAN MAY BE AMENDED (PER PUYALLUP MUNICIPAL CODE 19.10.080) FROM TIME TO TIME TO REFLECT REISED DIVISION LINES AS LOT DEVELOPMENT TAKES PLACE. SUCH BOUNDARY AMENDMENTS SHALL BE ONLY FOR THE PURPOSE OF DIVISION FOR SALE, OR LEASE PURPOSES. SUCH AMENDMENTS WILL BE SUBJECT TO CITY OF PUYALLUP REGULATIONS THAT ARE IN EFFECT AT THE TIME OF APPLICATION.
- AT THE TIME OF BUILDING PERMIT APPLICATION EACH LOT IS REQUIRED TO MEET THE MOST CURRENT FIRE FLOW AND EMERGENCY VEHICLE ACCESS STANDARDS OF THE CITY OF PUYALLUP FIRE MARSHAL'S OFFICE.
- ALL IMPROVEMENTS SHOWN WITHIN THE PROPERTY BOUNDARY EXIST UNLESS OTHERWISE NOTED. (SPECIFICALLY PHASE 2)
- THE LOT CORNERS OF THIS BINDING SITE PLAN HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CITY OF PUYALLUP SUBDIVISION AND PLATTING REGULATIONS.
- ALL PARKING AND PAVEMENT AREAS ARE TO BE ASPHALT PAVEMENT.
- A WETLAND/STREAM EXISTS ADJACENT TO THE SITE, ANY DEVELOPMENT WITHIN THE BOUNDARY OF THIS BINDING SITE PLAN SHALL COMPLY WITH APPLICABLE CITY REQUIREMENTS.

ACCESS + UTILITIES EASEMENT

EACH LOT SHOWN HEREON SHALL BENEFIT FROM AND BE SUBJECT TO, AN EASEMENT FOR INGRESS AND EGRESS AND STORM WATER RETENTION, OVER AND ACROSS ALL AREAS CREATED FOR VEHICULAR TRAVEL, INCLUDING ALL DRIVE AISLES AND PARKING, AS SHOWN HEREON OR AS AMENDED BY FUTURE AMENDMENTS TO THIS BINDING SITE PLAN. MAINTENANCE AND EXPENSES THEREOF OF SAID AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION AS ESTABLISHED BY COVENANT RECORDED UNDER AUDITORS FEE NUMBER 20100805022.

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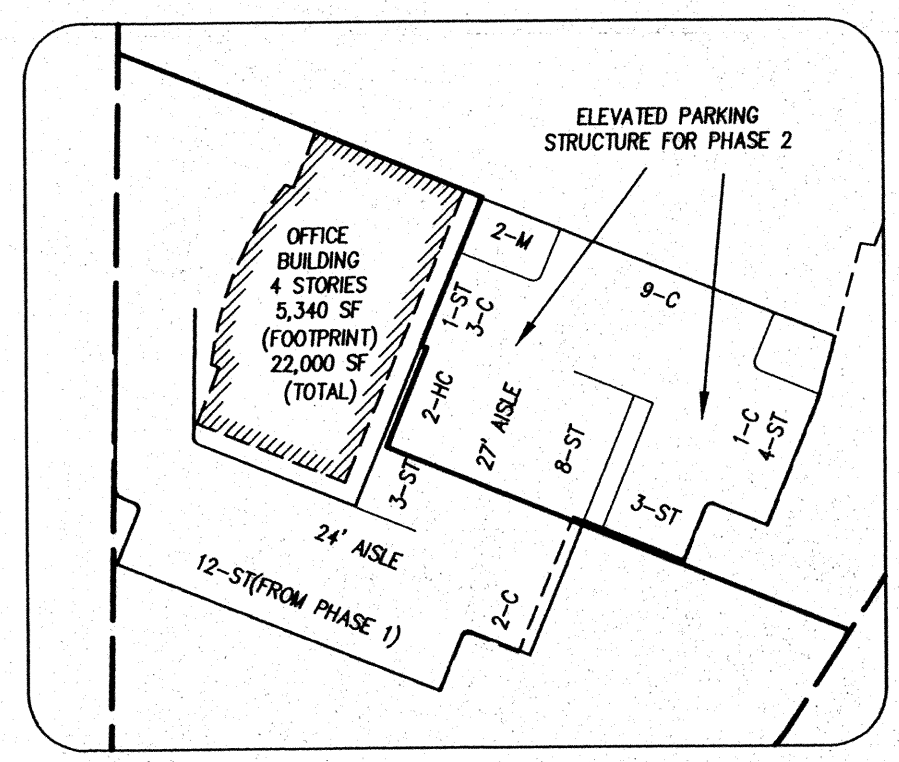
SITE DETAIL



GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft.

