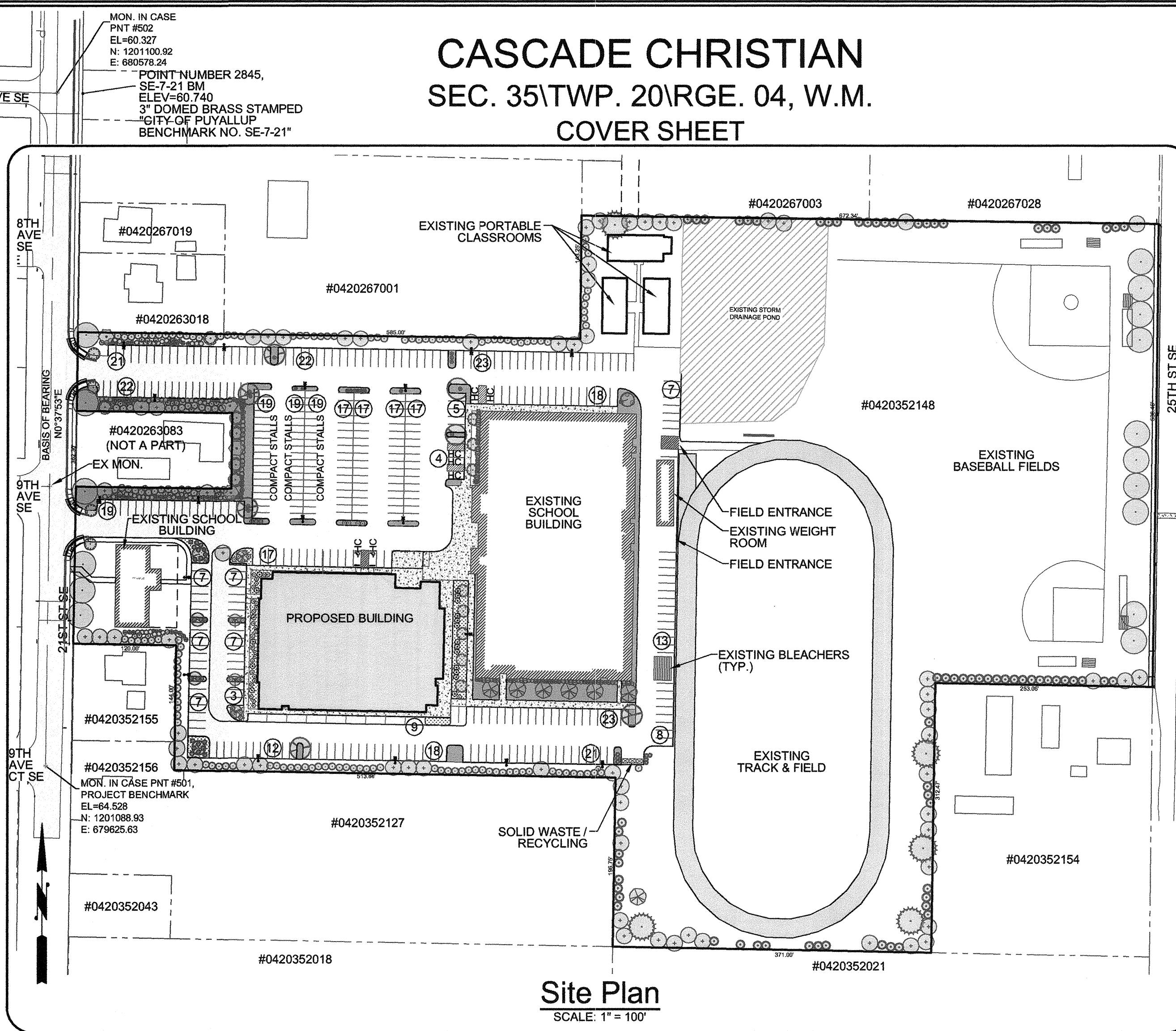
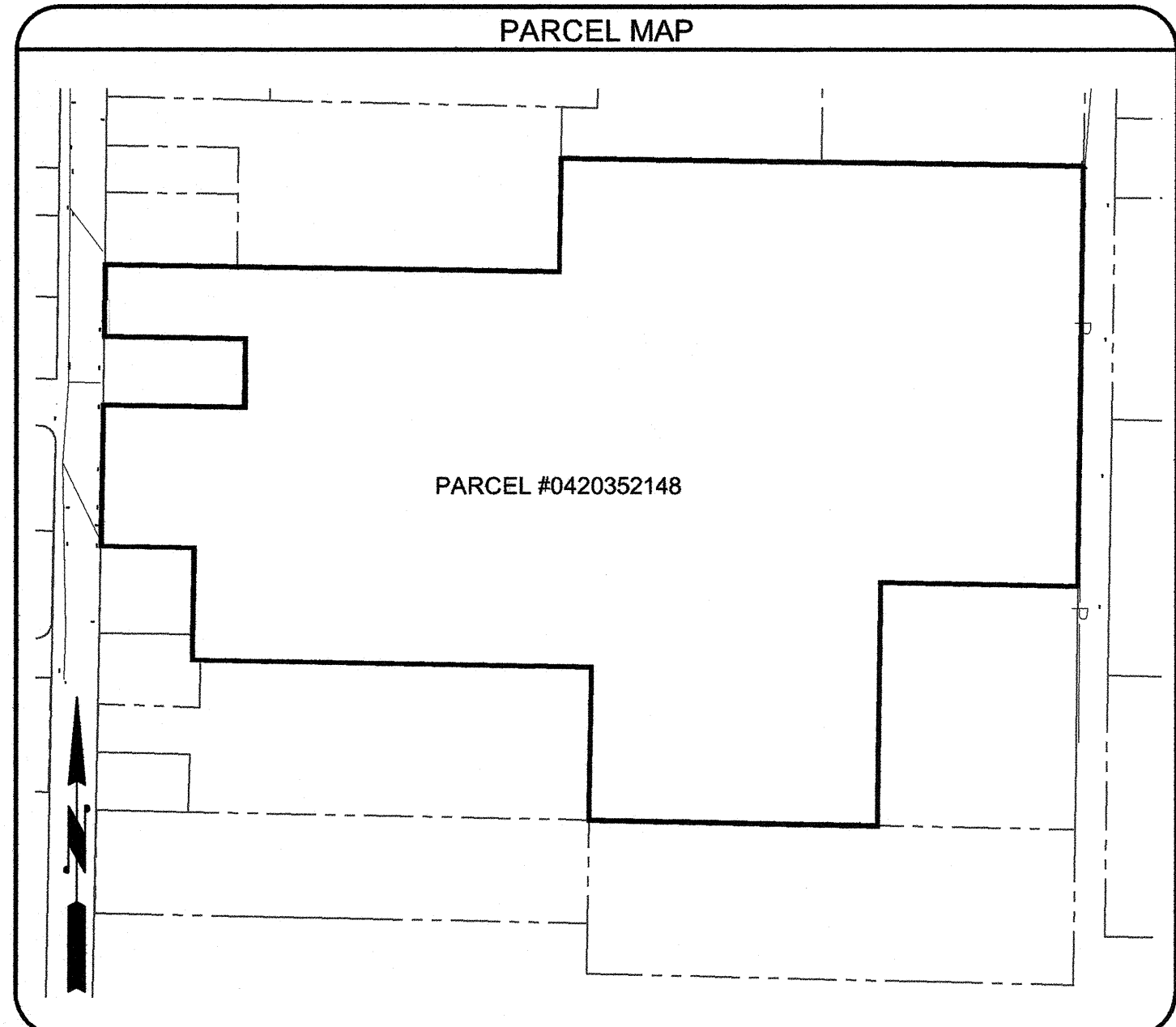
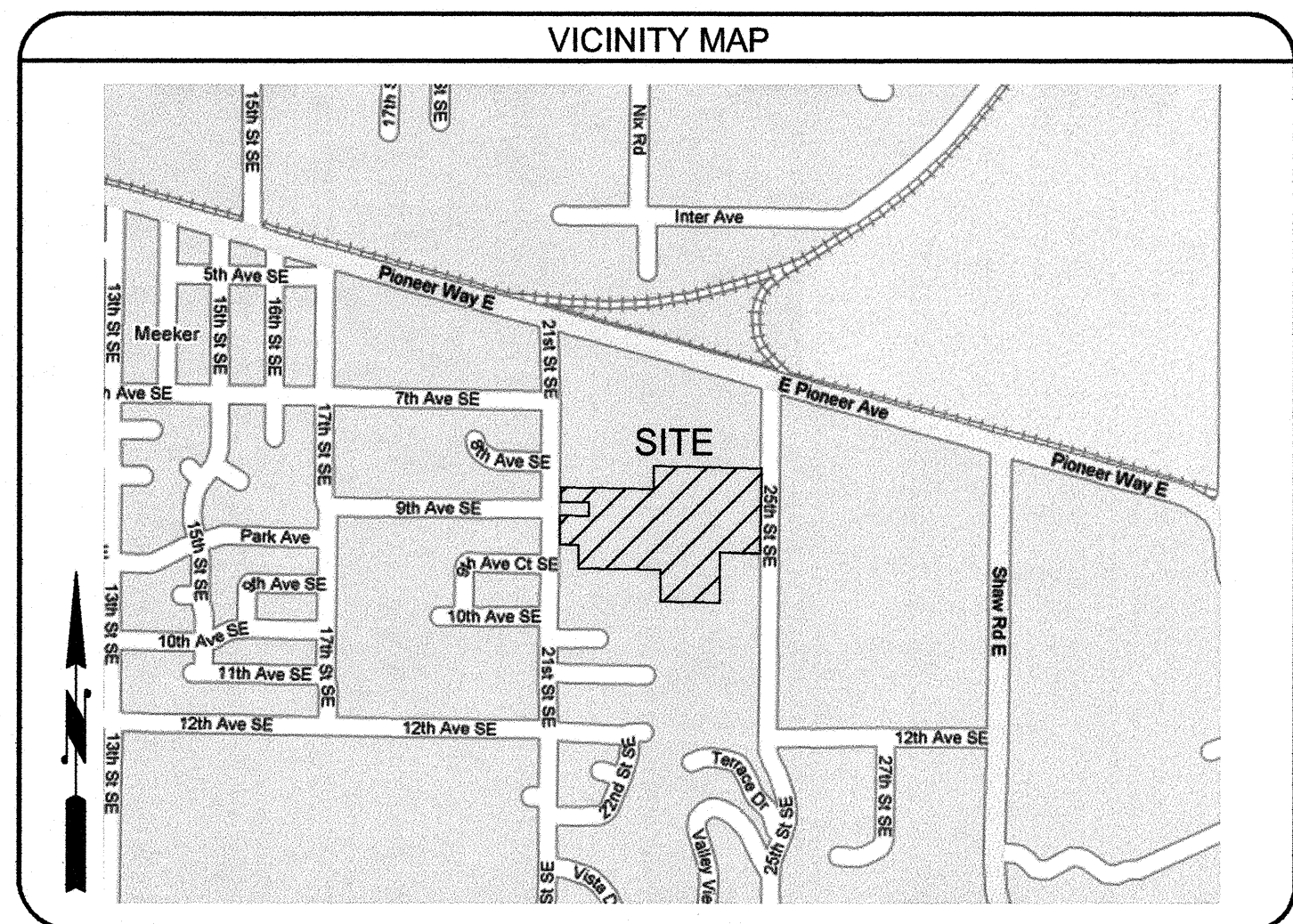


# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. COVER SHEET

RECEIVED  
DEVELOPMENT SERVICES  
JUN 28 2016  
CITY OF PUYALLUP

APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 6/28/2016  
NOTE: THIS APPROVAL IS VOID  
AFTER 1 YEAR FROM APPROVAL  
DATE.  
THE CITY WILL NOT BE  
RESPONSIBLE FOR ERRORS AND/OR  
OMISSIONS ON THESE PLANS.  
FIELD CONDITIONS MAY DICTATE  
CHANGES TO THESE PLANS AS  
DETERMINED BY THE  
ENGINEERING SERVICES  
MANAGER

Cascade Christian  
Cover Sheet  
Puyallup, WA



**Site Plan**  
SCALE: 1" = 100'

**SURVEY NOTES**

BASIS OF BEARING: MONUMENTED CENTERLINE OF 21ST STREET EAST, THAT BEING N0°37'53"E.

BENCHMARK USED: MONUMENT IN CASE WITH 3" BRASS DISK, 0.8' BELOW RIM, POINT NUMBER 501, ELEVATION=64.528.

SURVEY FIELD WORK PERFORMED DURING THE 3rd WEEK OF MARCH USING GPS EQUIPMENT BY ABBEY ROAD GROUP LAND DEVELOPMENT SERVICES COMPANY, LLC, ROBERT L. "LES" HILLEBRAND, PLS.

**CONSULTANTS**

<b>OWNER:</b> CASCADE CHRISTIAN SCHOOLS DON JOHNSON 815 21ST ST SE PUYALLUP, WA 98372 (253) 841-1776	<b>LAND DEVELOPMENT MANAGER:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY GIL HULSMANN P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (253) 446-3159 F GIL.HULSMANN@ABBEYROADGROUP.COM	<b>PERMIT TECH:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY DAWN MARKAKIS P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (206) 446-3159 F DAWN.MARKAKIS@ABBEYROADGROUP.COM
<b>CIVIL ENGINEER:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY RYAN JEFFRIES P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (253) 446-3159 F	<b>PLANNER:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY GIL HULSMANN P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (253) 446-3159 F GIL.HULSMANN@ABBEYROADGROUP.COM	<b>SURVEY:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY LES HILLEBRAND P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (206) 446-3159 F LES.HILLEBRAND@ABBEYROADGROUP.COM
<b>TRAFFIC ENGINEER:</b> HEATH & ASSOCIATES GREG HEATH 2214 TACOMA RD PUYALLUP, WA 98371 (253) 770-1401 W	<b>ARCHITECT:</b> JEFF BROWN ARCHITECTURE LAKEWOOD, WA 98498 (253) 806-8324 W JEFF@JEFFBROWNARCHITECTURE.COM	<b>TESC:</b> ABBEY ROAD GROUP LAND DEV. SERVICES COMPANY SAM LEWIS P.O. BOX 1224 PUYALLUP, WA 98371 (253) 435-3699 W (206) 446-3159 F SAM.LEWIS@ABBEYROADGROUP.COM
<b>CONTRACTOR:</b> ABBSER CONSTRUCTION 1001 SHAW ROAD PUYALLUP, WA 98371 (253) 845-6544 W (253) 841-0925 F	<b>LANDSCAPE DESIGNER:</b> JEFFREY B. GLANDER & ASSOCIATES JEFF GLANDER 1821 4TH AVE E OLYMPIA, WA 98506 (360) 357-5972 W (360) 786-8073 F JEFF@GLANDERASSOCIATES.COM	<b>ELECTRICAL:</b> BOONE ELECTRIC JEFF PLATT 11409 58TH AVE E PUYALLUP, WA 98373 (253) 848-6998 W (253) 848-0542 F JEFF_P@BOONENW.COM

**UTILITIES**

<b>SEWER:</b> CITY OF PUYALLUP 1100 39TH AVE SE PUYALLUP, WA 98374 (253) 840-6550	<b>CABLE:</b> COMCAST 2200 N 30TH ST TACOMA, WA (253) 572-1100	<b>TELEPHONE:</b> QWEST PHONE COMPANY 955 LIND SW RENTON, WA 98055 (425) 228-6062
<b>WATER:</b> CITY OF PUYALLUP 1100 39TH AVE SE PUYALLUP, WA 98374 (253) 840-6550	<b>POWER:</b> PUGET SOUND ENERGY MARK ENEBRAD 6905 S 228TH ST KENT, WA 98032 (253) 396-6954	<b>REFUSE:</b> DM DISPOSAL 3600 PORT OF TACOMA RD SUITE 505 TACOMA, WA 98424 (253) 845-6955
<b>FIRE:</b> PUYALLUP FIRE 902 7TH ST NW PUYALLUP, WA 98371 (253) 846-6666	<b>SCHOOL:</b> PUYALLUP SCHOOL DIST. 302 2ND ST E PUYALLUP, WA 98371 (253) 841-1301	<b>GAS:</b> PUGET SOUND ENERGY 6905 S 228TH ST KENT, WA 98032 (253) 396-6954

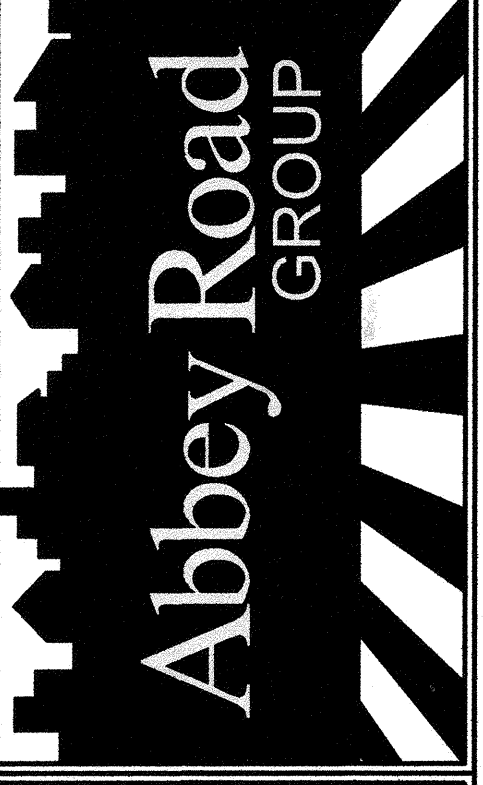
LEGEND	
EXISTING	PROPOSED
AC- ASPHALTIC CONCRETE SURFACE	ASPHALT
BS- BOTTOM OF ROCKERY	CATCH BASIN
CC- COMPACT CURB	CABLE RISER
CG- CONCRETE GUTTER	CENTER LINE OF RIGHT OF WAY
CO- CONCRETE	CLEARING LIMITS
CP- CONCRETE PIPE	CONCRETE
CS- CONCRETE SLAB	FENCE LINE
CT- CONCRETE TIE	FILTER FABRIC FENCE
DU- DRAINAGE DRAIN	FIRE HYDRANT
ED- EDGE OF ASPHALT	FOUND MONUMENT AS NOTED
EL- ELECTRICAL	GAS VALVE
ET- ELECTRICAL TRANSFORMER	GUY ANCHOR
EX- EXISTING	LIGHT STANDARD
FC- FINISH FLOOR	LOT CORNERS
FR- FINISH REINFORCING	INTERCEPTOR SWALE
HC- HANDICAP PARKING STALL	JUNCTION BOX
IS- INLANDS CAP	PARKING COUNT
OB- CURB	POWER VAULT
OP- OVERHEAD POWER	PROPERTY LINE
PL- PROPERTY LINE	RETAINING WALL
PT- POINT	RIGHT OF WAY
RV- RADIUS	RIP RAP PAD
SE- SEWER	ROCK CHECK DAM
SM- SANITARY SEWER CLEANOUT	ROCKERY
SS- SANITARY SEWER MANHOLE	
TA- TOP OF ASPHALT	
TD- TOP OF DRIVEWAY	
TE- TELEPHONE	
TRW- TOP OF RETAINING WALL	
TR- TOP OF ROCKERY	
TW- TOP OF SIDEWALK	
W- WATER	
WP- WATER PIPE	
(P)- PER PLAT UNDER RECORDING	
(M)- MEASURED DATA	
(R)- RECORD DATA	

