

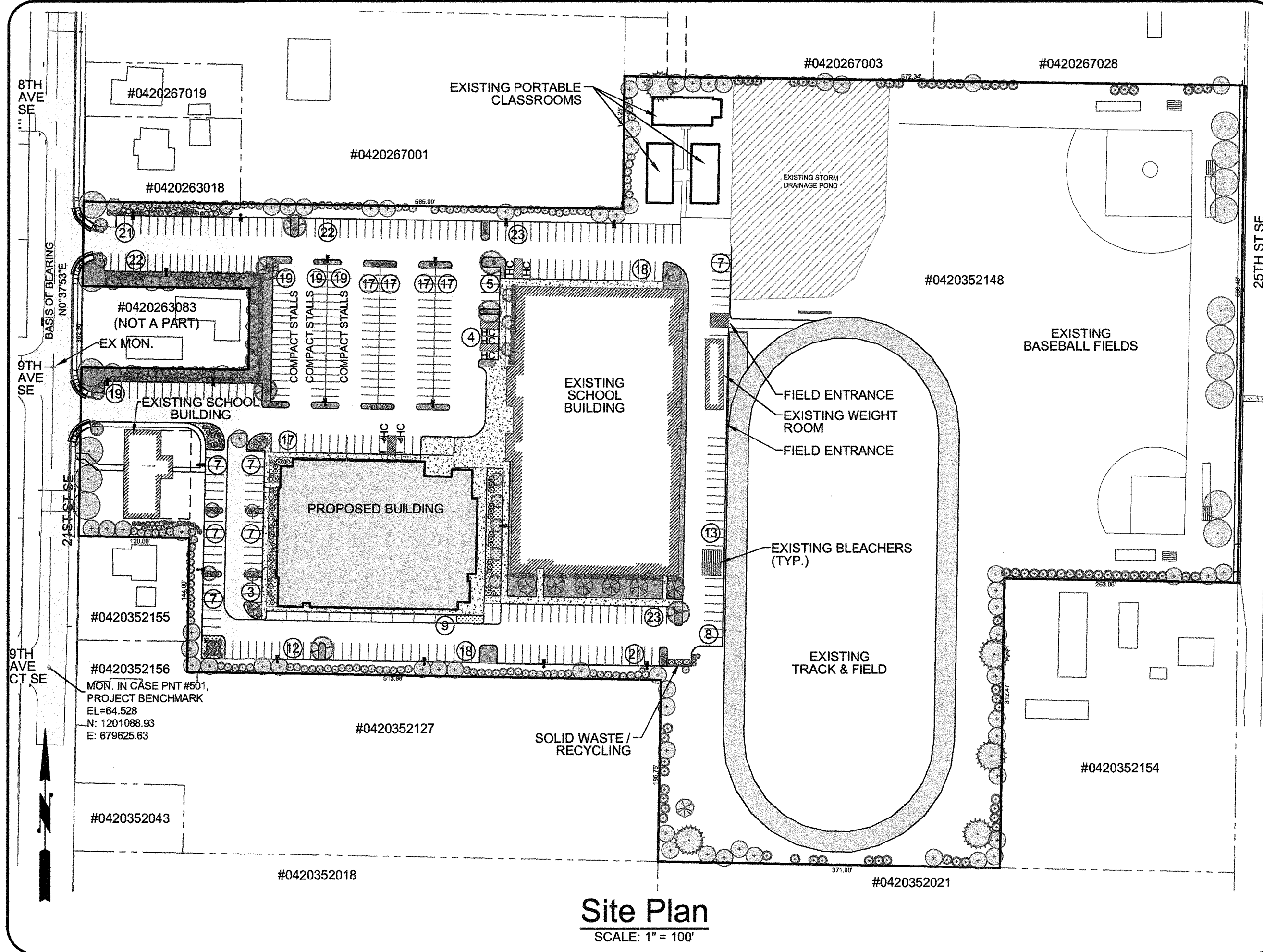
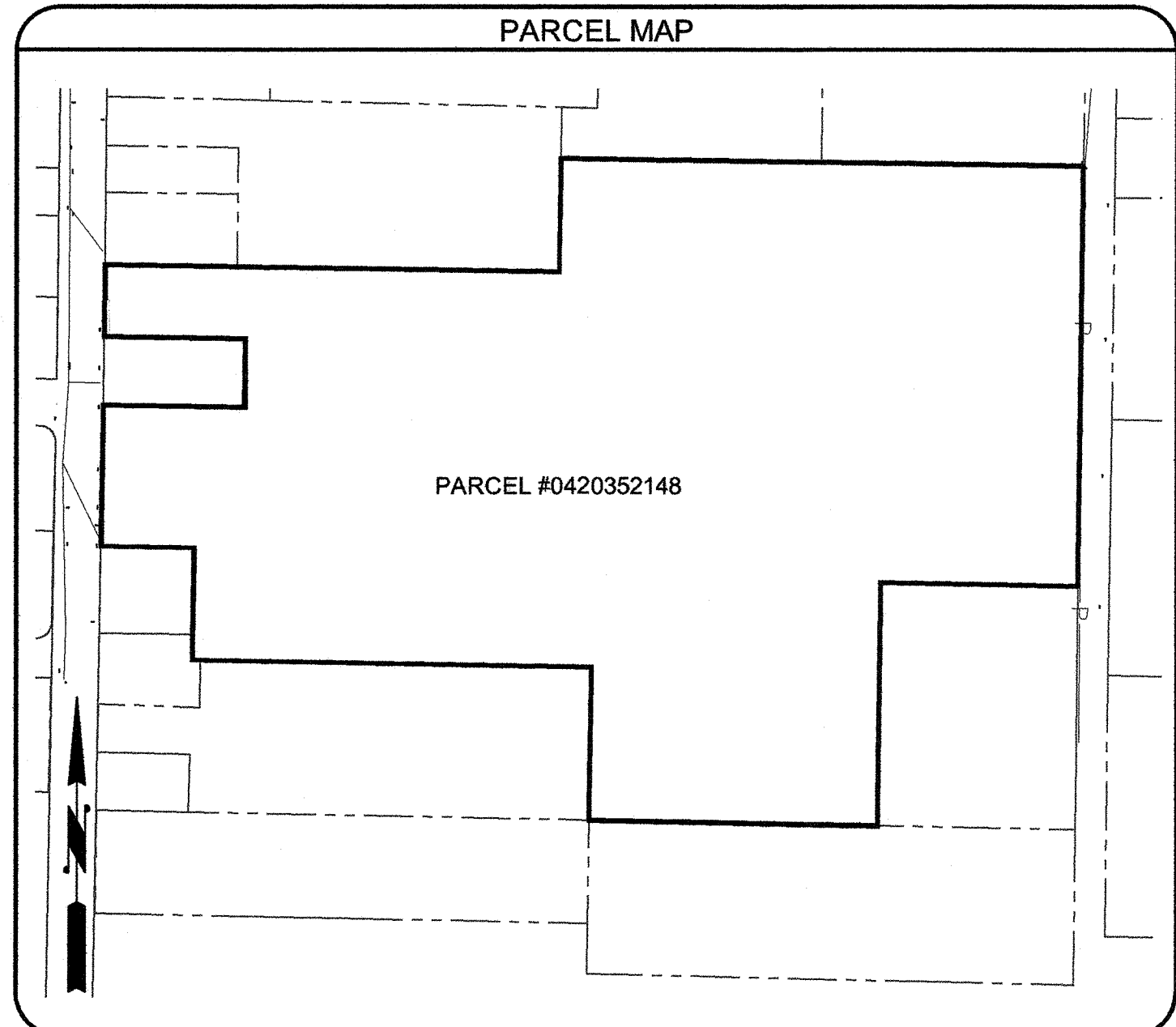
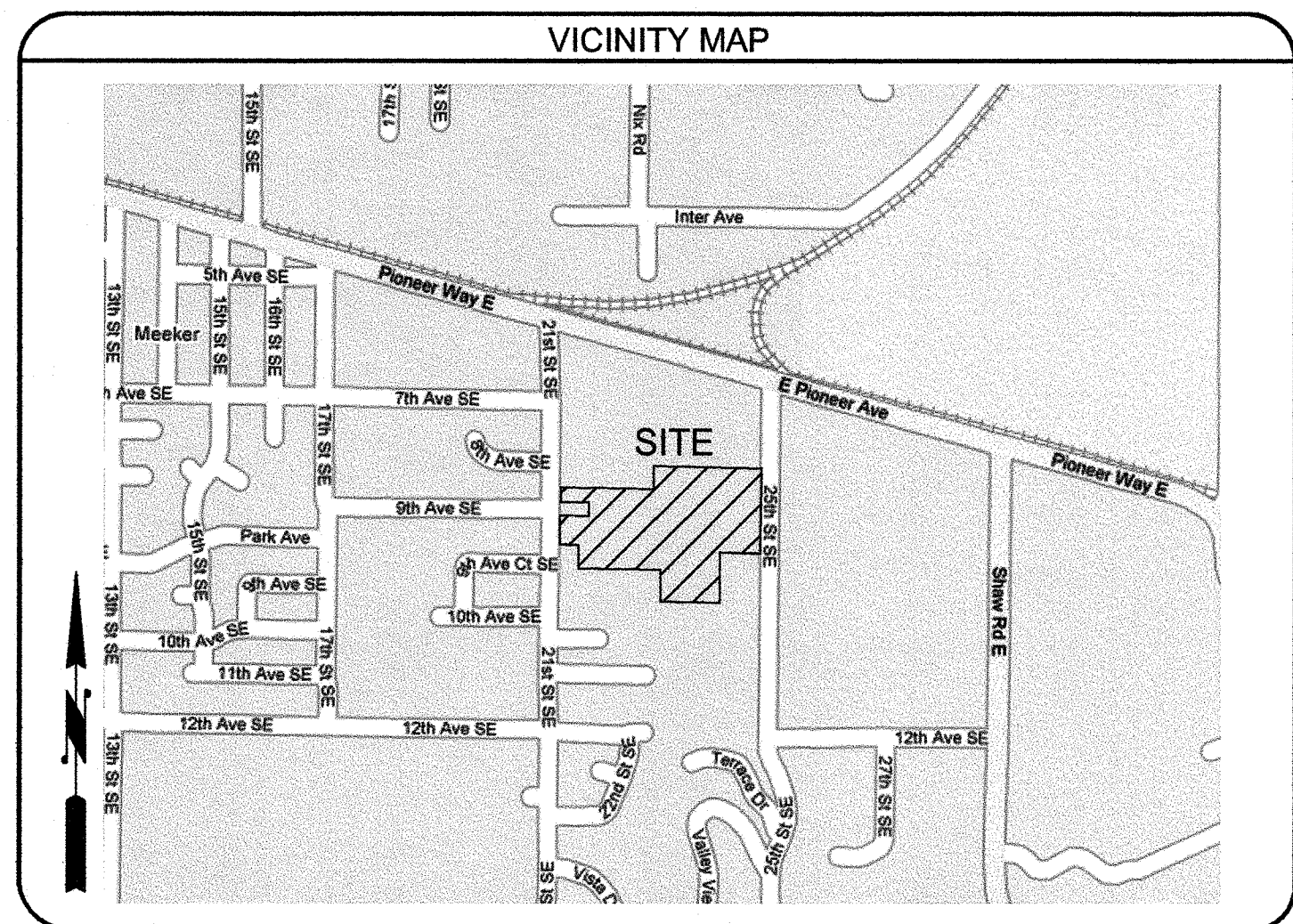
CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. COVER SHEET

RECEIVED
DEVELOPMENT SERVICES
JUN 28 2016
CITY OF PUYALLUP

APPROVED
BY: *[Signature]*
CITY OF PUYALLUP
ENGINEERING SERVICES
DATE: 6/28/2016
NOTE: THIS APPROVAL IS VOID
AFTER 1 YEAR FROM APPROVAL
DATE.
THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS AND/OR
OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE
ENGINEERING SERVICES
MANAGER