- LEGEND**
- EXISTING PROPERTY LINE
 - - - PROPOSED INTERIOR LOT LINE
 - - - WETLAND/STREAM BOUNDARY
 - - - WETLAND/STREAM BUFFER
 - - - EASEMENT LINE
 - CHAIN LINK FENCE AS NOTED
 - ★ EXISTING DECIDUOUS TREE
 - ★ EXISTING EVERGREEN TREE
 - ST STANDARD PARKING SPOT
 - HC HANDICAP PARKING SPOT
 - C COMPACT PARKING SPOT
 - M MOTORCYCLE PARKING SPOT

DETAIL 'A' - PHASE 2 BUILDING

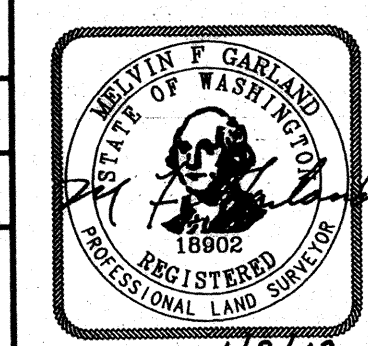


NOTE
 SURFACE PARKING BELOW OFFICE BUILDING AND PARKING DECK WILL REMAIN AS SHOWN EXCEPT FOR THE LOSS OF 5 SPOTS UNDER THE PHASE 2 BUILDING. DETAIL A DEPICTS THE PARKING WHICH WILL BE ADDED OR REVISED AS A RESULT OF THE ERECTION OF THE PHASE 2 OFFICE BUILDING AND PARKING DECK.