PROJECT SPECIFICATIONS (PROPOSED)		
<b>PROJECT DATA:</b>	<b>PARKING: (EXISTING)</b>	<b>DEVELOPMENT AREAS:</b>
PROJECT NAME: CASCADE CHRISTIAN	STANDARD: 523	JUNIOR HIGH (2 STORY): 33,062 SF PAD
ABBAY ROAD JOB#: 03-143	COMPACT: 5	52,271 SF TOTAL
APPLICANT/AGENT:	HANDICAP: 5	
NAME: THE ABBEY ROAD GROUP	TOTAL: 385	
ADDRESS: 923 SHAW ROAD		
PUYALLUP, WA 98372		
PHONE: 253-435-3699	<b>PARKING: (PROPOSED)</b>	
OWNER/DEVELOPER: CASCADE CHRISTIAN SCHOOL	STANDARD: 362	
NAME: DON JOHNSON	COMPACT: 57	
ADDRESS: 815 21ST ST SE	HANDICAP: 7	
PUYALLUP, WA 98372	TOTAL: 426	
PHONE: (253) 841-1776	DRIVE ISLES: 24' WIDE	
<b>PROJECT AREA:</b>	<b>PROPOSED BUILDING:</b>	
PROPOSED USE: PRIVATE RELIGIOUS EDUCATION	FIRST FLOOR: 33,062 SF	
SITE SIZE: 743,763.65 SF/17.07 ACRES	SECOND FLOOR: 19,209 SF	
DISTURBED AREA:	TOTAL AREA: 52,271 SF	
IMPERVIOUS AREA: 8.58 ACRES (FROM ORIGINAL REPORT)	STORIES: 2	
PERVIOUS AREA: 8.5 ACRES (FROM ORIGINAL REPORT)	HEIGHT: 30'	
OPEN SPACE AREA:	<b>STORM DRAINAGE:</b>	
PARKING (ASPHALT) AREA: 142,439.63 SF/3.27 ACRES	IMPERVIOUS AREA: 8.58 ACRES (FROM ORIGINAL REPORT)	
LANDSCAPE AREA: 97,902.55 SF/2.25 ACRES	PERVIOUS AREA: 8.5 ACRES (FROM ORIGINAL REPORT)	
MIN LOT SIZE: 8,000 SF/4,000 SF	DETENTION PROVIDED: 55,461 CF (AS-BUILT)	
MIN LOT DEPTH: 90'/80'		
MIN SITE COVERAGE: 45%/50%		
SITE COVERAGE: 50%		
<b>SET BACKS:</b>		
FRONT: 20'/15'	BUILDING: 30'	YARD: 30'
SIDE: 16'/5'	30'	30'
REAR: 20'/15'	30'	30'
SIDE STREET: 15'/10'	12'	12'
LOT WIDTH: 60'/40'		
LOT LENGTH: 90'/80'		

SITE SPECIFICATIONS (EXISTING)	
<b>SITE DATA:</b>	<b>LEGAL DESCRIPTION</b>
ASSESSORS/TAX PARCEL NUMBER: 0420352148	PARCEL "A" OF DBLR 95-12-11-0261 COMMENCING AT THE INTERSECTION OF 21ST ST SE & 9TH AVE SE BEING ON SECTION LINE BETWEEN SECTIONS 26 & 35 THENCE EAST ALONG SAID SECTION LINE 30 FEET TO EASTERLY R/W LINE OF SAID 21ST ST SE & POINT OF BEGINNING THENCE CONTINUE EAST ALONG SAID SECTION LINE 181 FEET THENCE NORTH 01°11'52" WEST 88 FEET THENCE SOUTH 88°59'43" WEST 181 FEET TO EASTERLY R/W LINE OF 21ST ST SE THENCE NORTH ALONG SAID R/W LINE 91.25 FEET THENCE EAST PARALLEL WITH SECTION LINE 585 FEET THENCE NORTH 01°11'52" WEST 143.25 FEET THENCE EAST PARALLEL WITH SECTION LINE 672.34 FEET TO WESTERLY R/W OF 25TH ST SE THENCE SOUTH ALONG SAID R/W 322.5 FEET TO SECTION LINE THENCE CONTINUE ALONG SAID WESTERLY R/W LINE OF 25TH ST SE 215.97 FEET THENCE SOUTH 89°15'54" WEST 253.06 FEET THENCE SOUTH 01°01'12" EAST 312.48 FEET THENCE SOUTH 89°15'54" WEST 371 FEET TO EAST LINE OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE NORTHWEST CORNER OF NORTH 1/2 OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE WEST ALONG SAID SUBDIVISION 196.75 FEET TO SOUTHWEST CORNER OF NORTH 1/2 OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE WEST ALONG SAID SUBDIVISION 513.88 FEET TO SOUTHWEST CORNER OF SOUTH 144 FEET OF WEST 150 FEET OF NORTH 1/2 OF NORTHWEST OF NORTHEAST OF NORTHWEST THENCE N 00°55'06" WEST 144 FEET THENCE SOUTH 89°09' WEST 120 FEET TO SAID EASTERLY R/W OF 21ST ST SE THENCE NORTH ALONG 181.05 FEET TO POINT OF BEGINNING OUT OF 2-145, 2-010 & 04-20-26-3-007 SEG H-061111 J 1/23/96JU
ASSASSORS/TAX PARCEL NUMBER: 0420352148	
PARCEL/SITE SIZE: 743,763.65 SF/17.07 ACRES	
SECTION/TOWNSHIP/RANGE: 35/20/04	
DEVELOPMENT JURISDICTION: CITY OF PUYALLUP	
SITE ADDRESS: 815 21ST ST SE	
PUYALLUP, WA 98372	
ZONING: RS-08/RS-04	
DENSITY: 5 DU/8 DU PER ACRE	
PRESENT USE: PRIVATE RELIGIOUS EDUCATION	
SENSITIVE AREAS:	
WETLANDS: NO	
FLOOD PLAIN HAZARD AREAS: YES (FEMA 100 YEAR)	
EROSION HAZARD AREAS: NO	
LANDSLIDE HAZARD AREAS: NO	
COAL MINE HAZARD AREAS: NO	
SEISMIC HAZARD AREAS: YES	
CREEKS/STREAMS: NO	
LAKES: NO	
STEEP SLOPES (10% OR GREATER): NO	
VOLCANIC: YES	
WILDLIFE HABITAT: NO	
SHORELINE CLASSIFICATION: N/A	
IMPERVIOUS AREAS: 8.58 ACRES (FROM ORIGINAL REPORT)	
PERVIOUS AREAS: 8.5 ACRES (FROM ORIGINAL REPORT)	
ADJACENT ZONING:	
NORTH: RS-04	
SOUTH: RS-08	
EAST: RS-04/RS-08	
WEST: RS-08	

CHKD	APR	DATE	PER
		06-28-16	REVISED PER CITY COMMENTS DATED MAY 18, 2016
		06-09-16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
		06-17-16	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

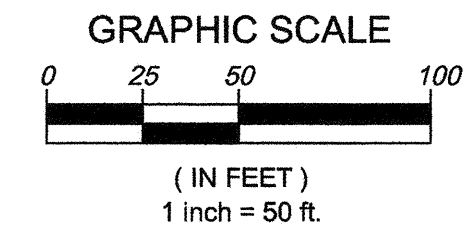
**Abbey Road Group  
Land Development  
Services Company, LLC**  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



DESIGNED BY: Ryan Jeffries  
DEVELOPMENT REVIEW: RJ  
APPROVED BY: Ryan Jeffries  
DRAFTED BY: Travis Leaf  
DATE: 26 MAY 2016  
SHEET: 01 OF 14

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Plotted: 6/17/2016 2:51 PM  
Plotted By: Ryan Jeffries

CASCADE CHRISTIAN  
 SEC. 35\TWP. 20\RGE. 04, W.M.  
 EXISTING MASTER SITE PLAN



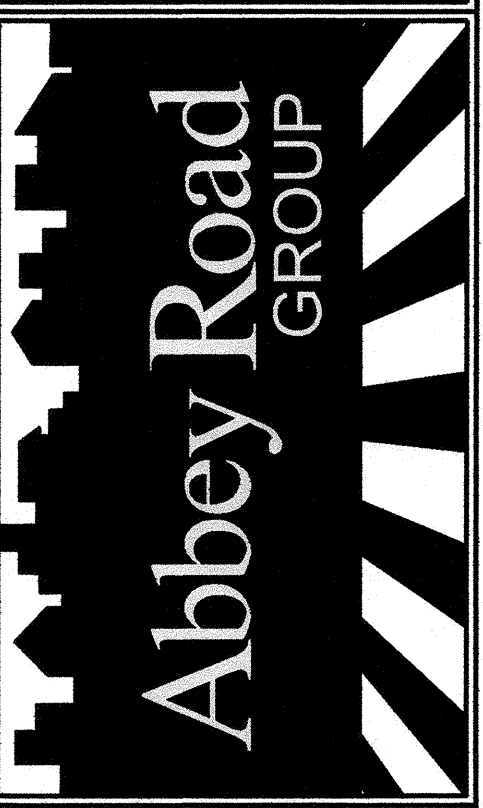
APPROVED  
 BY: [Signature]  
 CITY OF PUYALLUP  
 ENGINEERING SERVICES  
 DATE: 6/30/2016  
 NOTE: THIS APPROVAL IS VOID  
 AFTER 1 YEAR FROM APPROVAL  
 DATE.  
 THE CITY WILL NOT BE  
 RESPONSIBLE FOR ERRORS AND/OR  
 OMISSIONS ON THESE PLANS.  
 FIELD CONDITIONS MAY DICTATE  
 CHANGES TO THESE PLANS AS  
 DETERMINED BY THE  
 ENGINEERING SERVICES  
 MANAGER

TITLE: Cascade Christian  
 Existing Master Site Plan  
 Puyallup, WA

FOR: Cascade Christian School  
 Don Johnson  
 815 21st St. SE  
 Puyallup, WA 98372