RECORD DRAWING
[Signature] 01/30/2021
ENGINEER/LAND SURVEYORS SIGNATURE DATE

Cascade Christian
Cover Sheet
Puyallup, WA



Site Plan
SCALE: 1" = 100'

CONSULTANTS

OWNER:
CASCADE CHRISTIAN SCHOOLS
DON JOHNSON
815 21ST ST SE
PUYALLUP, WA 98372
(253) 841-1776

LAND DEVELOPMENT MANAGER:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
GIL HULSMANN
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(253) 446-3159 F
GIL.HULSMANN@ABBEYROADGROUP.COM

PERMIT TECH:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
DAWN MARKAKIS
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(206) 446-3159 F
DAWN.MARKAKIS@ABBEYROADGROUP.COM

CIVIL ENGINEER:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
RYAN JEFFRIES
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(253) 446-3159 F
GIL.HULSMANN@ABBEYROADGROUP.COM

PLANNER:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
GIL HULSMANN
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(253) 446-3159 F
GIL.HULSMANN@ABBEYROADGROUP.COM

TRAFFIC ENGINEER:
HEATH & ASSOCIATES
GREG HEATH
2214 TACOMA RD
PUYALLUP, WA 98371
(253) 770-1401 W

CONTRACTOR:
ABBSER CONSTRUCTION
1001 SHAW ROAD
PUYALLUP, WA 98371
(253) 845-9544 W
(253) 841-0925 F

LANDSCAPE DESIGNER:
JEFFREY B. GLANDER & ASSOCIATES
JEFF GLANDER
1821 4TH AVE E
OLYMPIA, WA 98506
(360) 357-5972 W
(360) 786-8073 F
JEFF@GLANDERASSOCIATES.COM

PLUMBING:
TACOMA PLUMBING & HEATING, INC
CHRISTOPHER COMES
1817-12TH ST E, SUITE G
TACOMA, WA 98445
(253) 531-3444 W
(253) 537-0382 F

ARCHITECT:
JEFF BROWN ARCHITECTURE
LAKEWOOD, WA 98498
(253) 806-8324 W
JEFF@JEFFBROWNARCHITECTURE.COM

SURVEY:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
LES HILLEBRAND
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(206) 446-3159 F
LES.HILLEBRAND@ABBEYROADGROUP.COM

TELEC:
ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY
SAM LEWIS
P.O. BOX 1224
PUYALLUP, WA 98371
(253) 435-3699 W
(206) 446-3159 F
SAM.LEWIS@ABBEYROADGROUP.COM

ELECTRICAL:
BOONE ELECTRIC
JEFF PLATT
11409 98TH AVE E
PUYALLUP, WA 98373
(253) 848-6998 W
(253) 848-0642 F
JEFF_P@BOONENW.COM

UTILITIES

SEWER:
CITY OF PUYALLUP
1100 39TH AVE SE
PUYALLUP, WA 98374
(253) 840-6550

CABLE:
COMCAST
2200 N 30TH ST
TACOMA, WA
(253) 572-1100

TELEPHONE:
QWEST
PHONE COMPANY
955 LIND SW
RENTON, WA 98055
(425) 228-6062

WATER:
CITY OF PUYALLUP
1100 39TH AVE SE
PUYALLUP, WA 98374
(253) 840-6550

POWER:
PUGET SOUND ENERGY
MARK EVERBRAD
6905 S 228TH ST
KENT, WA 98032
(253) 395-6954

SCHOOL:
PUYALLUP SCHOOL DIST.
302 2ND ST E
PUYALLUP, WA 98371
(253) 841-1301

REFUSE:
DM DISPOSAL
3600 PORT OF TACOMA RD
SUITE 505
TACOMA, WA 98424
(253) 845-6955

GAS:
PUGET SOUND ENERGY
6905 S 228TH ST
KENT, WA 98032
(253) 395-6954

SURVEY NOTES

BASIS OF BEARING: MONUMENTED CENTERLINE OF 21ST STREET EAST, THAT BEING N0°37'53"E.

BENCHMARK USED: MONUMENT IN CASE WITH 3" BRASS DISK, 0.8' BELOW RIM, POINT NUMBER 501, ELEVATION=64.528.

SURVEY FIELD WORK PERFORMED DURING THE 3rd WEEK OF MARCH USING GPS EQUIPMENT BY ABBEY ROAD GROUP LAND DEVELOPMENT SERVICES COMPANY, LLC, ROBERT L. "LES" HILLEBRAND, PLS.

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
AC- ASPHALT TO CONCRETE SURFACE	ASPHALT	RD- ROOF DRAIN CLEANOUT	ROOF DRAIN CLEANOUT
BR- BOTTOM OF ROCKERY	CATCH BASIN	SS- SANITARY SEWER	SANITARY SEWER MANHOLE
CC- COMPACT CURB	CABLE RISER	SS- SANITARY SEWER	SANITARY SEWER
CG- CONCRETE GUTTER	CENTER LINE OF RIGHT OF WAY	SS- SET IRON PIN WITH ID CAP	SET IRON PIN WITH ID CAP
CO- CONCRETE	CLEARING LIMITS	SS- SET TACK IN LEAD AS NOTED	SET TACK IN LEAD AS NOTED
CP- CONCRETE PAVEMENT	CONCRETE	SS- SET TACK IN LEAD IN BRASS ID DISC	SET TACK IN LEAD IN BRASS ID DISC
CR- CONCRETE WALK	FENCE LINE	SS- SET RR SPIKE WITH PUNCH MARK	SET RR SPIKE WITH PUNCH MARK
CS- CONCRETE SLAB	FILTER FABRIC FENCE	SS- SLOPES 15% OR GREATER	SLOPES 15% OR GREATER
CT- CONCRETE WALK	FIRE HYDRANT	SD- STORM DRAIN LINE	STORM DRAIN LINE
CU- CONCRETE WALK	FOUND MONUMENT AS NOTED	SD- STORM DRAIN	STORM DRAIN
CV- CONCRETE WALK	GAS VALVE	SD- STREET LIGHT	STREET LIGHT
DW- DRAIN WALK	LIGHT STANDARD	SD- SURVEY MONUMENT	SURVEY MONUMENT
ED- EDGE OF ASPHALT	LOT CORNERS	SD- TELEPHONE RISER	TELEPHONE RISER
EE- ELECTRICAL CONDUIT	INTERCEPTOR SWALE	SD- TRAFFIC FLOW	TRAFFIC FLOW
EF- ELECTRICAL CONDUIT	JUNCTION BOX	SD- TRAFFIC LIGHT	TRAFFIC LIGHT
EG- ELECTRICAL CONDUIT	PARKING COUNT	SD- TREE	TREE
EH- ELECTRICAL CONDUIT	POWER VAULT	SD- UTILITY ACCESS MANHOLE	UTILITY ACCESS MANHOLE
EI- ELECTRICAL CONDUIT	PROPERTY LINE	SD- UTILITY POLE	UTILITY POLE
EL- ELECTRICAL CONDUIT	RETAINING WALL	SD- YARD LIGHT	YARD LIGHT
EM- ELECTRICAL CONDUIT	RIGHT OF WAY	SD- WATER	WATER
EN- ELECTRICAL CONDUIT	RIP RAP PAD	SD- WATER METER	WATER METER
EO- ELECTRICAL CONDUIT	ROCK CHECK DAM	SD- WATER VALVE	WATER VALVE
EP- ELECTRICAL CONDUIT	ROCKERY	SD- WATER REDUCER	WATER REDUCER
EQ- ELECTRICAL CONDUIT		SD- CENTERLINE	CENTERLINE

PROJECT SPECIFICATIONS (PROPOSED)

PROJECT DATA:
PROJECT NAME: CASCADE CHRISTIAN
ABBEY ROAD JOB#: 03-143
APPLICANT/AGENT:
NAME: THE ABBEY ROAD GROUP
ADDRESS: 923 SHAW ROAD
PUYALLUP, WA 98372
PHONE: 253-435-3699
OWNER/DEVELOPER: CASCADE CHRISTIAN SCHOOL
NAME: DON JOHNSON
ADDRESS: 815 21ST ST SE
PUYALLUP, WA 98372
PHONE: (253) 841-1776

PARKING: (EXISTING)
STANDARD: 323
COMPACT: 57
HANDICAP: 5
TOTAL: 385

PARKING: (PROPOSED)
STANDARD: 362
COMPACT: 57
HANDICAP: 7
TOTAL: 426

DRIVE ISLES: 24' WIDE

DEVELOPMENT AREAS:
JUNIOR HIGH (2 STORY): 33,062 SF PAD
52,271 SF TOTAL

PROPOSED BUILDING:
FIRST FLOOR: 33,062 SF
SECOND FLOOR: 19,209 SF
TOTAL AREA: 52,271 SF
STORIES: 2
HEIGHT: 30'

STORM DRAINAGE:
IMPERVIOUS AREA: 8.58 ACRES (FROM ORIGINAL REPORT)
PERVIOUS AREA: 8.5 ACRES (FROM ORIGINAL REPORT)
OPEN SPACE AREA:
PARKING (ASPHALT) AREA: 142,439.63 SF/3.27 ACRES
LANDSCAPE AREA: 97,902.55 SF/2.25 ACRES
MIN LOT SIZE: 8,000 SF/4,000 SF
MIN LOT DEPTH: 90'/80'
MIN LOT WIDTH: 60'/40'
MAX SITE COVERAGE: 45%/50%
SITE COVERAGE: 50%

SET BACKS:

	BUILDING	YARD
FRONT:	20'/15'	30'
SIDE:	16'/5'	30'
REAR:	20'/15'	30'
SIDE STREET:	15'/10'	12'
LOT WIDTH:	60'/40'	
LOT LENGTH:	90'/80'	

SITE SPECIFICATIONS (EXISTING)

SITE DATA:
ASSESSORS/TAX PARCEL NUMBER: 0420352148
PARCEL SITE SIZE: 743,763.65 SF/17.07 ACRES
SECTION/TOWNSHIP/RANGE: 35/20/04
DEVELOPMENT JURISDICTION: CITY OF PUYALLUP
SITE ADDRESS: 815 21ST ST SE
PUYALLUP, WA 98372
ZONING: RS-08RS-04
DENSITY: 5 DU/8 DU PER ACRE
PRESENT USE: PRIVATE RELIGIOUS EDUCATION

SENSITIVE AREAS:
WETLANDS: NO
FLOOD PLAIN HAZARD AREAS: YES (FEMA 100 YEAR)
EROSION HAZARD AREAS: NO
LANDSLIDE HAZARD AREAS: NO
COAL MINE HAZARD AREAS: NO
SEISMIC HAZARD AREAS: YES
CREEKS/STREAMS: NO
LAKES: NO
STEEP SLOPES (10% OR GREATER): NO
VOLCANIC: YES
WILDLIFE HABITAT: NO
SHORELINE CLASSIFICATION: N/A
IMPERVIOUS AREAS: 8.58 ACRES (FROM ORIGINAL REPORT)
PERVIOUS AREAS: 8.5 ACRES (FROM ORIGINAL REPORT)

ADJACENT ZONING:
NORTH: RS-04
SOUTH: RS-08
EAST: RS-04RS-08
WEST: RS-08

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SHEET	DESCRIPTION
SHEET 01 OF 14	COVER SHEET
SHEET 02 OF 14	EXISTING MASTER SITE PLAN
SHEET 03 OF 14	PROPOSED MASTER SITE PLAN
SHEET 04 OF 14	JR HIGH SITE DEVELOPMENT PLAN
SHEET 05 OF 14	DEMO & TESC PLAN
SHEET 06 OF 14	SEWER & WATER PLAN
SHEET 07 OF 14	GRADING & DRAINAGE PLAN
SHEET 08 OF 14	NOTES & DETAILS 1
SHEET 09 OF 14	NOTES & DETAILS 2
SHEET 10 OF 14	NOTES & DETAILS 3
SHEET 11 OF 14	NOTES & DETAILS 3
SHEET 12 OF 14	NOTES & DETAILS 3
SHEET L-1 OF 14	LANDSCAPE PLAN
SHEET L-2 OF 14	LANDSCAPE DETAILS & NOTES