SHEET 3 OF 5

JOB NO. 31815

BINDING SITE PLAN
 APPLICATION NO. P-10-007



Apex
 Engineering PLLC

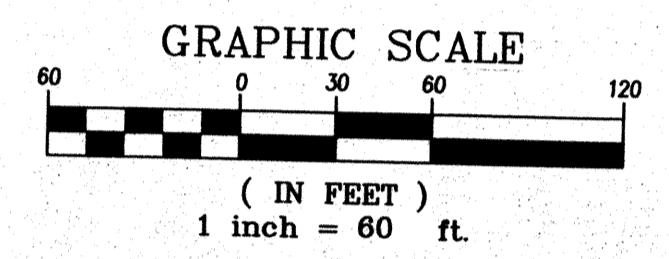
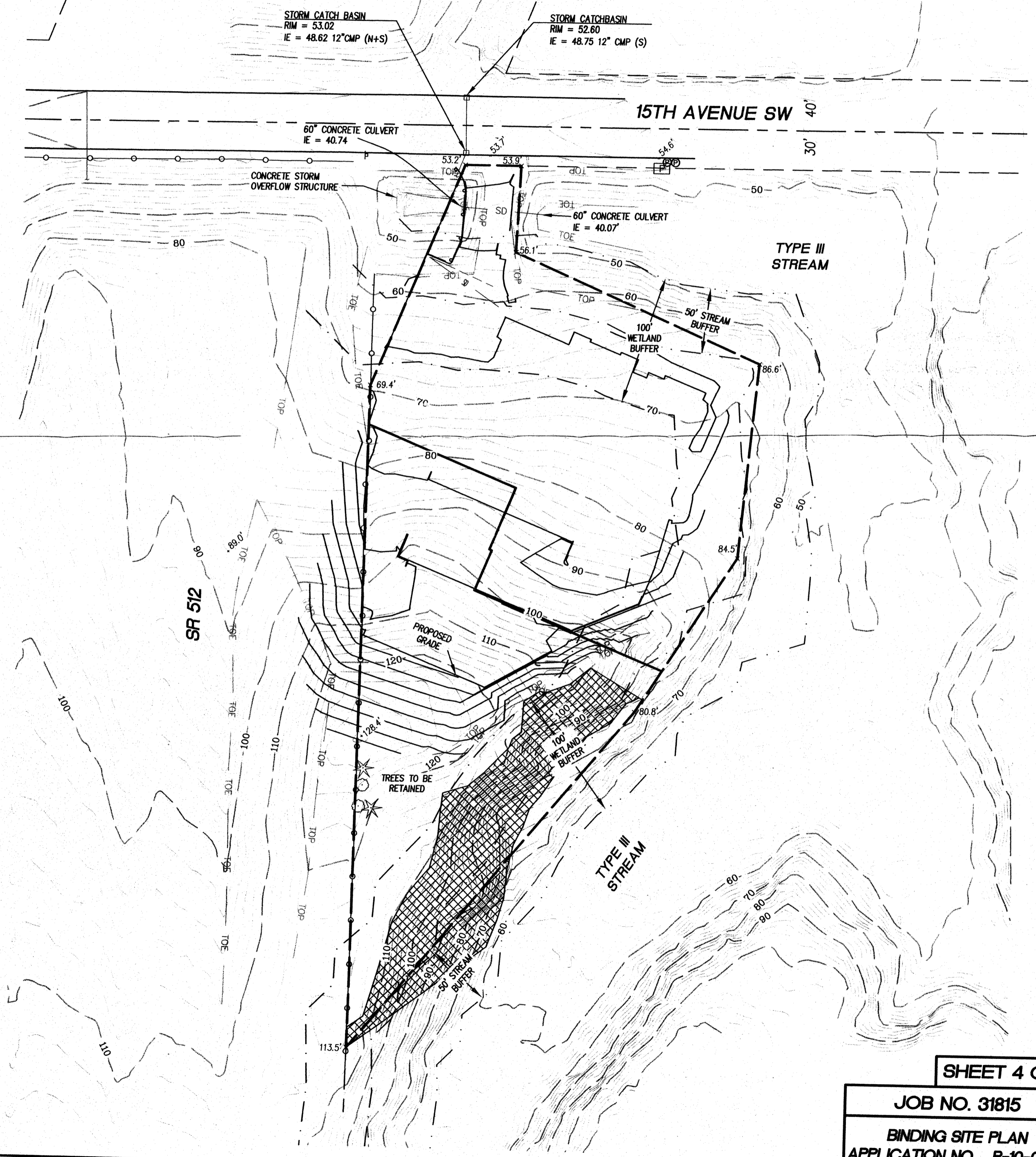
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 (253) 473-4494 FAX: (253) 473-0599

1/9/12

2012.02.23.5.005

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 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

**TOPOGRAPHY +
 PROPOSED GRADING**



- | | |
|---|--|
| <p>LEGEND</p> <ul style="list-style-type: none"> □ EXISTING STORMWATER CATCHBASIN ⊗ EXISTING WATER VALVE ⊙ EXISTING FIRE HYDRANT ⊕ EXISTING POWER MANHOLE P EXISTING POWER VAULT — TOP EXISTING TOP OF BANK - - - TOE EXISTING TOE OF SLOPE — EXISTING MAJOR CONTOUR (10 FOOT INTERVAL) - - - EXISTING MINOR CONTOUR (2 FOOT INTERVAL) — FINISHED GRADE CONTOUR • 90.0' EXISTING SPOT ELEVATION | <p>SLOPE LEGEND</p> <ul style="list-style-type: none"> ▨ 40.00%+ |
|---|--|

VERTICAL DATUM
 NGVD 29
 REFERENCE BENCHMARKS

BM 153-6
 PUBLISHED ELEVATION: 81.21'
 DESCRIPTION: BRASS MON IN CASE AT THE INTERSECTION OF 15TH AVENUE SW & 9TH STREET

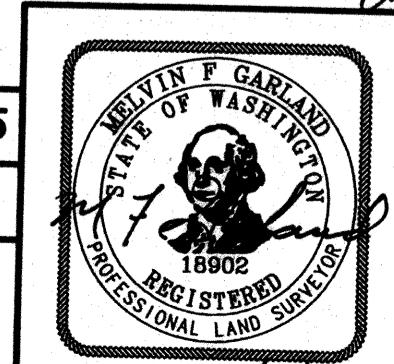
BM 155-1
 PUBLISHED ELEVATION: 49.112'
 DESCRIPTION: BRASS MON IN CASE AT THE INTERSECTION OF 15TH AVENUE SW & 5TH STREET, P.C.P.W.D. #2212

METHODS AND EQUIPMENT
 SURVEY PERFORMED WITH A 1" TOTAL STATION, USING TRAVERSE AND RADIAL SURVEY METHODS. SURVEY MEETS OR EXCEEDS ACCURACY REQUIREMENTS CONTAINED IN W.A.C. 332.130.090.