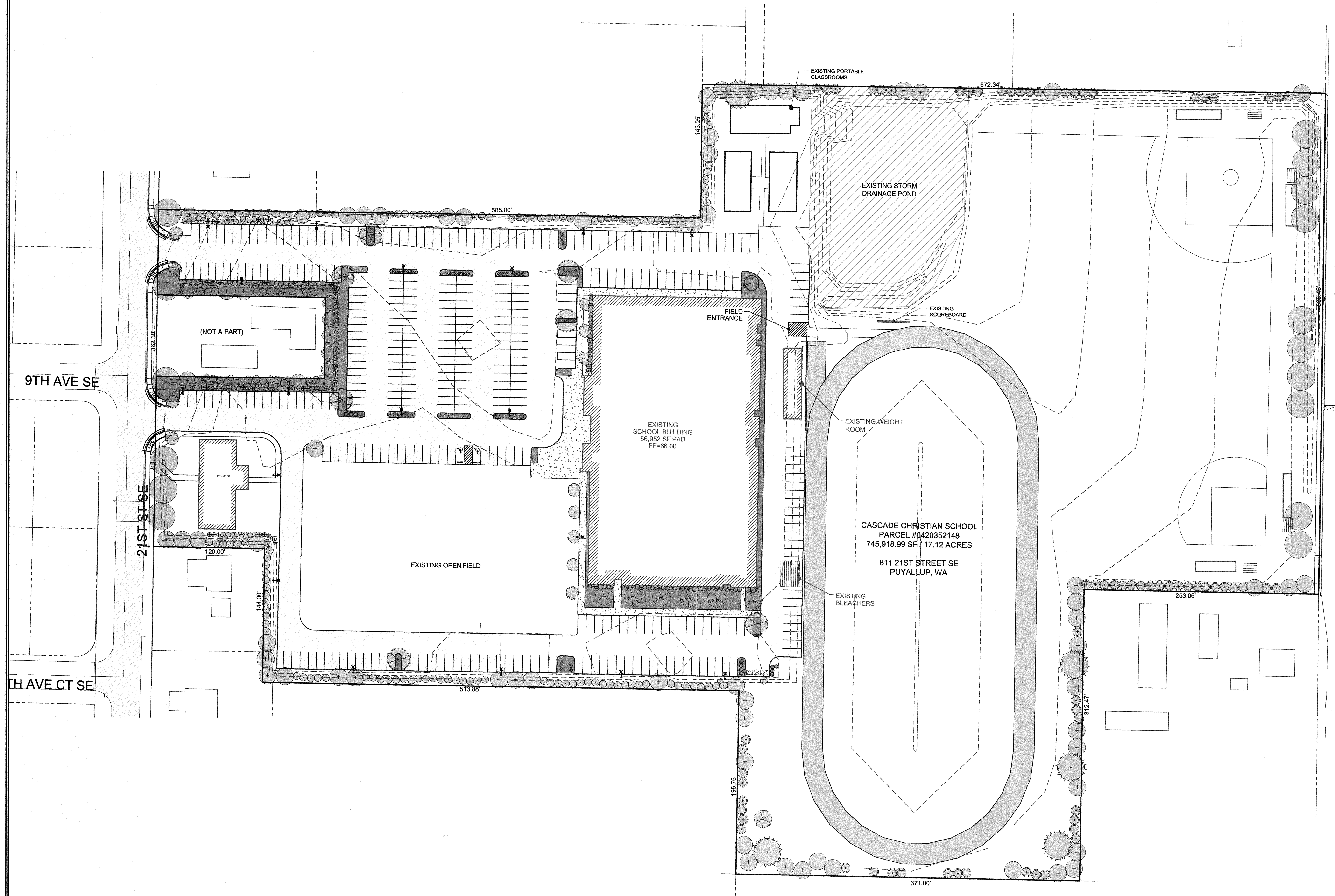
Abbey Road Group  
 Land Development  
 Services Company, LLC  
 923 SHAW ROAD, SUITE A  
 PUYALLUP, WA 98372  
 P.O. Box 1224, Puyallup, WA 98371  
 (253) 435-3699, Fax (253) 446-3159



REVISIONS:

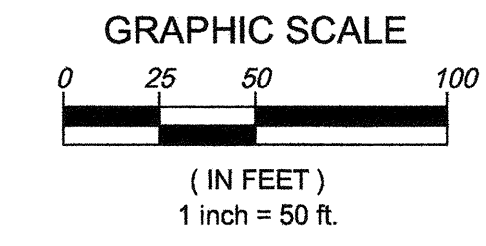
BY	CHK	DATE	PER	REVISIONS
RJ	RJ	05-26-16	RJ	REVISED PER CITY COMMENTS DATED MAY 18, 2016
RJ	RJ	06-09-16	RJ	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
RJ	RJ	06-17-16	RJ	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

JOB # 03-143  
 DESIGNED BY: Ryan Jeffries  
 DEVELOPMENT REVIEW: RJ  
 APPROVED BY: Ryan Jeffries  
 DRAFTED BY: Travis Leaf  
 DATE: 26 MAY 2016  
 SHEET: 02 OF 14



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 Plot Date: 6/17/2016 2:02 PM

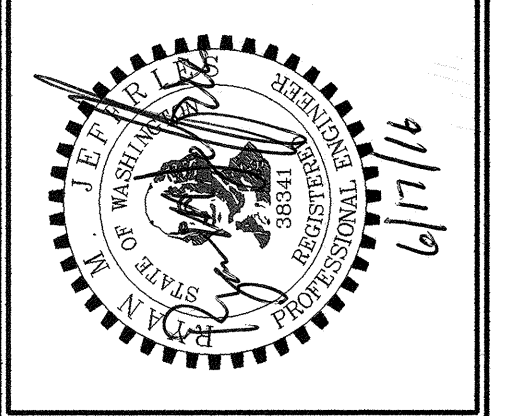
**CASCADE CHRISTIAN  
SEC. 35\TWP. 20\RGE. 04, W.M.  
PROPOSED MASTER SITE PLAN**



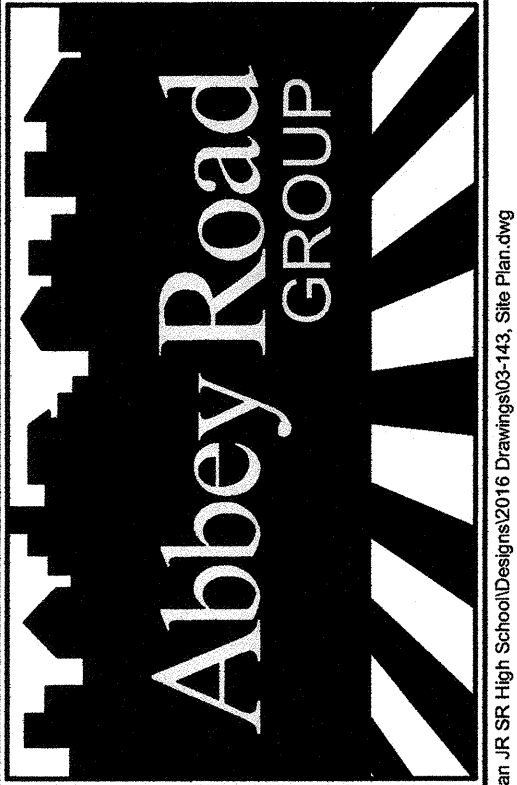
APPROVED  
BY: [Signature]  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 4/30/2016  
NOTE: THIS APPROVAL IS VOID  
AFTER 1 YEAR FROM APPROVAL  
DATE.  
THE CITY WILL NOT BE  
RESPONSIBLE FOR ERRORS AND/OR  
OMISSIONS ON THESE PLANS.  
FIELD CONDITIONS MAY DICTATE  
CHANGES TO THESE PLANS AS  
DETERMINED BY THE  
ENGINEERING SERVICES  
MANAGER

TITLE: Cascade Christian  
Proposed Master Site Plan  
Puyallup, WA

FOR: Cascade Christian School  
Don Johnson  
815 21st St. SE  
Puyallup, WA 98372

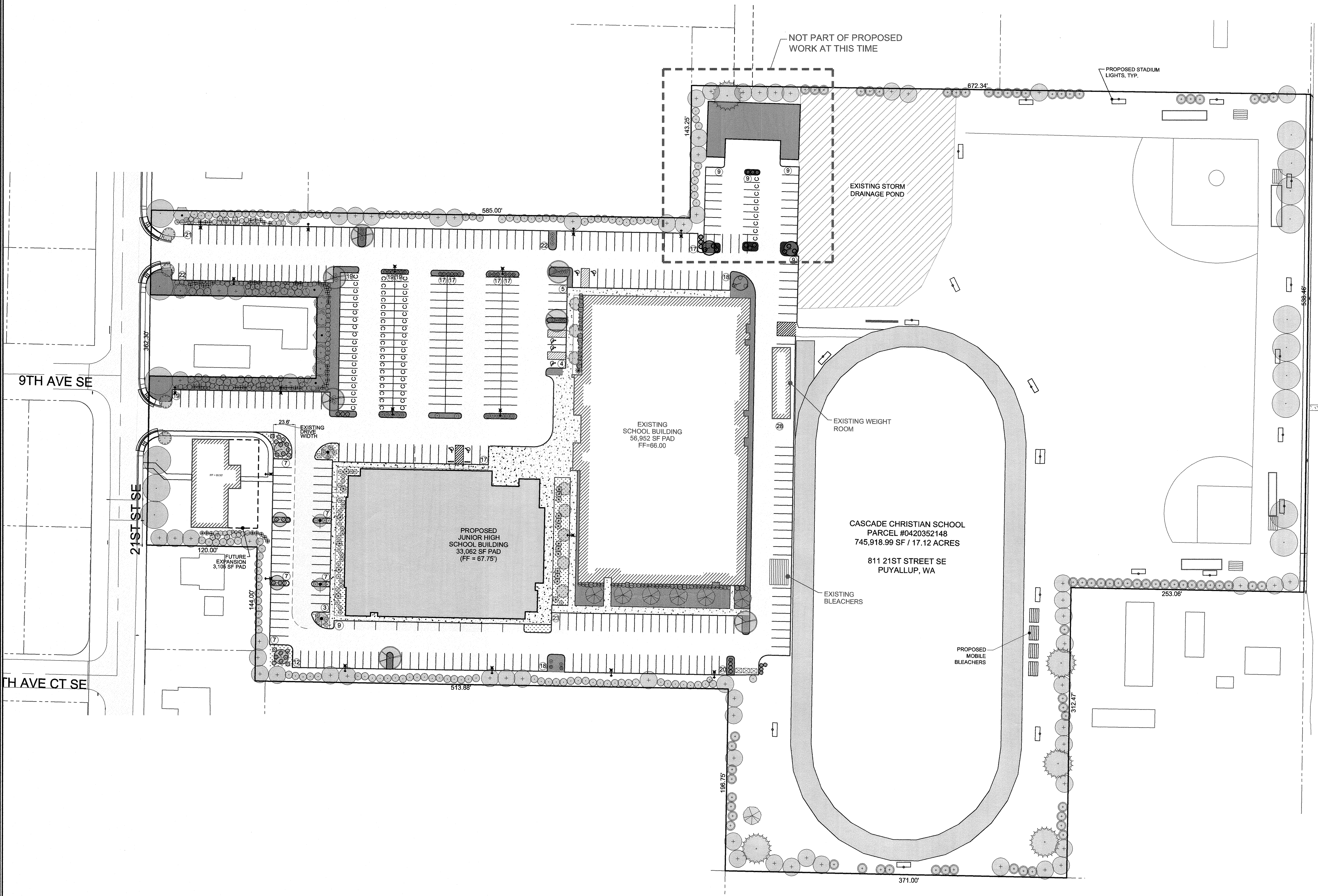


Abbey Road Group  
Land Development  
Services Company, LLC  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