LEGAL DESCRIPTION

SECTION 35 TOWNSHIP 20 RANGE 04 QUARTER 21:

PARCEL "A" OF DBLR 95-12-11-0261 COMMENCING AT THE INTERSECTION OF 21ST ST SE & 9TH AVE SE BEING ON SECTION LINE BETWEEN SECTIONS 26 & 35 THENCE EAST ALONG SAID SECTION LINE 30 FEET TO EAST LINE OF R/W LINE OF SAID 21ST ST SE & POINT OF BEGINNING THENCE CONTINUE EAST ALONG SAID SECTION LINE 181 FEET THENCE NORTH 01°11'52" WEST 88 FEET THENCE SOUTH 88°59'43" WEST 181 FEET TO EASTERLY R/W LINE OF 21ST ST SE THENCE NORTH ALONG SAID R/W LINE 91.25 FEET THENCE EAST PARALLEL WITH SECTION LINE 585 FEET THENCE NORTH 01°11'52" WEST 143.25 FEET THENCE EAST PARALLEL WITH SECTION LINE 672.34 FEET TO WESTERLY R/W OF 25TH ST SE THENCE SOUTH ALONG SAID R/W 322.5 FEET TO SECTION LINE THENCE CONTINUE EAST ALONG SAID WESTERLY R/W LINE OF 25TH ST SE 215.97 FEET THENCE SOUTH 89°15'54" WEST 253.06 FEET THENCE SOUTH 01°01'12" EAST 312.48 FEET THENCE SOUTH 89°15'54" WEST 371 FEET TO EAST LINE OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE NORTHEAST OF NORTHWEST THENCE WEST ALONG SAID SUBDIVISION 513.88 FEET TO SOUTHWEST CORNER OF SOUTH 144 FEET OF WEST 150 FEET OF NORTH 1/2 OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE N 00°55'06" WEST 144 FEET THENCE SOUTH 89°09' WEST 120 FEET TO SAID EASTERLY R/W OF 21ST ST SE THENCE NORTH ALONG 18.05 FEET TO POINT OF BEGINNING OUT OF 2-145, 2-010 & 04-20-26-3-007 SEG H-06111 J 1/23/96JU

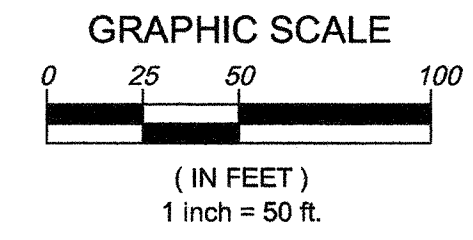
Abbey Road Group
Land Development
Services Company, LLC
923 SHAW ROAD, SUITE A
PUYALLUP, WA 98372
P.O. Box 1224, Puyallup, WA 98371
(253) 435-3699, Fax (253) 446-3159

Abbey Road Group

DESIGNED BY: Ryan Jeffries
DEVELOPMENT REVIEW: RJ
APPROVED BY: Ryan Jeffries
DRAFTED BY: Travis Leaf
DATE: 26 MAY 2016
SHEET: 01 OF 14

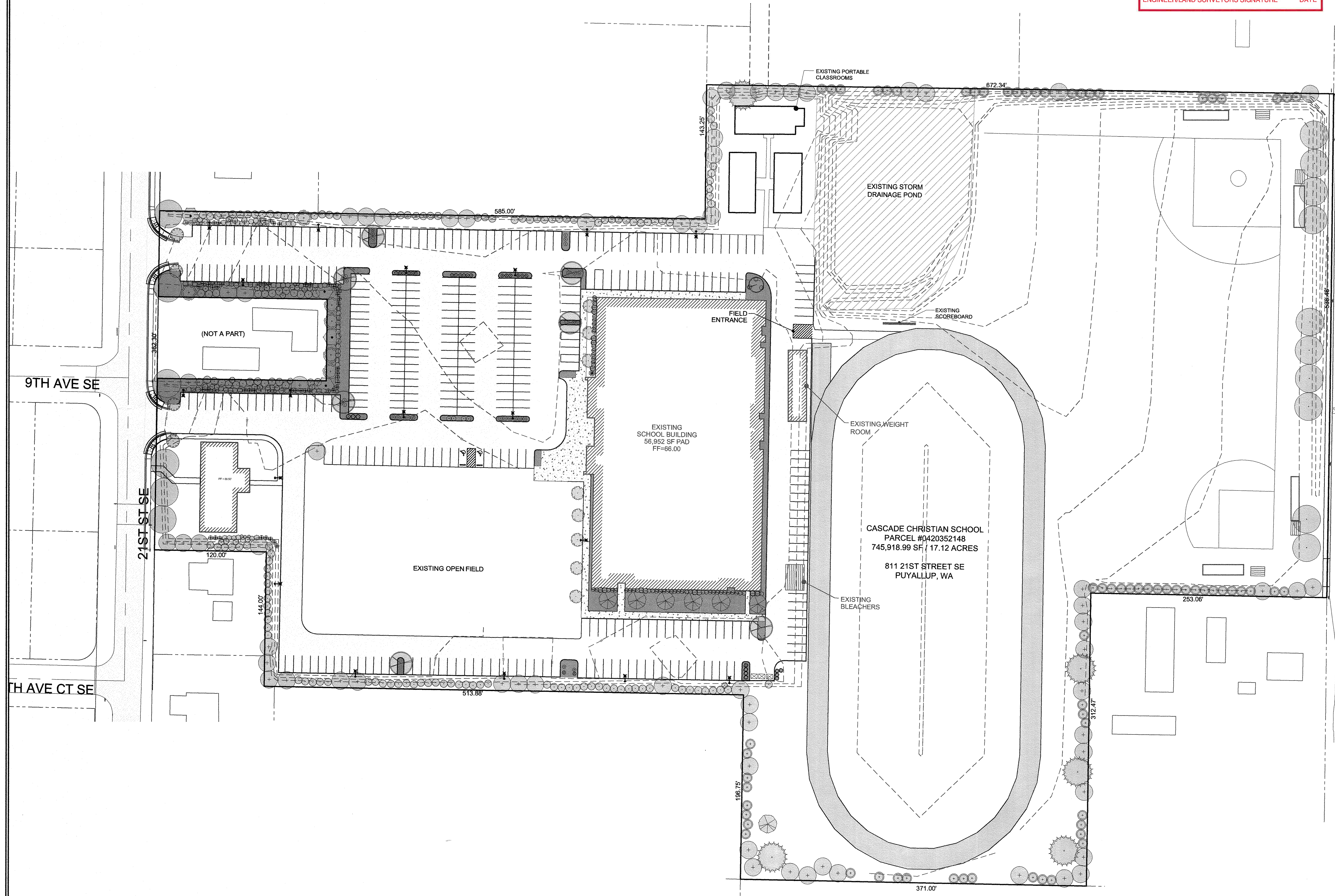
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Plotted By: Ryan Jeffries

CASCADE CHRISTIAN
 SEC. 35\TWP. 20\RGE. 04, W.M.
 EXISTING MASTER SITE PLAN



RECORD DRAWING
[Signature] 07/30/2021
 ENGINEER/LAND SURVEYORS SIGNATURE DATE

APPROVED
 BY: *[Signature]*
 CITY OF PUYALLUP
 ENGINEERING SERVICES
 DATE: 6/30/2016
 NOTE: THIS APPROVAL IS VOID
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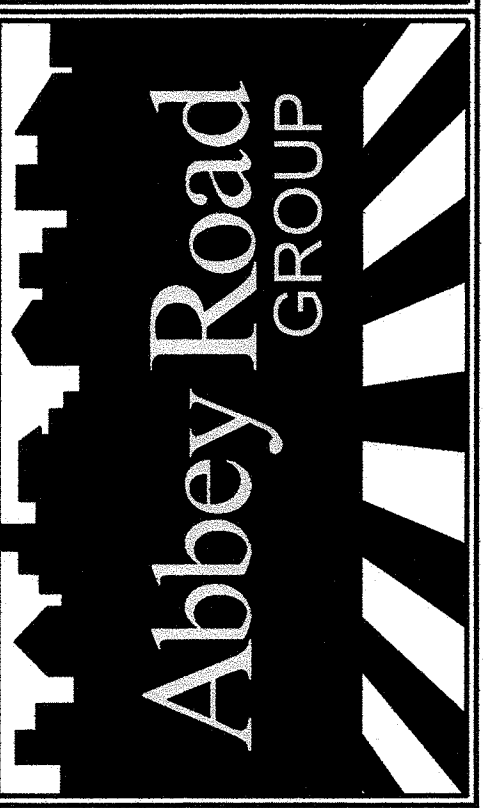


TITLE: Cascade Christian
 Existing Master Site Plan
 Puyallup, WA

FOR: Cascade Christian School
 Don Johnson
 815 21st St. SE
 Puyallup, WA 98372



Abbey Road Group
 Land Development
 Services Company, LLC
 923 SHAW ROAD, SUITE A
 PUYALLUP, WA 98372
 P.O. Box 1224, Puyallup, WA 98371
 (253) 435-3699, Fax (253) 446-3159



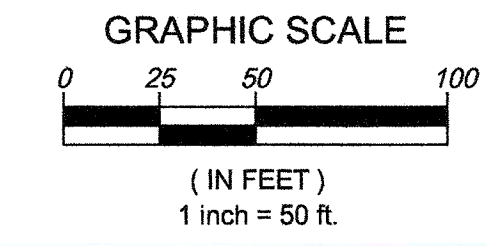
REVISIONS:

CHK.	APR.	DATE:	PER:
RJ	RJ	05-26-16	REVISED PER CITY COMMENTS DATED MAY 18, 2016
RJ	RJ	05-26-16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
RJ	RJ	06-17-16	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

JOB # 03-143
 DESIGNED BY: Ryan Jeffries
 DEVELOPMENT REVIEW: RJ
 APPROVED BY: Ryan Jeffries
 DRAFTED BY: Travis Leaf
 DATE: 26 MAY 2016
 SHEET: 02 OF 14