- SURVEYOR'S NOTES**
1. DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION ON 10-07-07.
 2. CONTOUR INTERVALS ARE TWO FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
 3. APEX ENGINEERING PLLC, ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
 4. THE OFFSITE TOPOGRAPHY WAS TAKEN ENTIRELY FROM PIERCE COUNTY GIS DATA AND CONVERTED TO NGVD 1929 DATUM.

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SHEET 4 OF 5
 JOB NO. 31815
 BINDING SITE PLAN
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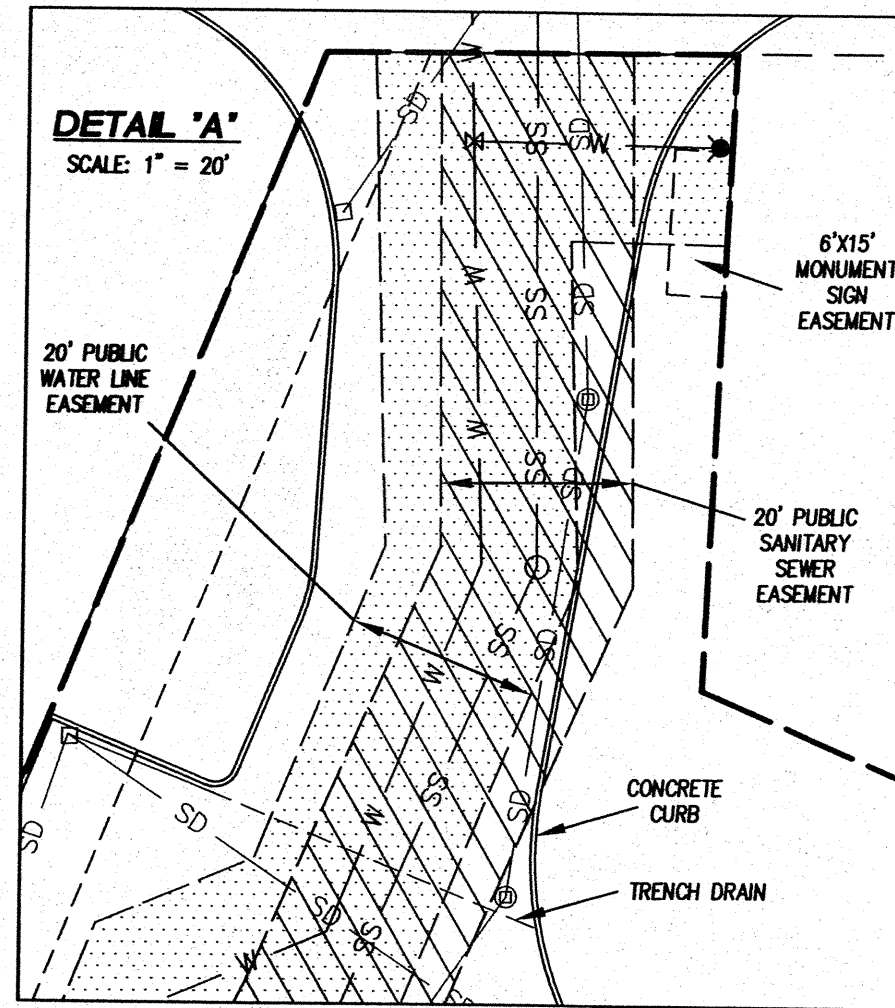
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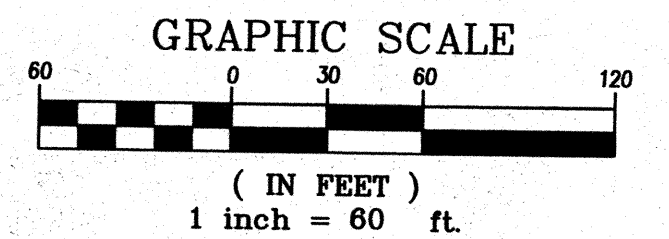
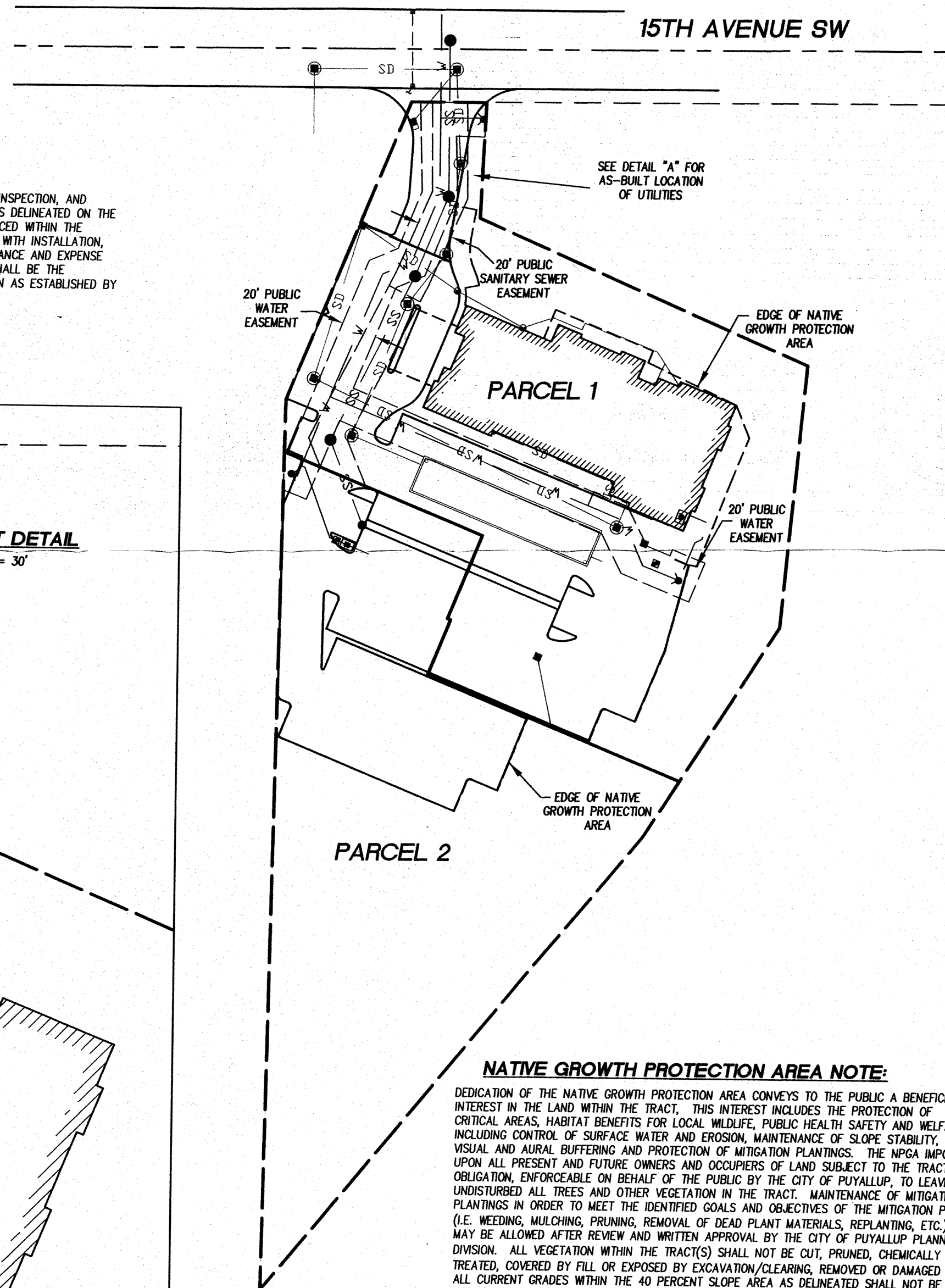