REVISIONS:	CHK	DATE	PER
	RJ	05.26.16	REVISED PER CITY COMMENTS DATED MAY 18, 2016
	RJ	06.06.16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
	RJ	06.17.16	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

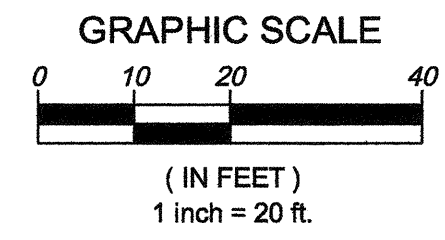
JOB #: 03-143
DESIGNED BY: Ryan Jeffries
DEVELOPMENT REVIEW: RJ
APPROVED BY: Ryan Jeffries
DRAFTED BY: Travis Leaf
DATE: 26 MAY 2016
SHEET: 03 OF 14



FILE: S:\PROJECTS FILES\ACTIVE\03-143 Cascade Christian - RJ SR High School\Design\2016\03-143\_Site Plan.rvt  
Plotted By: Ryan Jeffries  
Date: 6/17/2016 2:04 PM



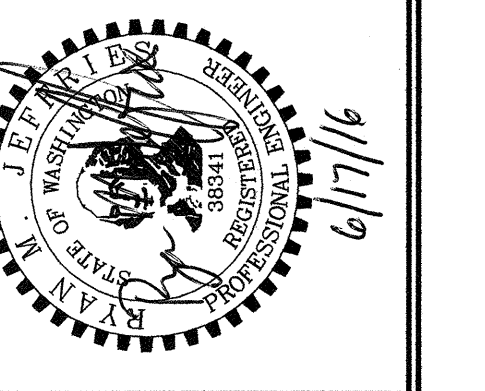
# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. DEMO & TESC PLAN



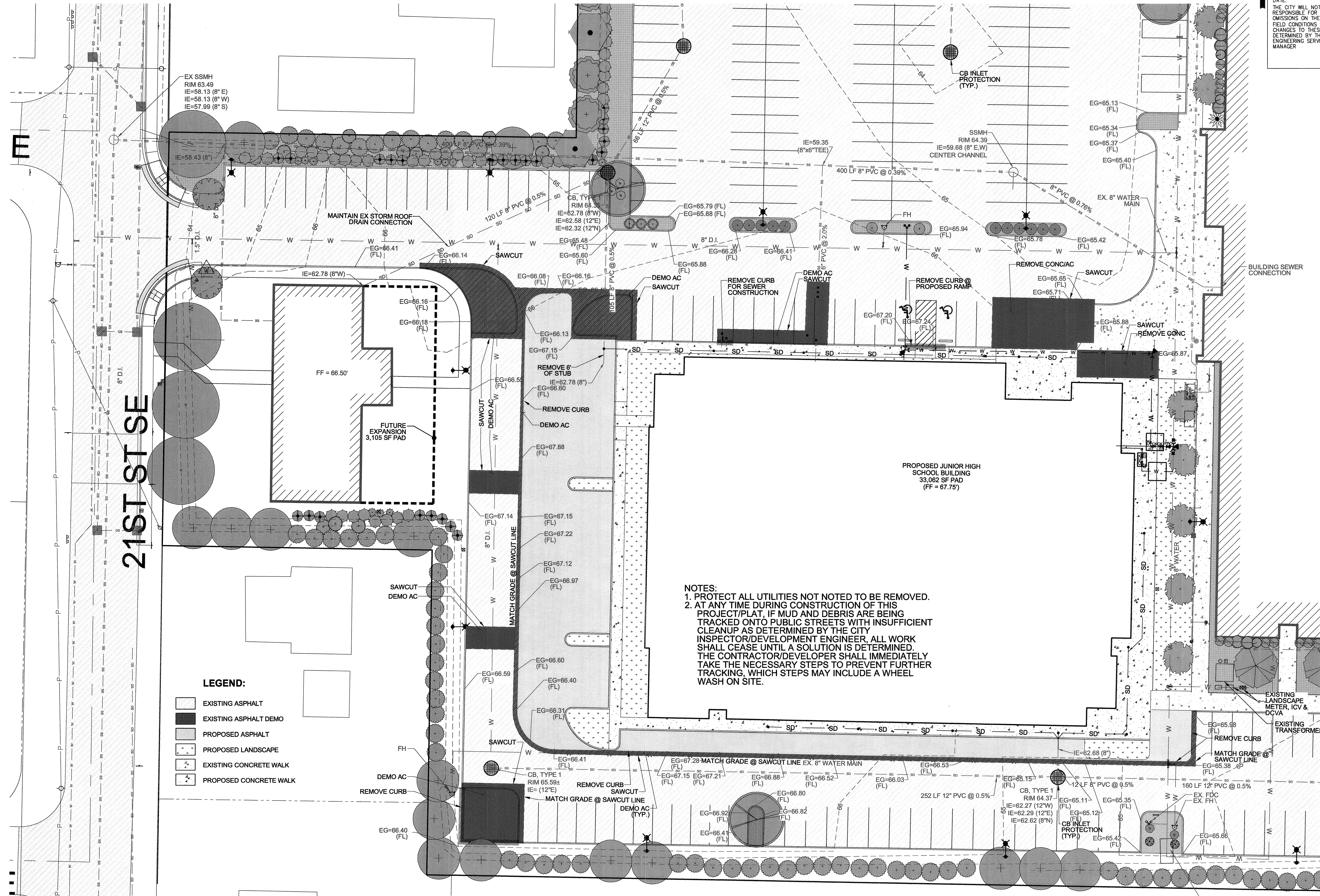
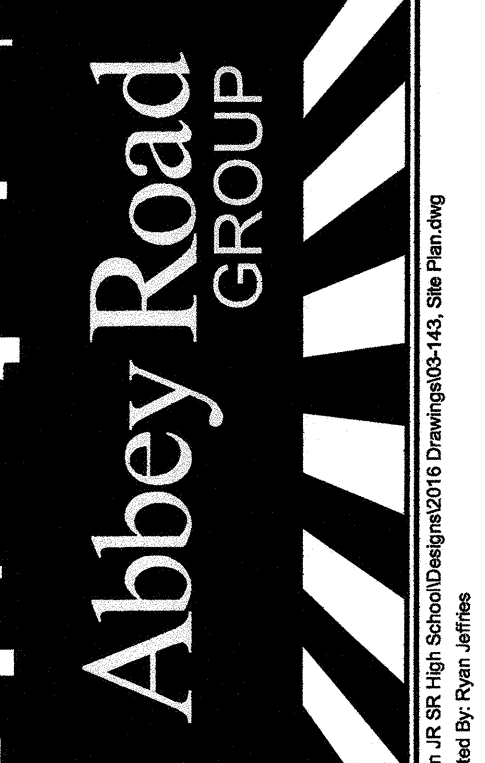
APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 6/30/2016  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

**Cascade Christian**  
**Demo & TESC Plan**  
Puyallup, WA

FOR: **Cascade Christian School**  
Don Johnson  
815 21st St. SE  
Puyallup, WA 98372



**Abbey Road Group**  
Land Development  
Services Company, LLC  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



**NOTES:**  
1. PROTECT ALL UTILITIES NOT NOTED TO BE REMOVED.  
2. AT ANY TIME DURING CONSTRUCTION OF THIS PROJECT/PLAT, IF MUD AND DEBRIS ARE BEING TRACKED ONTO PUBLIC STREETS WITH INSUFFICIENT CLEANUP AS DETERMINED BY THE CITY INSPECTOR/DEVELOPMENT ENGINEER, ALL WORK SHALL CEASE UNTIL A SOLUTION IS DETERMINED. THE CONTRACTOR/DEVELOPER SHALL IMMEDIATELY TAKE THE NECESSARY STEPS TO PREVENT FURTHER TRACKING, WHICH STEPS MAY INCLUDE A WHEEL WASH ON SITE.

**LEGEND:**

	EXISTING ASPHALT
	EXISTING ASPHALT DEMO
	PROPOSED ASPHALT
	PROPOSED LANDSCAPE
	EXISTING CONCRETE WALK
	PROPOSED CONCRETE WALK

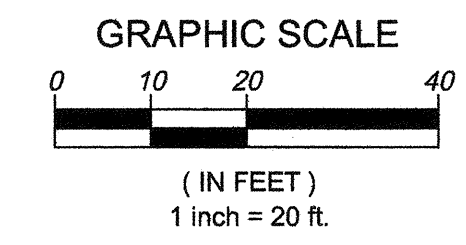
**REVISIONS:**

NO.	DATE	DESCRIPTION
1	05/26/16	ISSUED PER CITY COMMENTS DATED MAY 18, 2016
2	05/26/16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
3	05/17/16	REVISED PER CITY COMMENTS DATED APRIL 13, 2016

JOB #:	03-143
DESIGNED BY:	Ryan Jeffries
DEVELOPMENT REVIEW:	RJ
APPROVED BY:	Ryan Jeffries
DRAFTED BY:	Travis Leaf
DATE:	26 MAY 2016
SHEET:	05 OF 14

FILE: S:\PROJECTS\FILES\AC\TWC\2014-143 Cascade Christian - 28 SR High School\Design\2016\Drawings\03-143\_Site Plan.dwg  
Plotted By: Ryan Jeffries  
Printed: 6/17/2016 2:35 PM

# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. SEWER & WATER PLAN

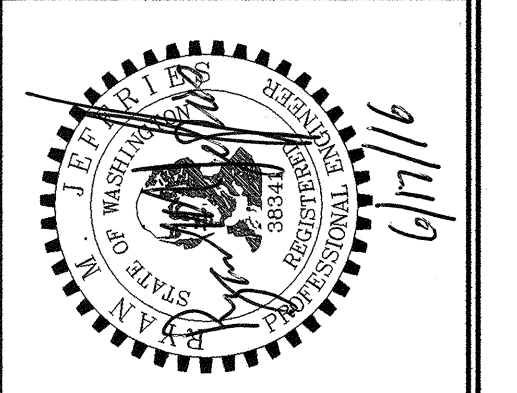


APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 6/30/2016  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

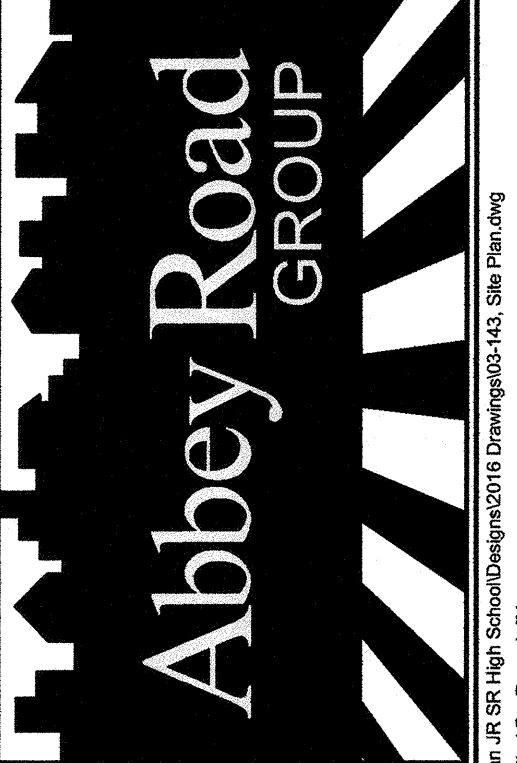
FIRE HYDRANT/FDC LOCATION/ACCESS APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
BUILDING DEPARTMENT  
DATE: 6/30/2016  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE CITY ENGINEER.