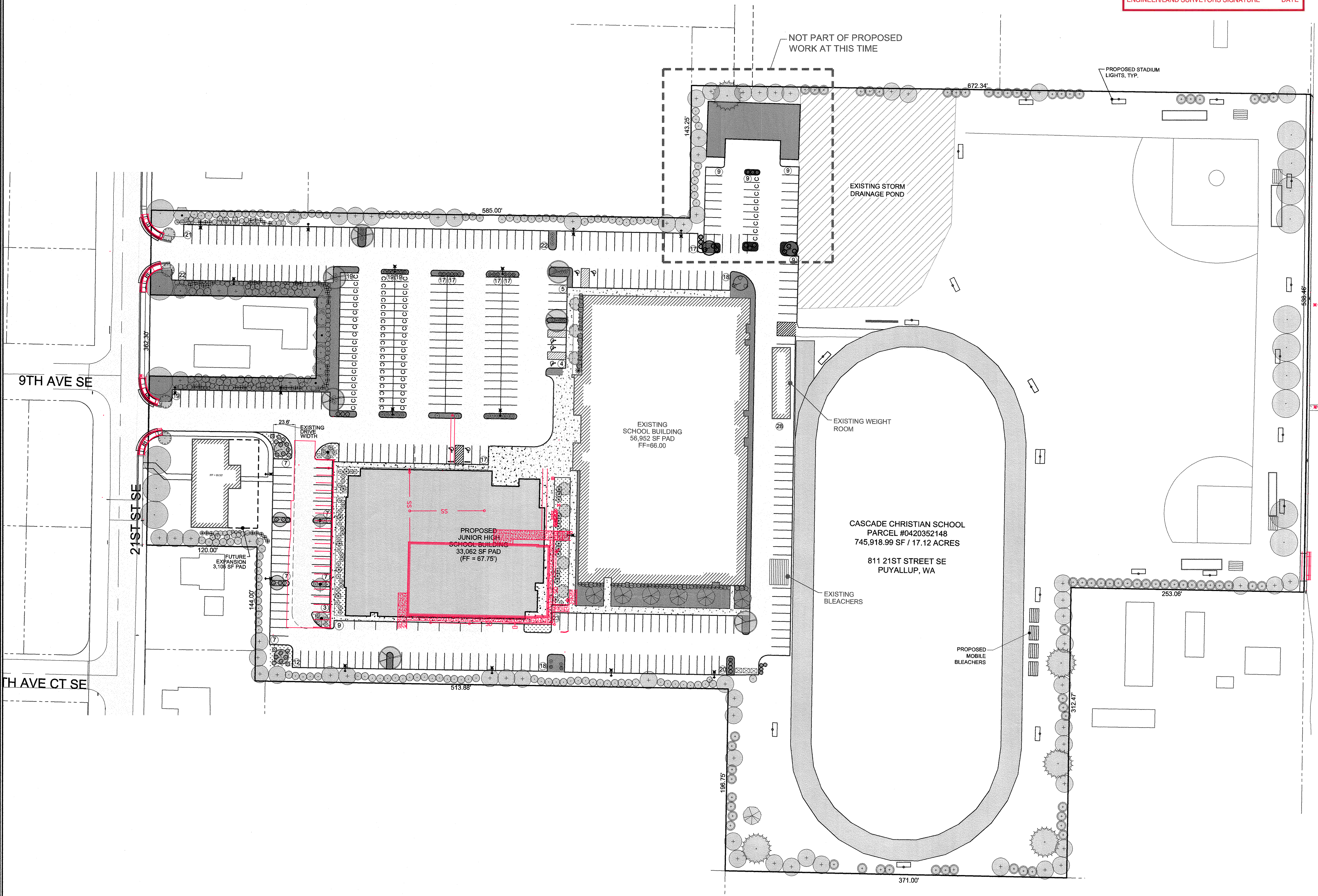
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 Plotted By: Ryan Jeffries
 Plot Date: 6/17/2016 2:02 PM

**CASCADE CHRISTIAN
SEC. 35\TWP. 20\RGE. 04, W.M.
PROPOSED MASTER SITE PLAN**



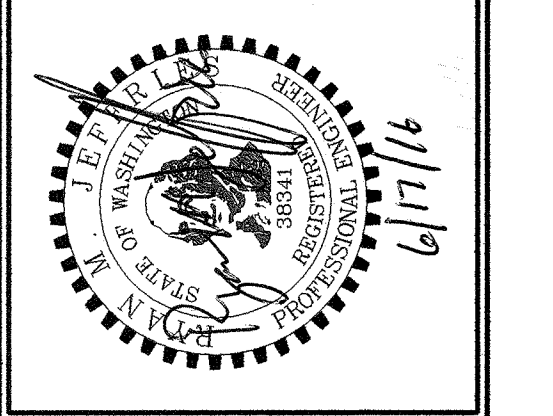
RECORD DRAWING
[Signature] 01/30/2021
ENGINEER/LAND SURVEYORS SIGNATURE DATE

APPROVED
BY: *[Signature]*
CITY OF PUYALLUP
ENGINEERING SERVICES
DATE: 6/30/2016
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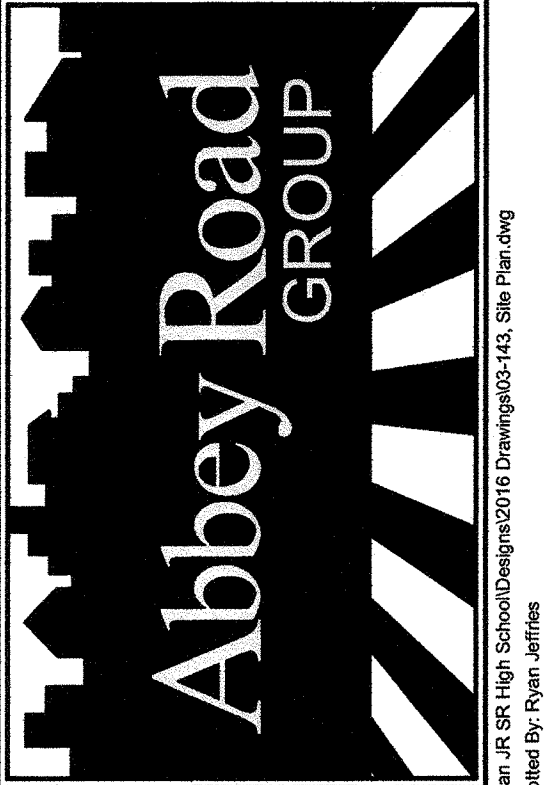


TITLE: Cascade Christian
Proposed Master Site Plan
Puyallup, WA

FOR: Cascade Christian School
Don Johnson
815 21st St. SE
Puyallup, WA 98372



Abbey Road Group
Land Development
Services Company, LLC
923 SHAW ROAD, SUITE A
PUYALLUP, WA 98372
P.O. Box 1224, Puyallup, WA 98371
(253) 435-3699, Fax (253) 446-3159



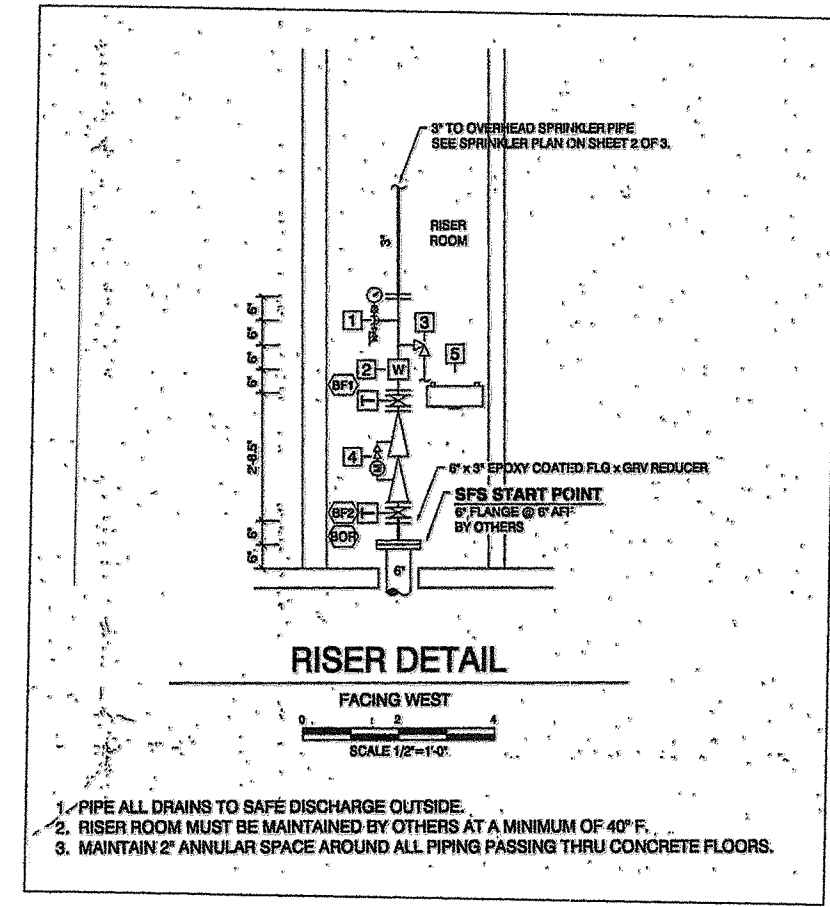
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	RJ	06/06/16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
	RJ	06/17/16	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

JOB #: 03-143	DESIGNED BY: Ryan Jeffries	DEVELOPMENT REVIEW: RJ
		APPROVED BY: Ryan Jeffries
		DRAFTED BY: Travis Leaf
		DATE: 26 MAY 2016
		SHEET: 03 OF 14

FILE: S:\PROJECTS FILES\ACTIVE\03-143 Cascade Christian - SR High School\Design\2016\03-143_Site Plan.rvt
Plotted By: Ryan Jeffries
Printed: 6/17/2016 2:04 PM

CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. NOTES & DETAILS

RECORD DRAWING
[Signature] 07/30/2021
ENGINEER/LAND SURVEYORS SIGNATURE DATE



1- PIPE ALL DRAINS TO SAFE DISCHARGE OUTSIDE.
2- RISER ROOM MUST BE MAINTAINED BY OTHERS AT A MINIMUM OF 4 FT.
3- MAINTAIN 2" ANNUAL SPACE AROUND ALL PIPES PASSING THRU CONCRETE FLOORS.

- NOTES FOR: DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCVA) INSTALLATION
CITY STANDARD 03.10.01-1
- BACKFLOW ASSEMBLY MUST BE SELECTED FROM WASHINGTON STATE DEPARTMENT OF HEALTH'S LIST OF BACKFLOW PREVENTION ASSEMBLIES APPROVED FOR INSTALLATION IN WASHINGTON STATE, LATEST EDITION.
 - THE DDCVA SHALL BE INSTALLED WITH ADEQUATE SPACE TO FACILITATE MAINTENANCE AND TESTING. IT SHALL BE TESTED AFTER INSTALLATION, BY A WASHINGTON STATE CERTIFIED BACK-FLOW ASSEMBLY TESTER, TO INSURE ITS SATISFACTORY OPERATION BEFORE OCCUPANCY, AND ANNUALLY THEREAFTER. SEND TEST RESULTS TO: CITY OF PUYALLUP, WATER QUALITY OPERATIONS, 1100 39TH AVE SE, PUYALLUP, WA 98374.
 - DDCVA MUST BE PURCHASED AS A UNIT. NO MODIFICATIONS TO THE ASSEMBLY ARE ALLOWED.
 - APPROVAL BY THE CITY OF PUYALLUP MUST BE OBTAINED BEFORE THE DDCVA IS ALLOWED TO BE LOCATED WITHIN A BUILDING. WHEN THE DDCVA IS LOCATED WITHIN A BUILDING, THE FIRE DEPARTMENT CONNECTION (FDC) BALL DRIP SHALL DRAIN TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
 - IF VAULT CANNOT BE DRAINED TO DAYLIGHT, A 1/4 HP SUMP PUMP SHALL BE INSTALLED IN THE SUMP PIT OF THE VAULT. IT SHALL BE WIRED PER WASHINGTON STATE ELECTRICAL CODE, AND INSPECTED BY A STATE ELECTRICAL INSPECTOR. THE DISCHARGE PIPE SHALL BE CONNECTED TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
 - DDCVA OUTSIDE STEM AND YOKE (OS&Y) GATE VALVES, AND THE POST INDICATOR VALVE (PIV), SHALL HAVE SUPERVISED TAMPER SWITCHES.
 - ALL ELECTRICAL SHALL BE INSPECTED BY A WASHINGTON STATE ELECTRICAL INSPECTOR.
 - RUN TWO 3/4" SCHEDULE 80 P.V.C. CONDUITS TO THE VAULT. ONE WILL BE USED FOR A GFCI PROTECTED OUTLET, AND ONE WILL BE FOR LOW VOLTAGE COMING FROM THE FIRE ALARM PANEL. INSTALL AN APPLETON FSCA OR FDCA CAST DEVICE BOX OR APPROVED EQUAL ON THE VAULT WALL AT THE CONDUIT PENETRATION.
 - RUN LOW VOLTAGE WIRE INSIDE VAULT AND TO PIV THROUGH SEAL-TIGHT FLEX CONDUIT. CONDUIT SHALL BE SECURELY FASTENED PERPENDICULAR OR HORIZONTALLY TO THE WALLS OF THE VAULT.
 - WATER METER SHALL BE A SENSUS SR11 TRPL READING IN 1 CUBIC FEET.
 - PIPE SUPPORTS SHALL BE RUST-PROTECTED WITH ALUMINUM PAINT.
 - THE FDC SHALL BE LOCATED WITHIN 15 FEET OF A FIRE HYDRANT, BUT NOT LESS THAN 10 FEET.
 - THE FDC SHALL BE A MINIMUM OF 40 FEET FROM A BUILDING, UNLESS APPROVED BY THE CITY OF PUYALLUP FIRE CODE OFFICIAL.