MAINTENANCE COVENANT

EASEMENTS ARE HEREBY GRANTED FOR INSTALLATION, INSPECTION, AND MAINTENANCE OF UTILITIES AND DRAINAGE FACILITIES AS DELINEATED ON THE BINDING SITE PLAN. NO ENCROACHMENTS WILL BE PLACED WITHIN THE EASEMENTS SHOWN WHICH MAY DAMAGE OR INTERFERE WITH INSTALLATION, INSPECTION, AND MAINTENANCE OF UTILITIES. MAINTENANCE AND EXPENSE THEREOF OF THE UTILITIES AND DRAINAGE FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION AS ESTABLISHED BY THE COVENANT RECORDED UNDER

AUDITORS FEE NO. 201008050522

AS-BUILT UTILITY PLAN

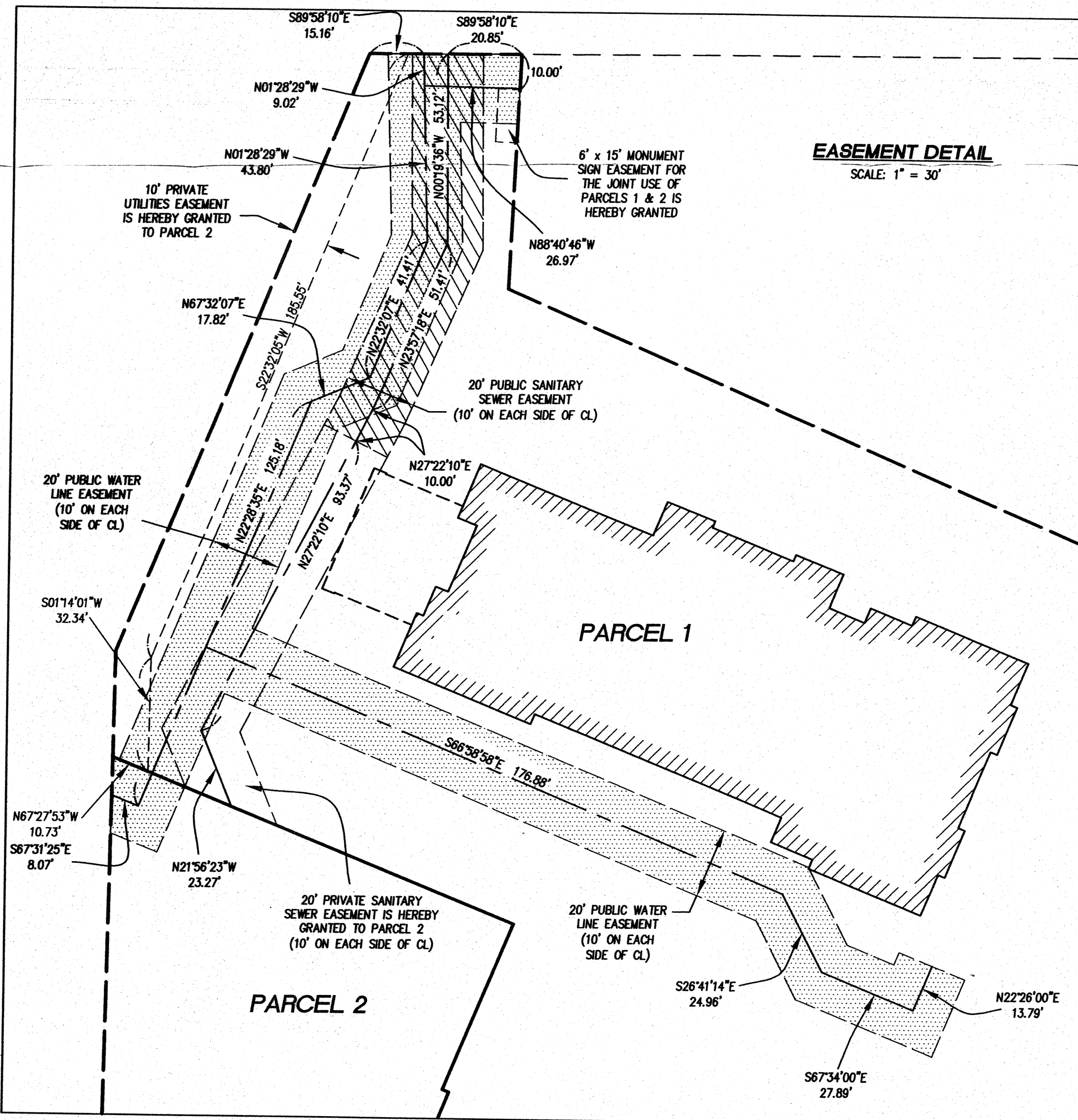


LEGEND

- W — 8" WATER LINE
- FIRE HYDRANT
- RPBA
- DOMESTIC WATER METER
- ▲ FDC
- ∩ POST INDICATOR VALVE
- DOUBLE DETECTOR CHECK VALVE
- SS — 8" SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- ss — 6" SANITARY SEWER STUB
- SD — 12" STORM LINE
- STORM CATCH BASIN
- STORM MANHOLE
- ▨ PUBLIC WATER EASEMENT
- ▩ PUBLIC SANITARY EASEMENT