Cascade Christian  
Sewer & Water Plan  
Puyallup, WA

Cascade Christian School  
Don Johnson  
815 21st St. SE  
Puyallup, WA 98372

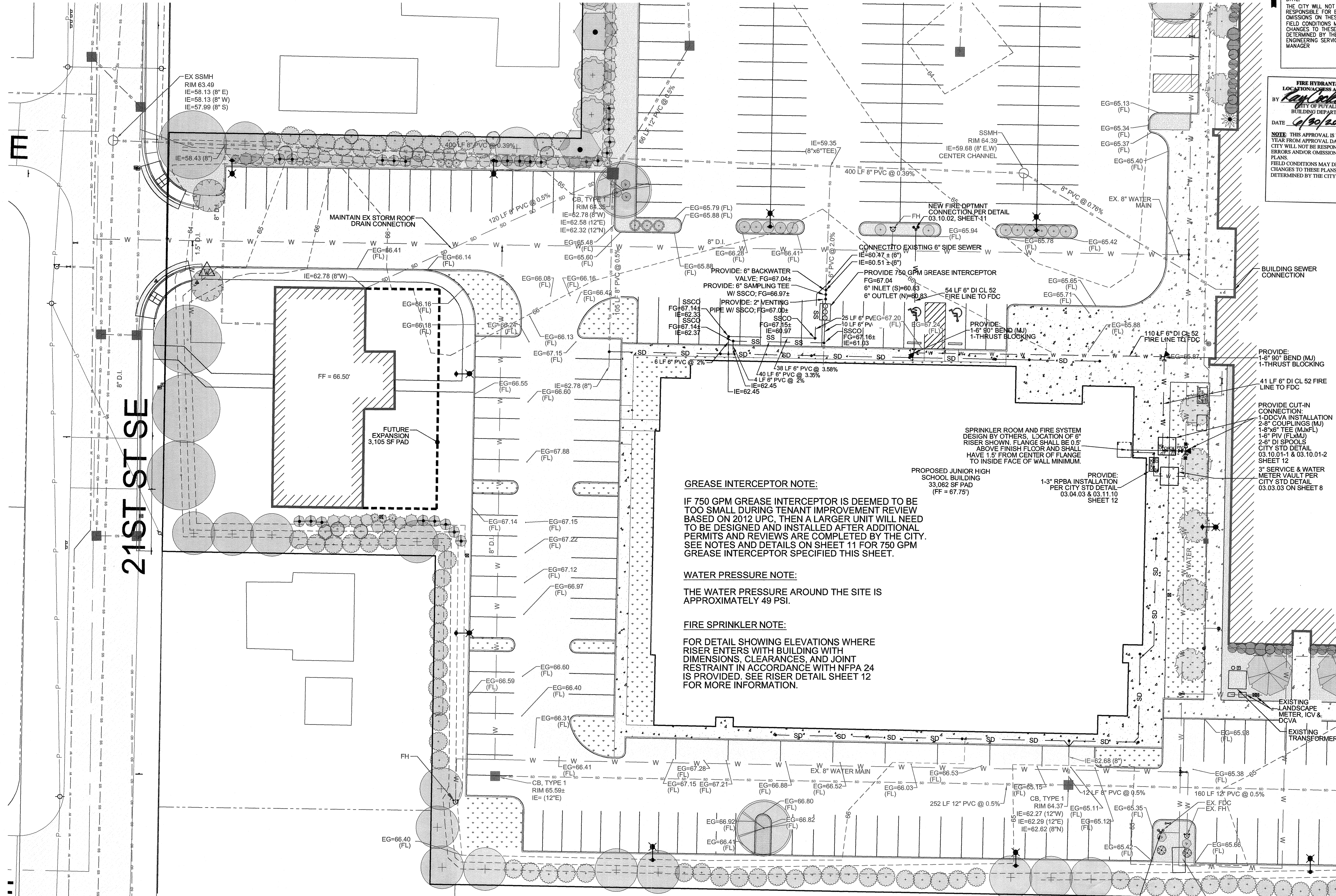


Abbey Road Group  
Land Development  
Services Company, LLC  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



REVISIONS:	BY:	CHK:	DATE:	PER:
1	RJ	RJ	04.28.16	REVISED PER CITY COMMENTS DATED MAY 18, 2016
2	RJ	RJ	04.09.16	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
3	RJ	RJ	05.17.16	REVISED PER CITY COMMENTS DATED JUNE 15, 2016

JOB # 03-143  
 DESIGNED BY: Ryan Jeffries  
 DEVELOPMENT REVIEW: RJ  
 APPROVED BY: Ryan Jeffries  
 DRAFTED BY: Travis Leaf  
 DATE: 26 MAY 2016  
 SHEET: 06 OF 14



**GREASE INTERCEPTOR NOTE:**  
IF 750 GPM GREASE INTERCEPTOR IS DEEMED TO BE TOO SMALL DURING TENANT IMPROVEMENT REVIEW BASED ON 2012 UPC, THEN A LARGER UNIT WILL NEED TO BE DESIGNED AND INSTALLED AFTER ADDITIONAL PERMITS AND REVIEWS ARE COMPLETED BY THE CITY. SEE NOTES AND DETAILS ON SHEET 11 FOR 750 GPM GREASE INTERCEPTOR SPECIFIED THIS SHEET.

**WATER PRESSURE NOTE:**  
THE WATER PRESSURE AROUND THE SITE IS APPROXIMATELY 49 PSI.

**FIRE SPRINKLER NOTE:**  
FOR DETAIL SHOWING ELEVATIONS WHERE RISER ENTERS WITH BUILDING WITH DIMENSIONS, CLEARANCES, AND JOINT RESTRAINT IN ACCORDANCE WITH NFPA 24 IS PROVIDED. SEE RISER DETAIL SHEET 12 FOR MORE INFORMATION.