APPROVED
BY: *[Signature]*
CITY OF PUYALLUP
ENGINEERING SERVICES
DATE: 6/30/2016
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Cascade Christian
Notes & Details 5
Puyallup, WA

Cascade Christian School
Don Johnson
815 21st St. SE
Puyallup, WA 98372

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

DOUBLE DETECTOR-CHECK VALVE ASSEMBLY INSTALLATION (NOTES)

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY LINDA LIAN	CITY STANDARD
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_WTR\03.10.01-1	DATE APPROVED 06/15/2016	DATE REVISED 06/15/2016	SCALE N/A	03.10.01-2



CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

DOUBLE DETECTOR-CHECK VALVE ASSEMBLY INSTALLATION

1- PIPE ALL DRAINS TO SAFE DISCHARGE OUTSIDE.
2- RISER ROOM MUST BE MAINTAINED BY OTHERS AT A MINIMUM OF 4 FT.
3- MAINTAIN 2" ANNUAL SPACE AROUND ALL PIPES PASSING THRU CONCRETE FLOORS.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY LINDA LIAN	CITY STANDARD
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_WTR\03.10.01-1	DATE APPROVED 06/15/2016	DATE REVISED 06/15/2016	SCALE N/A	03.10.01-1

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

WATER VAULT DETAILS

NOTES:

- IF VAULT CANNOT BE DRAINED TO DAYLIGHT, A 1/4 HP SUMP PUMP SHALL BE INSTALLED IN THE SUMP PIT OF THE VAULT. IT SHALL BE WIRED PER WASHINGTON STATE ELECTRICAL CODE, AND INSPECTED BY A STATE ELECTRICAL INSPECTOR. THE DISCHARGE PIPE SHALL BE CONNECTED TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
- THE VAULT SHALL BE A PRECAST CONCRETE VAULT, SIZED TO MEET THE CLEARANCE REQUIREMENTS SHOWN ON DETAILS 3.03.04, 3.09.01, OR 3.10.01-1.
- REMOVABLE DOORS SHALL BE A MINIMUM OF 6'-0" X 3'-0" ALUMINUM DIAMOND PLATE HINGED LOCKING DOORS, WITH HINGES LOCATED AT EACH END OF OPENING, AND WITH COVERED RECESSED PADLOCK HASP. DOORS SHALL BE SPRING LOADED AND LOCK IN THE OPEN POSITION. DOOR AND FRAME SHALL BE RATED FOR HS-20 LOADING.
- A GALVANIZED LADDER SHALL BE SET INSIDE THE VAULT FOR ACCESS. IT SHALL BE SECURED TO THE VAULT WITH 1/2" DIA. BOLTS EPOXIED TO THE VAULT LID AND FLOOR.
- A BILCO LADDER UP SAFETY POST MODEL NO. 2 (OR APPROVED EQUAL) SHALL BE ATTACHED TO THE LADDER STEPS ON THE RIGHT HAND SIDE.
- THE VAULT SHALL BE PLACED IN A UTILITY EASEMENT OUT OF VEHICLE AND PEDESTRIAN TRAFFIC.
- CAST-IN-PLACE VAULTS SHALL BE PERMITTED BY THE CITY'S BUILDING DIVISION PRIOR TO CONSTRUCTION.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY LINDA LIAN	CITY STANDARD
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_WTR\03.11.01	DATE APPROVED 06/15/2016	DATE REVISED 06/15/2016	SCALE N/A	03.11.01

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

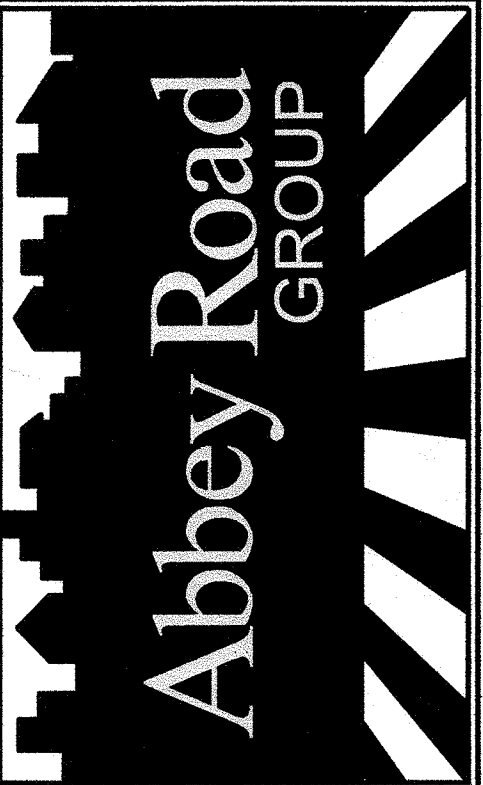
3" AND ABOVE REDUCED PRESSURE BACKFLOW ASSEMBLY

NOTES:

- BACKFLOW ASSEMBLY MUST BE SELECTED FROM WASHINGTON STATE DEPARTMENT OF HEALTH'S LIST OF BACKFLOW PREVENTION ASSEMBLIES APPROVED FOR INSTALLATION IN WASHINGTON STATE, LATEST EDITION.
- THE RPBA SHALL BE INSTALLED WITH ADEQUATE SPACE TO FACILITATE MAINTENANCE AND TESTING. IT SHALL BE TESTED AFTER INSTALLATION, BY A WASHINGTON STATE CERTIFIED BACK-FLOW ASSEMBLY TESTER, TO INSURE ITS SATISFACTORY OPERATION BEFORE OCCUPANCY, AND ANNUALLY THEREAFTER. SEND TEST RESULTS TO: CITY OF PUYALLUP, WATER QUALITY OPERATIONS, 1100 39TH AVE SE, PUYALLUP, WA 98374.
- THE RPBA MUST BE PURCHASED AS A UNIT. NO MODIFICATIONS TO THE ASSEMBLY ARE ALLOWED.
- THE RPBA SHALL NOT BE INSTALLED IN A PIT BELOW GRADE LEVEL.
- THE PROTECTIVE COVERING FOR THE RPBA, WHICH PROTECTS THE ASSEMBLY FROM FREEZING, MUST INCLUDE A DAYLIGHT DRAIN. THE DRAIN MUST BE INSTALLED ABOVE GRADE OR ABOVE THE MAXIMUM FLOOD LEVEL, UNLESS OTHERWISE NOTED. THE DRAIN MUST BE A MINIMUM OF TWICE THE SIZE OF THE RPBA, TO BE ABLE TO HANDLE THE VOLUME OF WATER THAT POTENTIALLY COULD BE DISCHARGED FROM THE RELIEF VALVE PORT.
- THE RPBA SHALL BE SIZED EQUAL OR COMPARABLE TO THE METER SIZE.
- THE RPBA SHALL BE LOCATED IMMEDIATELY DOWN STREAM OF THE METER, AND CANNOT BE INSTALLED INSIDE OF A BUILDING, DUE TO THE SERIOUS HAZARD FROM THE WATER THAT POTENTIALLY COULD BE DISCHARGED FROM THE RELIEF VALVE PORT DURING A TYPICAL CHECK VALVE SITUATION.
- ALL ELECTRICAL SHALL BE INSPECTED BY A WASHINGTON STATE ELECTRICAL INSPECTOR.
- PIPE SUPPORTS SHALL BE RUST-PROTECTED WITH ALUMINUM PAINT.
- PROVIDE FREEZE PROTECTION AS DIRECTED BY OWNER.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED BY LINDA LIAN	CITY STANDARD
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_WTR\03.04.03	DATE APPROVED 06/15/2016	DATE REVISED 06/15/2016	SCALE N/A	03.04.03

Abbey Road Group
Land Development
Services Company, LLC
923 SHAW ROAD, SUITE A
PUYALLUP, WA 98372
P.O. Box 1224, Puyallup, WA 98371
(253) 435-3699, Fax (253) 446-3159



DESIGNED BY: Ryan Jeffries
DEVELOPMENT REVIEW: RJ
APPROVED BY: Ryan Jeffries
DRAFTED BY: Travis Leaf
DATE: 26 MAY 2016
SHEET: 12 OF 14

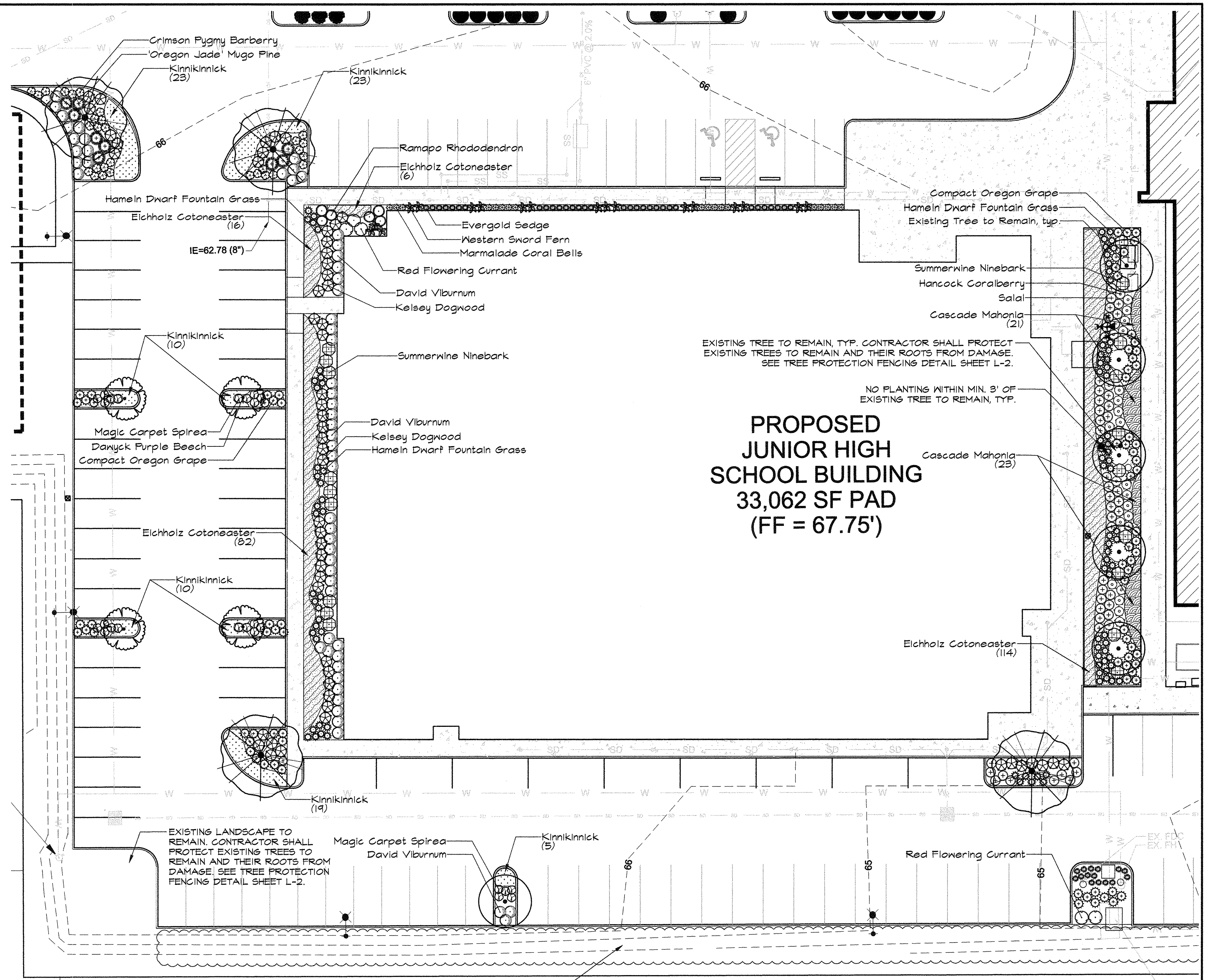
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PLANT SCHEDULE