NATIVE GROWTH PROTECTION AREA NOTE:

DEDICATION OF THE NATIVE GROWTH PROTECTION AREA CONVEYS TO THE PUBLIC A BENEFICIAL INTEREST IN THE LAND WITHIN THE TRACT. THIS INTEREST INCLUDES THE PROTECTION OF CRITICAL AREAS, HABITAT BENEFITS FOR LOCAL WILDLIFE, PUBLIC HEALTH SAFETY AND WELFARE, INCLUDING CONTROL OF SURFACE WATER AND EROSION, MAINTENANCE OF SLOPE STABILITY, VISUAL AND AURAL BUFFERING AND PROTECTION OF MITIGATION PLANTINGS. THE NPGA IMPOSES UPON ALL PRESENT AND FUTURE OWNERS AND OCCUPIERS OF LAND SUBJECT TO THE TRACT OBLIGATION, ENFORCEABLE ON BEHALF OF THE PUBLIC BY THE CITY OF PUYALLUP, TO LEAVE UNDISTURBED ALL TREES AND OTHER VEGETATION IN THE TRACT. MAINTENANCE OF MITIGATION PLANTINGS IN ORDER TO MEET THE IDENTIFIED GOALS AND OBJECTIVES OF THE MITIGATION PLAN (I.E. WEEDING, MULCHING, PRUNING, REMOVAL OF DEAD PLANT MATERIALS, REPLANTING, ETC.) MAY BE ALLOWED AFTER REVIEW AND WRITTEN APPROVAL BY THE CITY OF PUYALLUP PLANNING DIVISION. ALL VEGETATION WITHIN THE TRACT(S) SHALL NOT BE CUT, PRUNED, CHEMICALLY TREATED, COVERED BY FILL OR EXPOSED BY EXCAVATION/CLEARING, REMOVED OR DAMAGED AND ALL CURRENT GRADES WITHIN THE 40 PERCENT SLOPE AREA AS DELINEATED SHALL NOT BE MODIFIED WITHOUT EXPRESS WRITTEN PERMISSION FROM THE CITY OF PUYALLUP, WHICH PERMISSION MUST BE OBTAINED IN WRITING FROM THE CITY OF PUYALLUP PLANNING DIVISION PRIOR TO SUBJECT IMPACT ACTIONS.

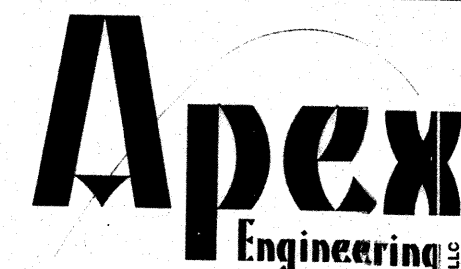
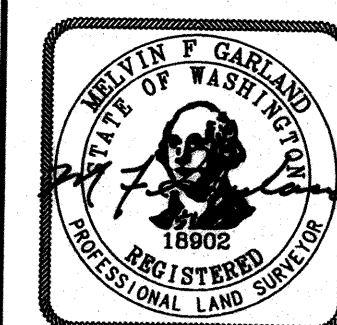


THE PURPOSE OF THIS BINDING SITE PLAN MODIFICATION IS TO REVISE THE EASEMENT LOCATIONS SHOWN ON SHEET 5 AND TO REFLECT THE NEWLY CONSTRUCTED HOTEL AND ASSOCIATED IMPROVEMENTS. THIS BINDING SITE PLAN MODIFICATION SUPERSEDES THE BINDING SITE PLAN RECORDED UNDER AFN 201008055003.

SHEET 5 OF 5

JOB NO. 31815

BINDING SITE PLAN
 APPLICATION NO. P-10-007



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