FM

21ST ST SE

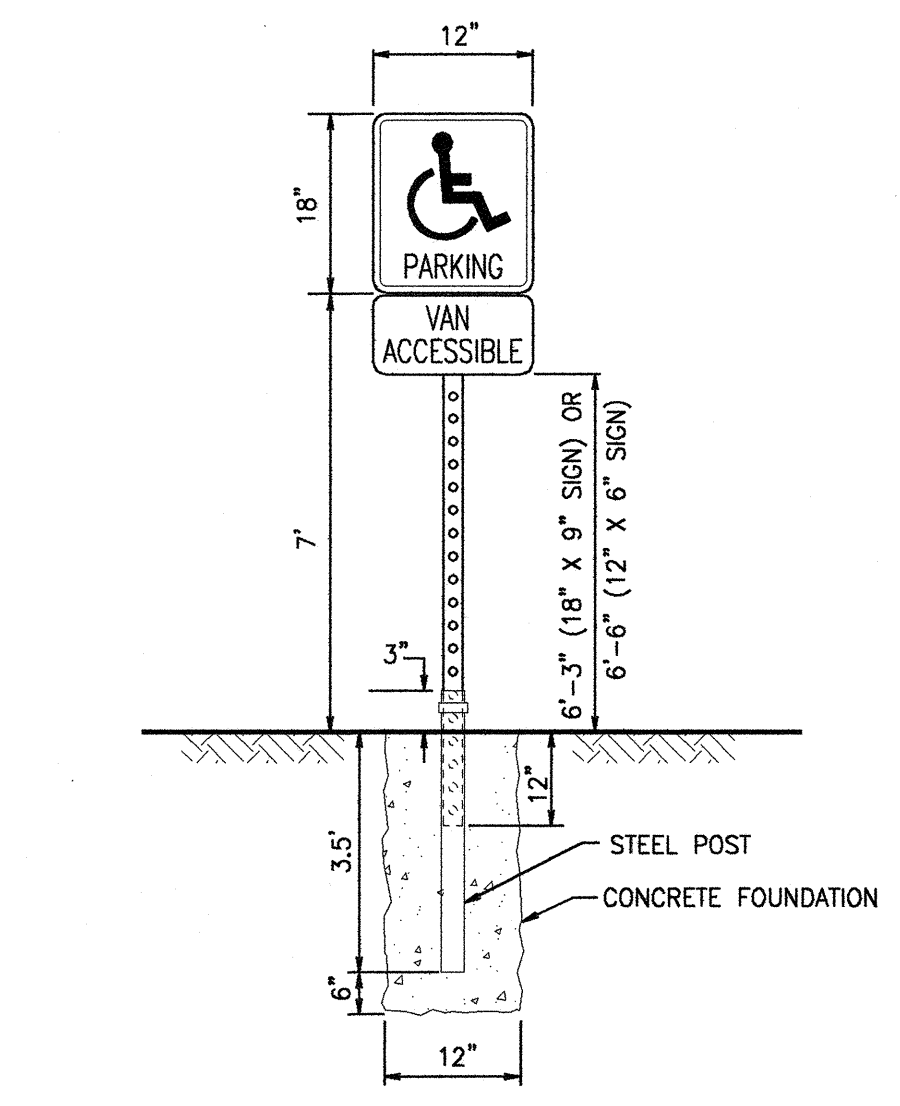
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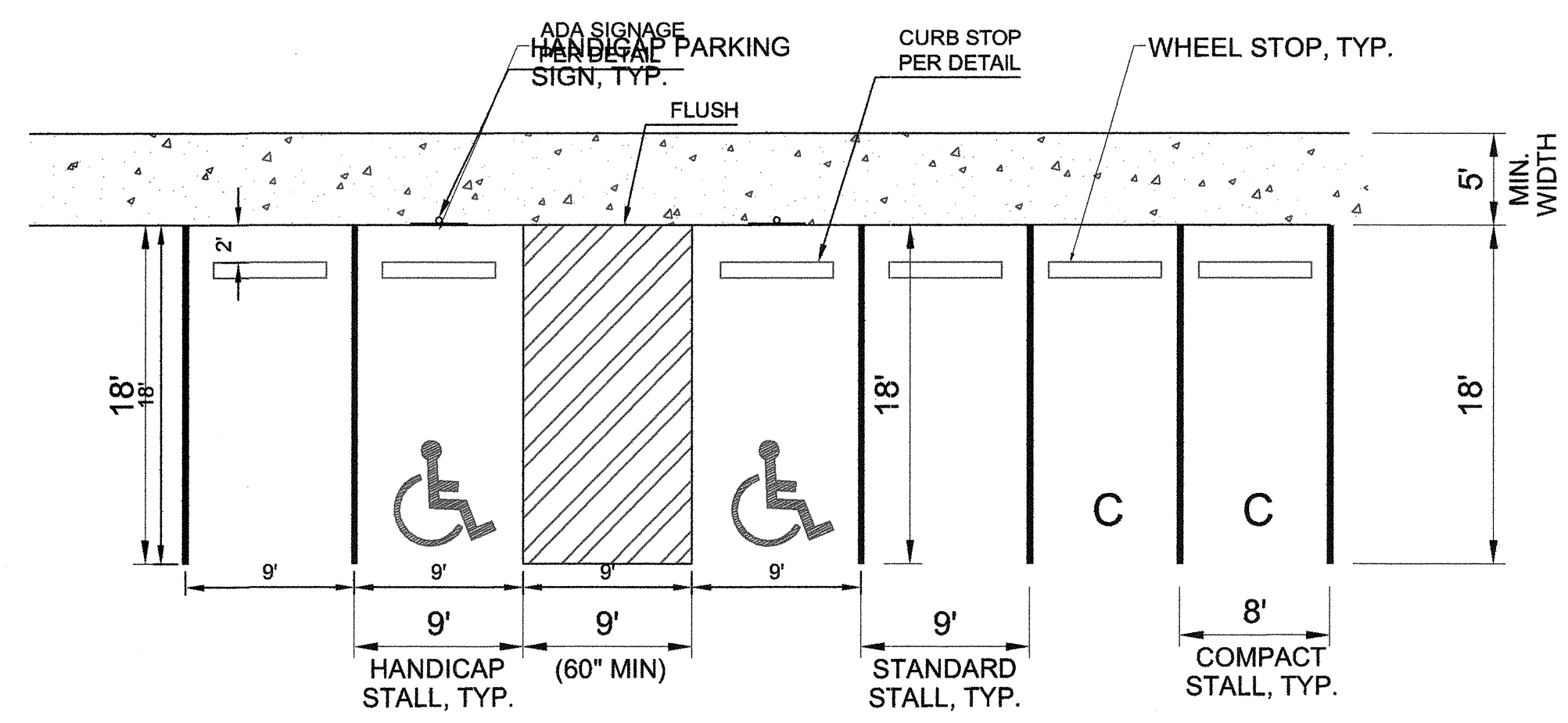
# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. NOTES & DETAILS

APPROVED  
 BY:   
 CITY OF PUYALLUP  
 ENGINEERING SERVICES  
 DATE: 6/30/2016  
 NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
 THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER.

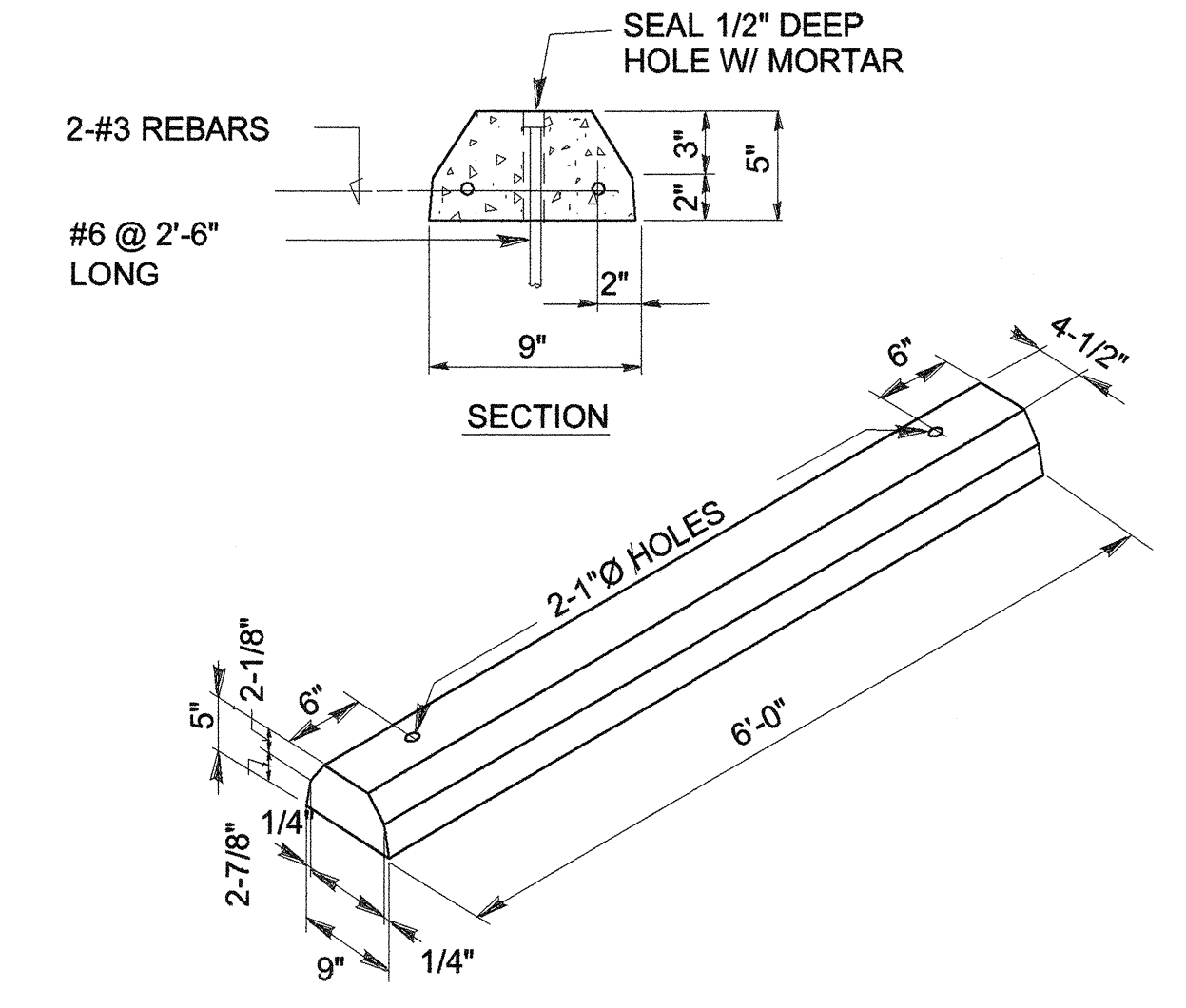
Cascade Christian  
 Notes & Details 1  
 Puyallup, WA