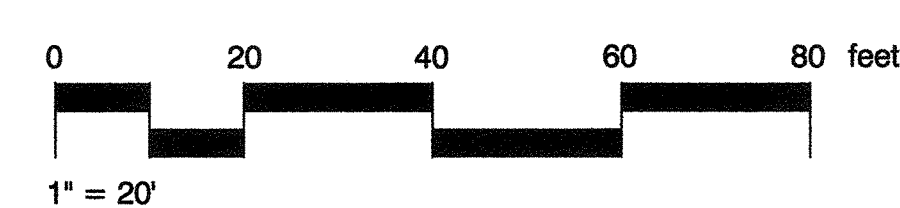
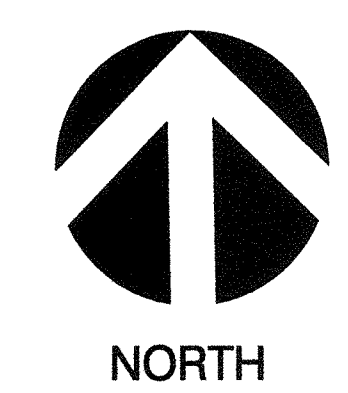
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE
	6	EXISTING TREE TO REMAIN / EXISTING TREE TO REMAIN	EXISTING		
	4	FAGUS SYLVATICA 'DAWYCK PURPLE' / DAWYCK PURPLE BEECH	B&B/CONT.	1.75' GAL	10'-12' HT.
	4	FAGUS SYLVATICA 'RIVERSII' / RIVERS PURPLE BEECH	B&B/CONT.	1.75' GAL	10'-12' HT.
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	
	30	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL, 16' MIN. HT.	@ 2-1/2' O.C.	
	47	CAREX MORROWII 'AUREA-VARIEGATA' / EVERGOLD SEDGE	1 GAL	@ 2' O.C.	
	55	CORNUS STOLONIFERA 'KELSEYI' / KELSEY DOGWOOD NATIVE/ADAPTIVE	2 GAL, 16' MIN. HT.	@ 3-1/2' O.C.	
	46	GAULTHERIA SHALLON / SALAL NATIVE	2 GAL, 16' MIN. HT.	@ 3' O.C.	
	18	HEUCHERA X 'MARMALADE' / MARMALADE CORAL BELLS	1 GAL	@ 2' O.C.	
	85	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE NATIVE/ADAPTIVE	2 GAL, 16' MIN. HT.	@ 3' O.C.	
	94	PENNISETUM ALOPECUROIDES 'HAMELIN' / HAMELIN DWARF FOUNTAIN GRASS	1 GAL	@ 2-1/2' O.C.	
	19	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMERWINE NINEBARK	5 GAL	@ 4' O.C.	
	9	PINUS MUGO 'OREGON JADE' / 'OREGON JADE' MUGO PINE	5 GAL	@ 4' O.C.	
	18	POLYSTICHUM MUNITUM / WESTERN SWORD FERN NATIVE	2 GAL	@ 3' O.C.	
	6	RHODODENDRON X 'RAMAPO' / RAMAPO RHODODENDRON	3 GAL, 16' MIN. HT.	@ 3-1/2' O.C.	
	5	RIBES SANGUINEUM / RED FLOWERING CURRANT NATIVE	5 GAL	@ 4' O.C.	
	25	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL	@ 2-1/2' O.C.	
	24	SYMPHORICARPOS X CHENAUTII 'HANCOCK' / HANCOCK CORALBERRY NATIVE	2 GAL, 16' MIN. HT.	@ 3' O.C.	
	59	VIBURNUM DAVIDI / DAVID VIBURNUM	3 GAL	@ 3-1/2' O.C.	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING	
	90	ARCTOSTAPHYLOS LVA-URSI 'EMERALD CARPET' / KINNIKINICK NATIVE	1 GAL	2-1/2' O.C.	
	218	COTONEASTER DAMMERI 'EICHHOLZ' / EICHHOLZ COTONEASTER	1 GAL	2-1/2' O.C.	
	44	MAHONIA NERVOSA / CASCADE MAHONIA NATIVE	1 GAL	2-1/2' O.C.	

NATIVE PLANT NOTES

1. MINIMUM 25% OF ALL PLANTS ARE REQUIRED TO BE NATIVE PLANTS
2. 900 TOTAL PLANTS, INCLUDING 352 GROUNDCOVERS
3. 367 TOTAL NATIVE PLANTS, INCLUDING 134 NATIVE GROUNDCOVERS
4. 41% OF ALL PLANTS (INCLUDING GROUNDCOVERS) ARE NATIVE
5. 36 PERCENT OF GROUNDCOVERS ARE NATIVE



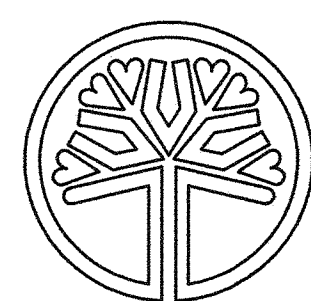
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[Signature] 01/30/2021
ENGINEER/LAND SURVEYORS SIGNATURE DATE



SHEET NOTES

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
5. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
6. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

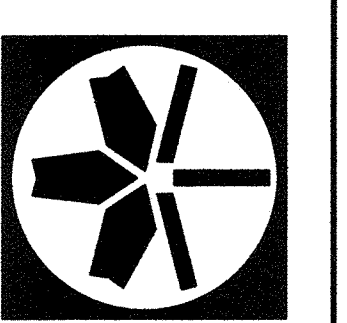
APPROVED
FINAL LANDSCAPE PLAN
BY: *[Signature]*
PLANNING DIVISION
DATE: 01-30-16
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE. THE CITY IS NOT RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING DIRECTOR, DESIGNER OR PROJECT PLANNER.



STATE OF WASHINGTON
LICENSED LANDSCAPE ARCHITECT
JEFFREY B. GLANDER
LICENSE NO. 405
EXPIRES ON 02-08-2017

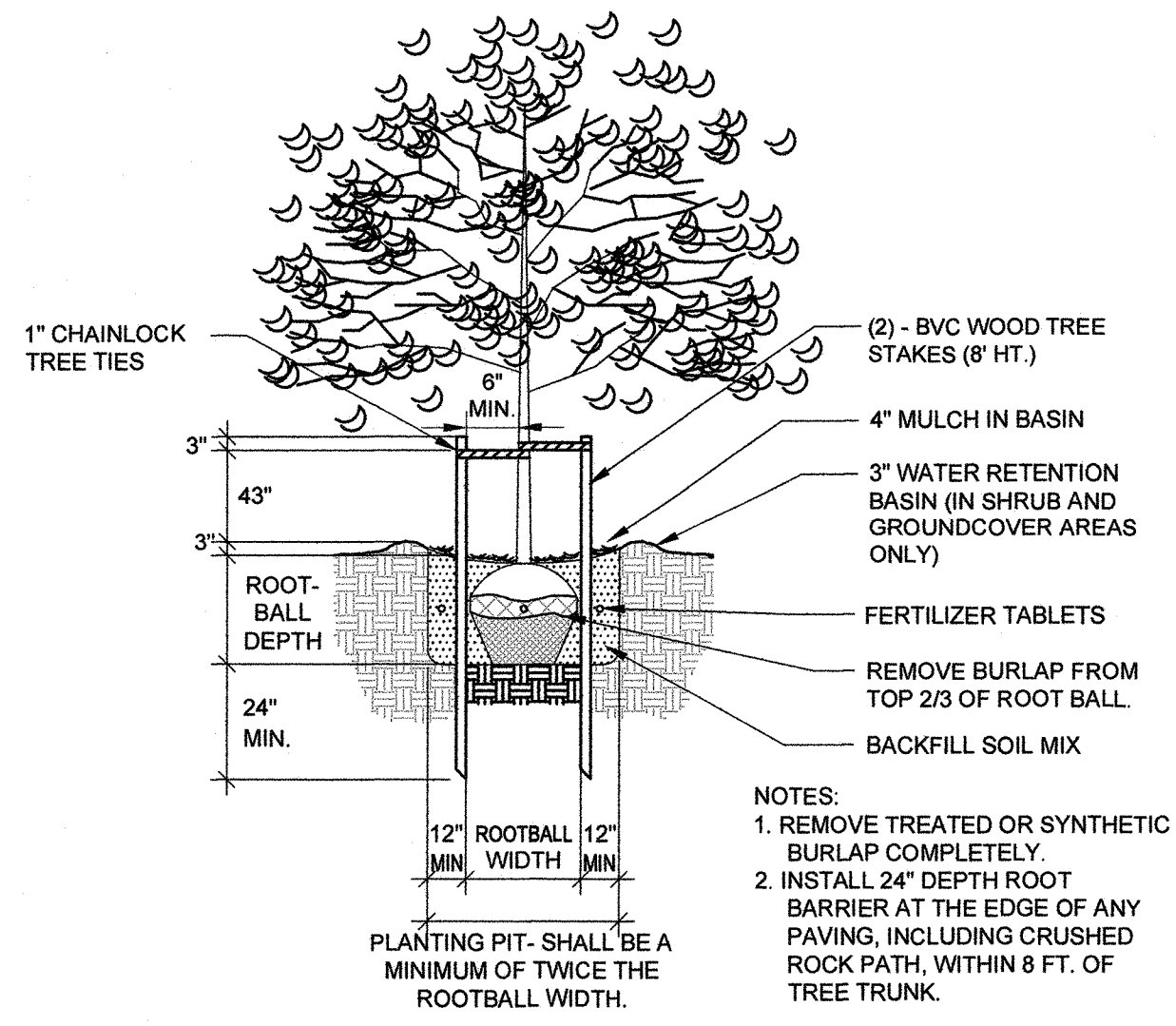
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CASCADE CHRISTIAN SCHOOL
PUYALLUP, WA

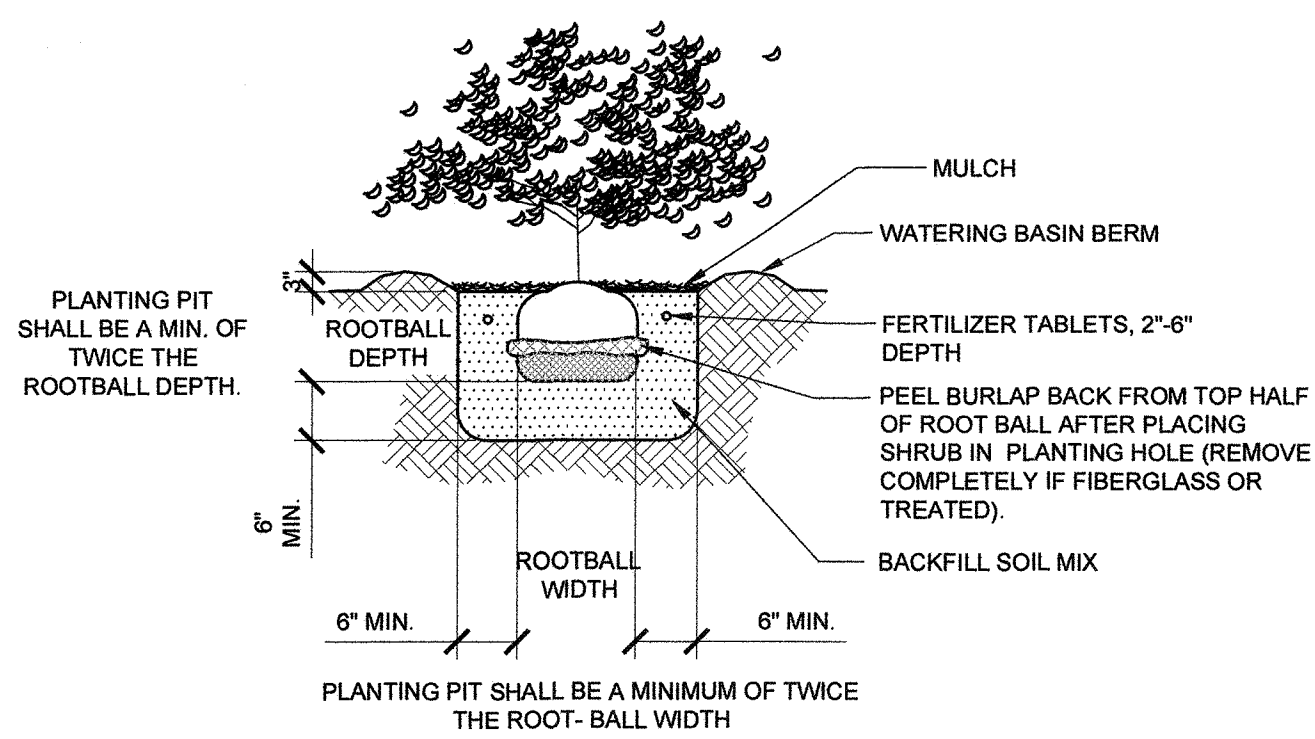


LANDSCAPE PLAN
JEFFREY B. GLANDER & ASSOCIATES, PLLC
Site Planning
Landscape Architecture
1821 4th Avenue E, Olympia, WA 98506
ph: (360) 337-6972
fx: (360) 766-8075
www.glanderassociates.com

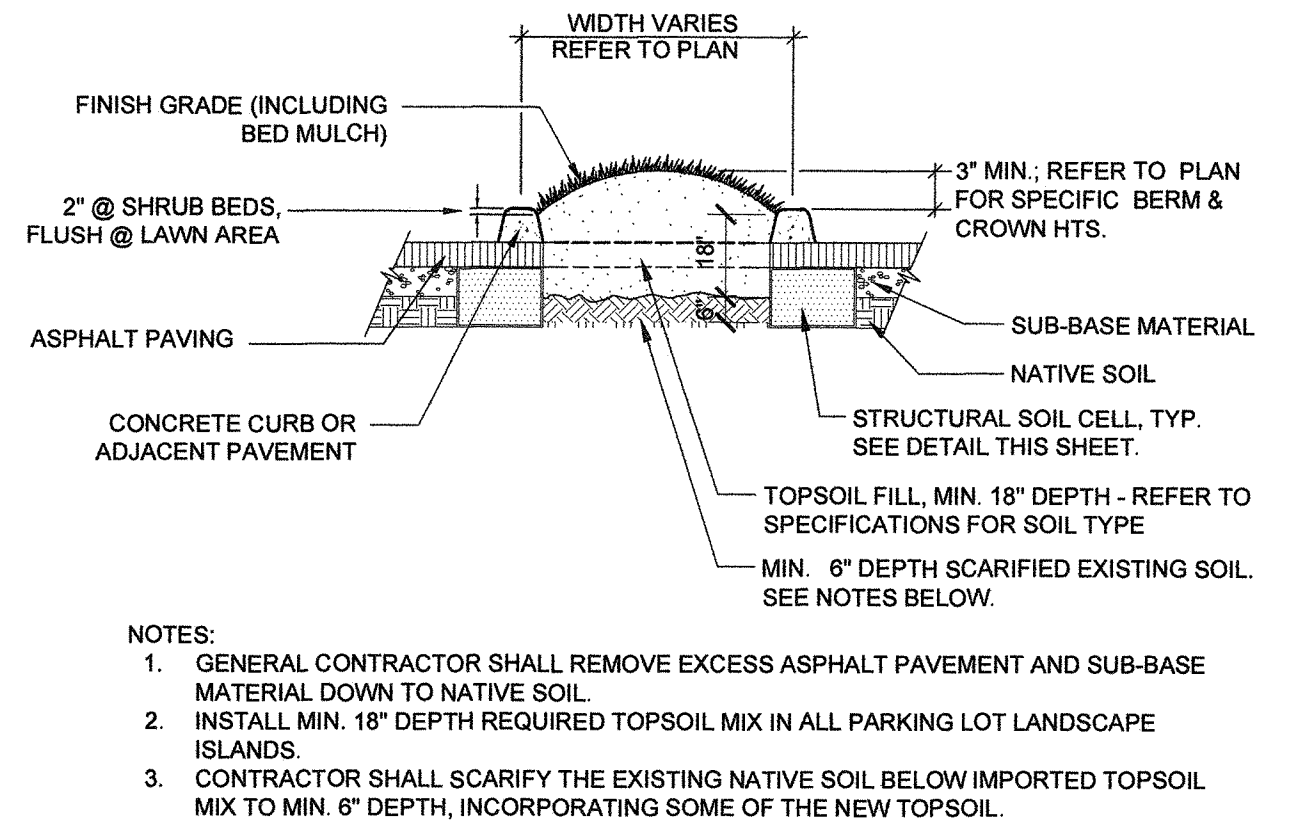
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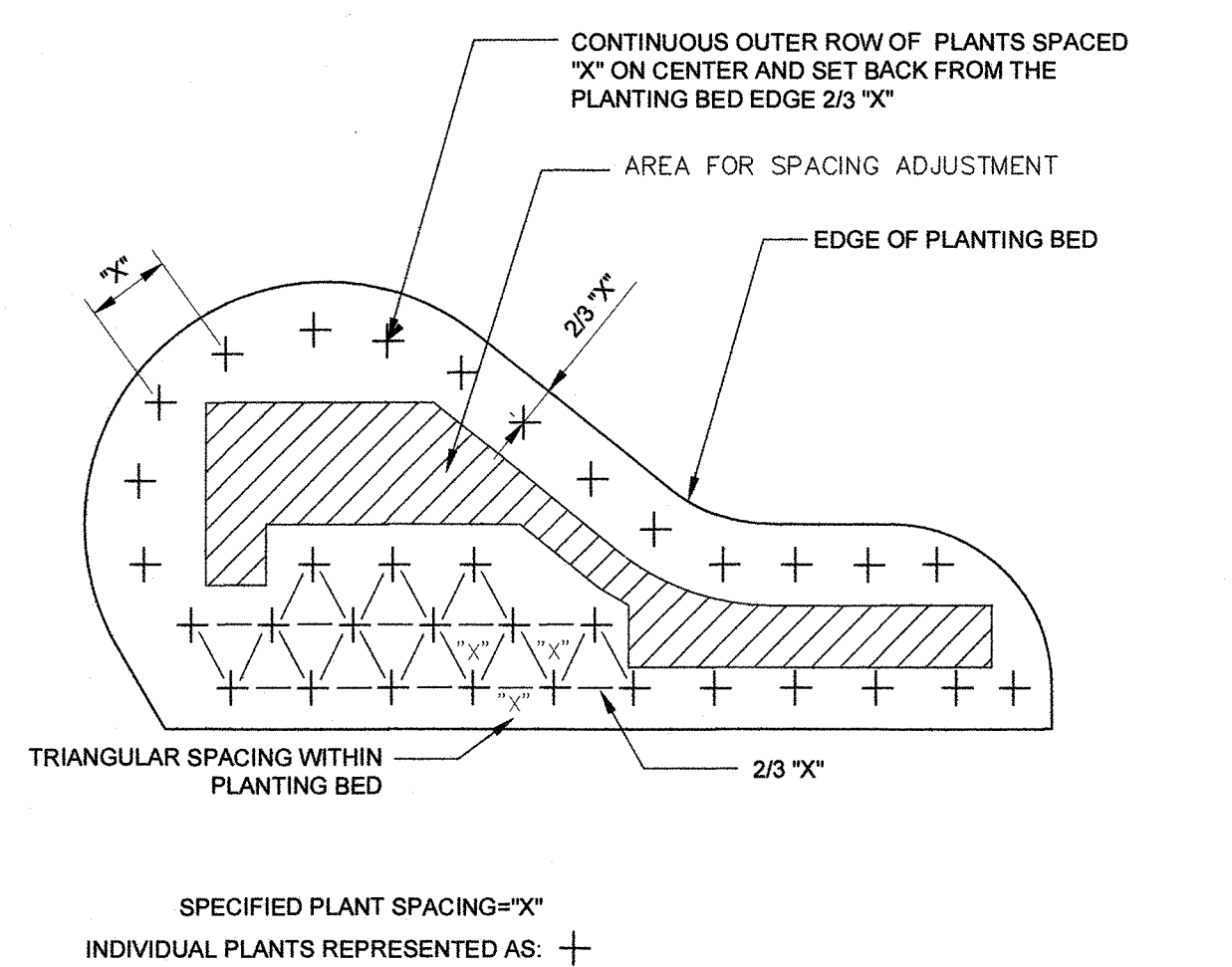
1 TREE PLANTING & STAKING DETAIL
 N.T.S. 32 93-09



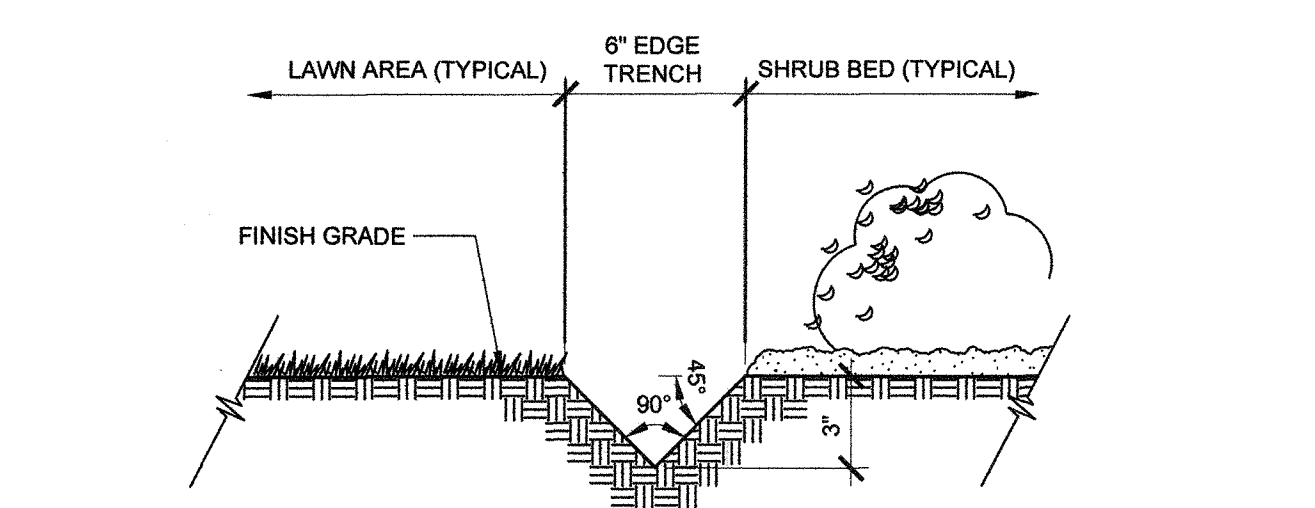
2 SHRUB PLANTING DETAIL (B&B OR CONT.)
 N.T.S. 3293-01



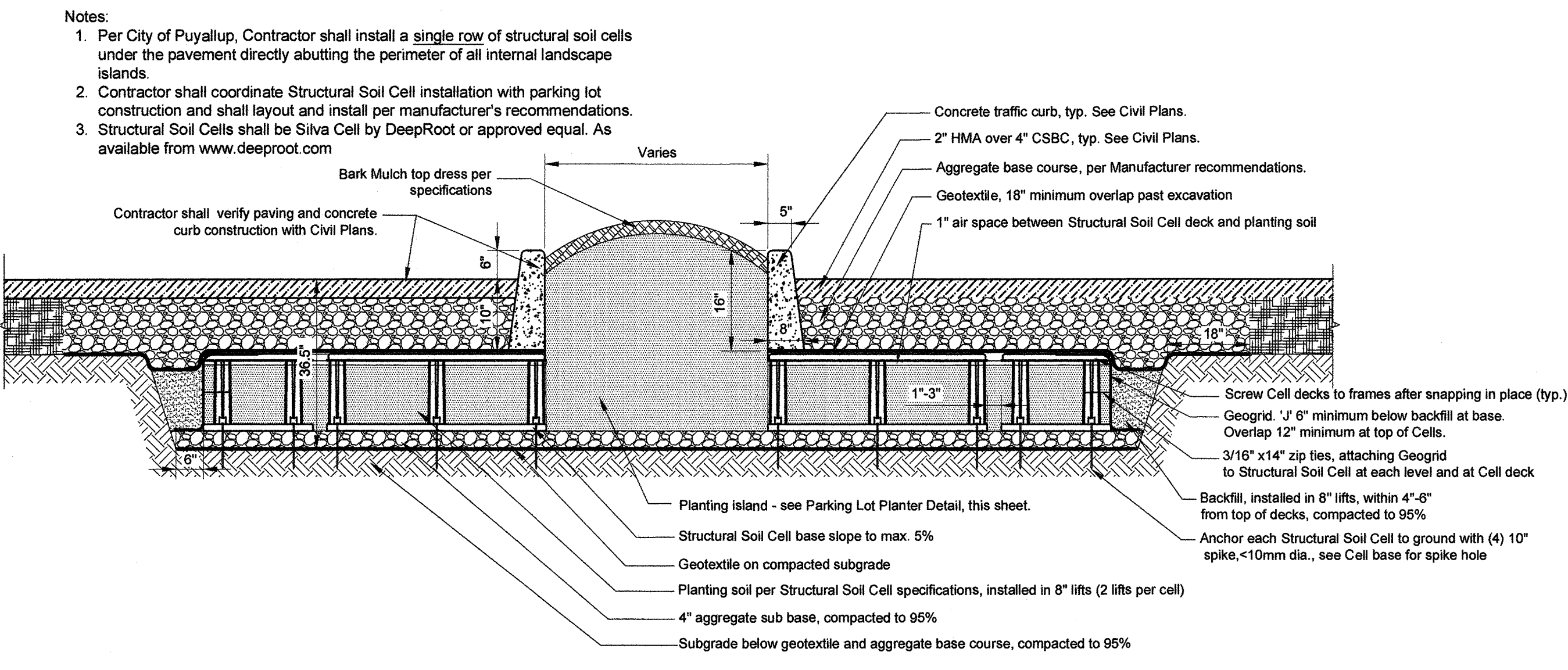
3 PARKING ISLAND PLANTER DETAIL - PUYALLUP
 N.T.S. 3293-07



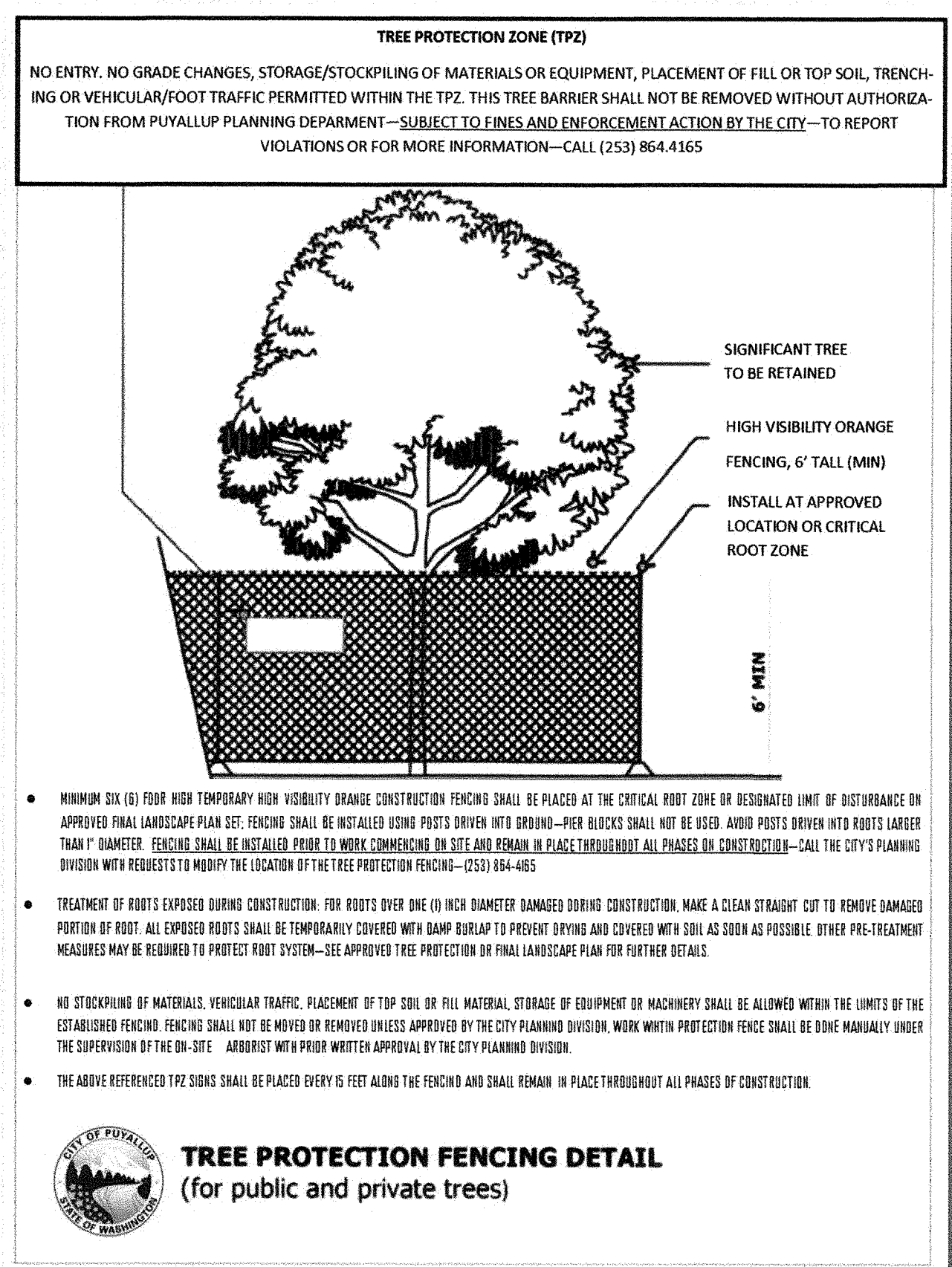
4 PLANT SPACING DETAIL
 N.T.S. 3293-04



5 LAWN EDGE DETAIL
 N.T.S. 329413-01



6 STRUCTURAL SOIL CELL - PARKING ISLAND PLANTER
 1/2" = 1'-0" 3293-08



7 CITY OF PUYALLUP TREE PROTECTION DETAIL
 N.T.S.

LANDSCAPE SPECIFICATIONS

- Refer to details for additional information.
- Chemically kill and remove from site all existing weeds and vegetation not shown to remain on plans.
- Reimport topsoil (approved by the Landscape Architect) in areas shown and or depths indicated for growing and seeding of landscape areas, and backfill of existing walls (if required). Imported topsoil shall be 1' above finish grade of adjacent curbs and pavement, and lawn areas shall be 1/2' below top of adjacent curbs and pavement. Structural fill areas shall be 12" below finish grade in shrub areas and 6" below grade in lawn areas, and replaced with specified topsoil. Dispose of excavated material off site.
- Final grade of landscape beds prior to planting operations.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner.
- All plants shall conform to the latest edition of the American Standard for Nursery Stock.
- All plant materials and plant locations shall be approved by the Landscape Architect prior to installation. All plants shall be thoroughly watered immediately after planting with Alaska Fish Fertilizer solution.
- Root barrier shall be incorporated adjacent and parallel to paving, curb and sidewalk, a minimum of 15 linear feet (7.5' on either side of trunk), 24" deep, where any tree is within 8' of paving, curb or sidewalk. Root barrier shall be DeepRoot UB-24 as available from Ewing Irrigation Products, 2301 S Tacoma Way, Tacoma, WA 98409 (253) 476-9530 or approved equal.
- Soil amendment for soil preparation and planting backfill shall be a screened 5/8" minus nitrified wood residual compost equal to:
 - A. Silver Springs Top Grade Compost brand compost as available from Cortes Resources Lake Tapps, WA (253) 279-9102.
 - B. Cedar Grove Compost brand compost as available from Cedar Grove Compost, Maple Valley, WA (877) 784-5748.
 - C. PREP/LR compost as available from Randles Sand and Gravel, Inc., Puyallup, WA (253) 537-8828.
- Soil Preparation - (all landscape areas). Spread 9 c.y. of specified soil amendment per 1000 s.f. (approx. 3" depth) of area. Spread 100 lbs./1000 s.f. of dolomite lime (in lawn areas only), 150 lbs./1000 s.f. of Agricultural Gypsum and 15 lbs./1000 s.f. of 15-5-5 commercial fertilizer over soil amendment. Roto-till all of the above to a 6"-8" depth and grade smooth, compacting as required and removing all rocks, clods and debris.
- Lawn areas (seed or sod refer to plans) shall consist of one of the following turf types:

60% Turf-Type Perennial Ryegrass Varieties	60% Turf-Type Perennial Ryegrass Varieties
20% Bluegrass	20% Turf-Type Fescue
20% Hard Fescue	
- Seed and sod shall be equal to that as grown by Country Green Turf Farms, Olympia, WA or JB Inertant Lawn, Redmond, WA. Seed shall be applied at 7 lbs./1000 s.f. and include 10 lbs./1000 s.f. of United Horticulture 15-5-10 fertilizer in all lawn areas.
- All trees in lawn areas shall be planted in a 3' diameter circle of bed mulch.
- Backfill mix for all plants (except Rhododendrons & Azaleas) shall be a blend of 1/3 existing site soil, 1/3 coarse sand, and 1/3 soil amendment specified in No. 9. Backfill mix for Rhododendrons and Azaleas shall consist of 2/3 above specified backfill mix and 1/3 fine grind hem-fir bark mulch.
- Apply Osmocote 18-6-12, 9 month slow release fertilizer over the surface of all plant pits at the following rates:

Trees Over 10' Height	2 Cups	Trees Under 10' Height	1 Cup
All Shrubs Except 1 Gallon	1/2 Cup	1 Gallon Plants	1/4 Cup
Ground Covers:	1/4 Cup		
- Fertilizer tablets for all plants shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All trees 4-21 gram tablets, all shrubs (except 1 gallon), 3-21 gram tablets, all 1 gallon, 1-21 gram tablet, all 2-1/4" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
- All shrub and ground cover beds shall receive a 4" depth (6 c.y. per 1000 s.f.) of Fine Grind hem-fir bark mulch as top dressing.
- Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period. Do not use Gosson or Norelco Brands.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- All plants shall be guaranteed for one full year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover and/or mass shrub quantities shall be adjusted as required for field conditions at the specified spacing.
- Final inspection shall occur at the conclusion of a 90-day maintenance period. Maintenance period shall commence upon completion of all landscape installation activities and shall include the following:
 - A. Mow lawns once per week.
 - B. Remove all weeds over 1' in height.
 - C. Replace dead or unhealthy plants.
 - D. Ensure proper function of irrigation system.
 - E. Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.
 - F. Fertilize all lawns at conclusion of maintenance period.

RECORD DRAWING
 07/30/2021
 ENGINEER/LAND SURVEYORS SIGNATURE DATE

APPROVED FINAL LANDSCAPE PLAN
 BY: [Signature]
 PLANNING DIVISION
 DATE: 6-30-16
 NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.
 THE CITY IS NOT RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING DIRECTOR, DESIGNEE OR PROJECT PLANNER.

STATE OF WASHINGTON LICENSED LANDSCAPE ARCHITECT
 JEFFREY B. GLANDER LICENSE NO. 405 EXPIRES ON 02-06-2017

LANDSCAPE DETAILS AND NOTES

JEFFREY B. GLANDER & ASSOCIATES, PLLC
 Landscape Architecture
 1831 4th Avenue E, Olympia, WA, 98506
 Ph: (360) 937-9877
 Fx: (360) 796-8873
 www.glanderassociates.com

CASCADE CHRISTIAN SCHOOL
 PUYALLUP, WA

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NO.	DATE	REVISION
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