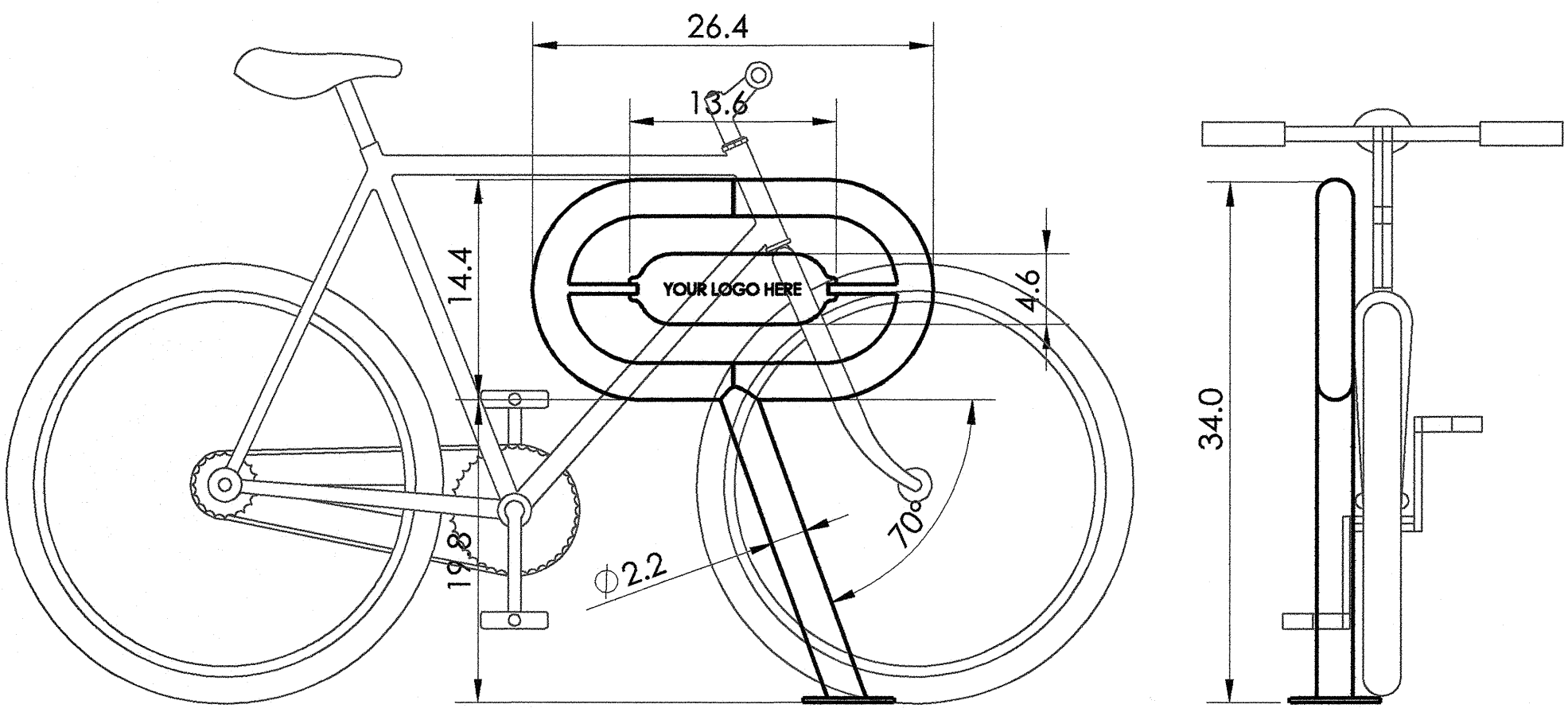
**1** DISABLED PARKING SIGN  
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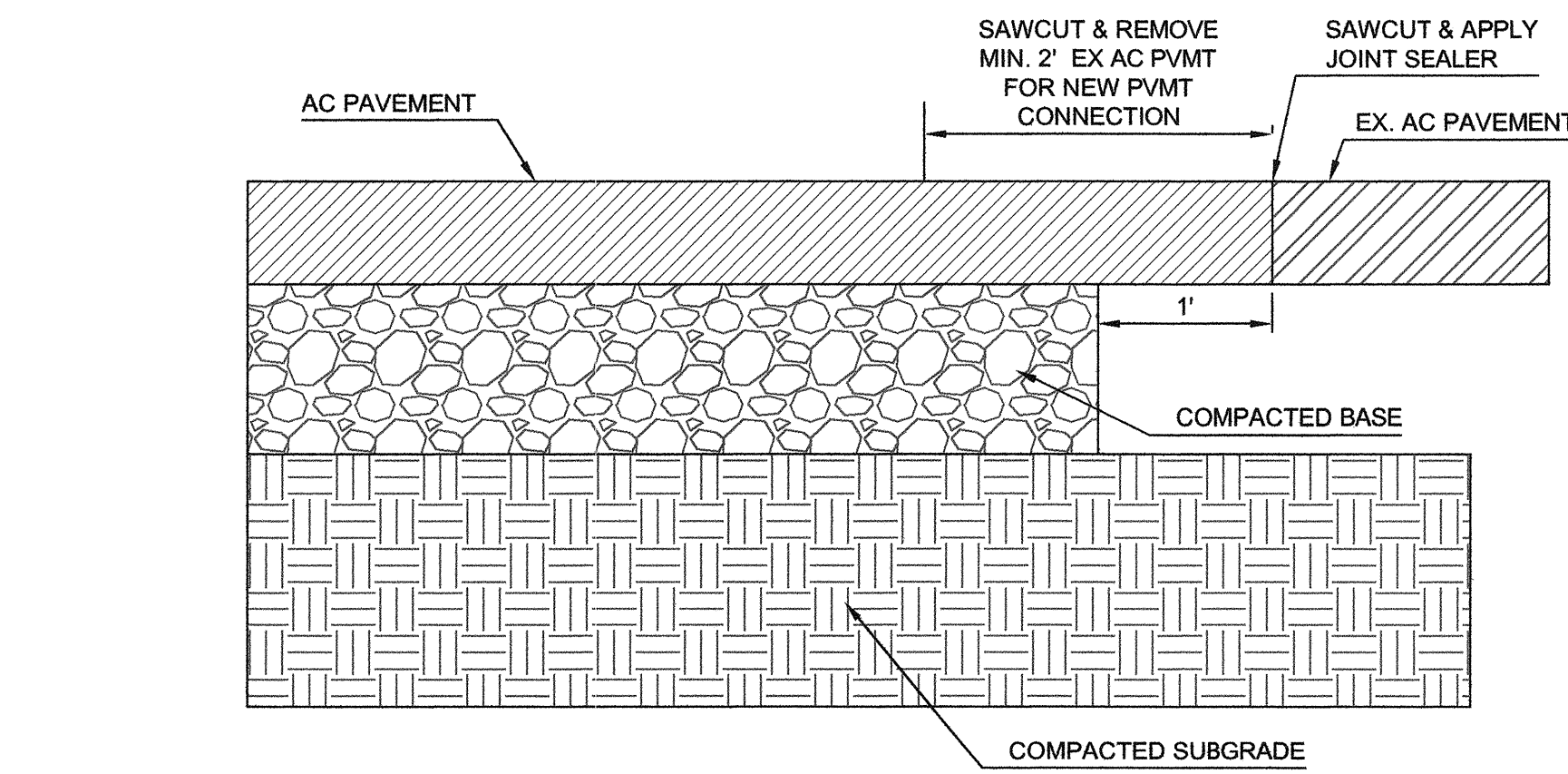
**2** TYPICAL PARKING STALL LAYOUT  
SCALE: 1"=8"



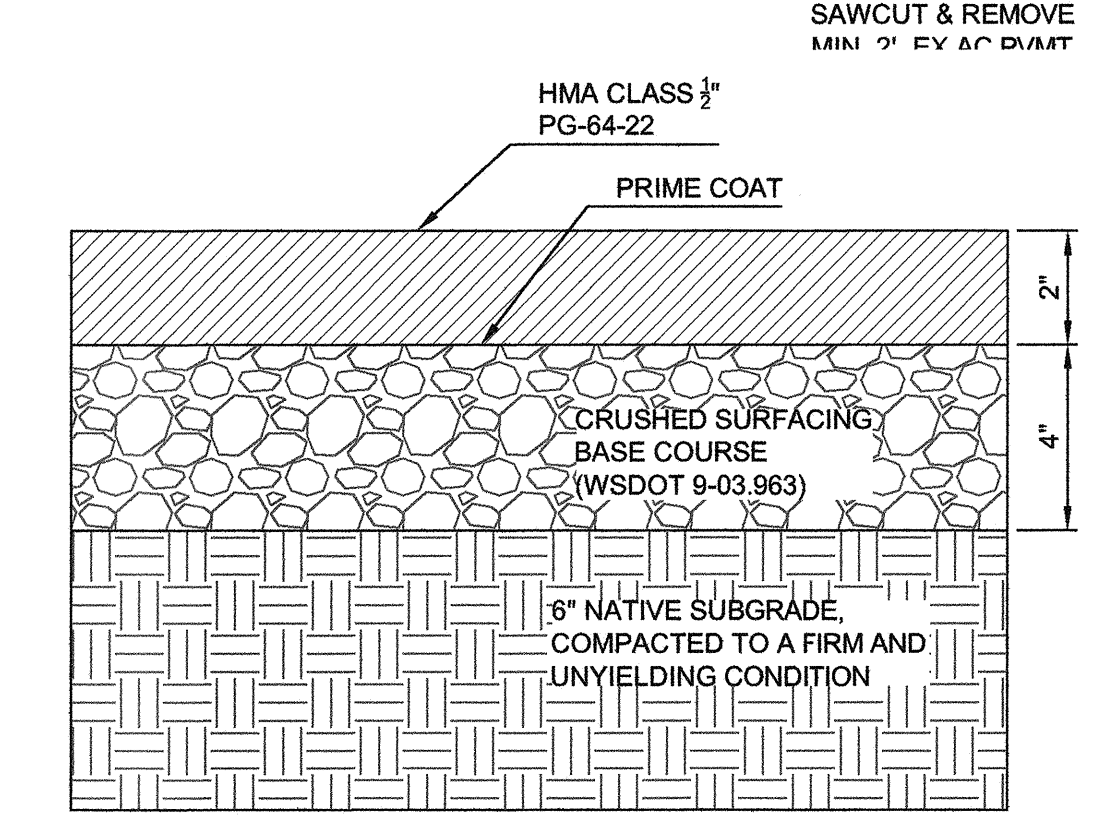
**3** PRECAST CONCRETE WHEEL STOP  
NOT TO SCALE



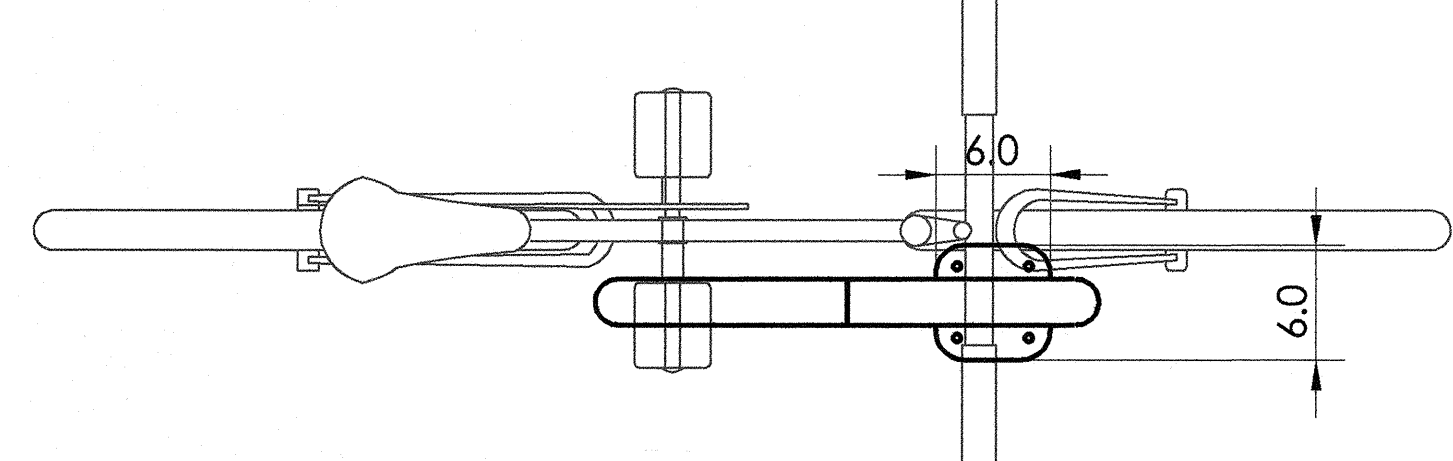
**4** BIKE PARKING DETAIL  
NOT TO SCALE



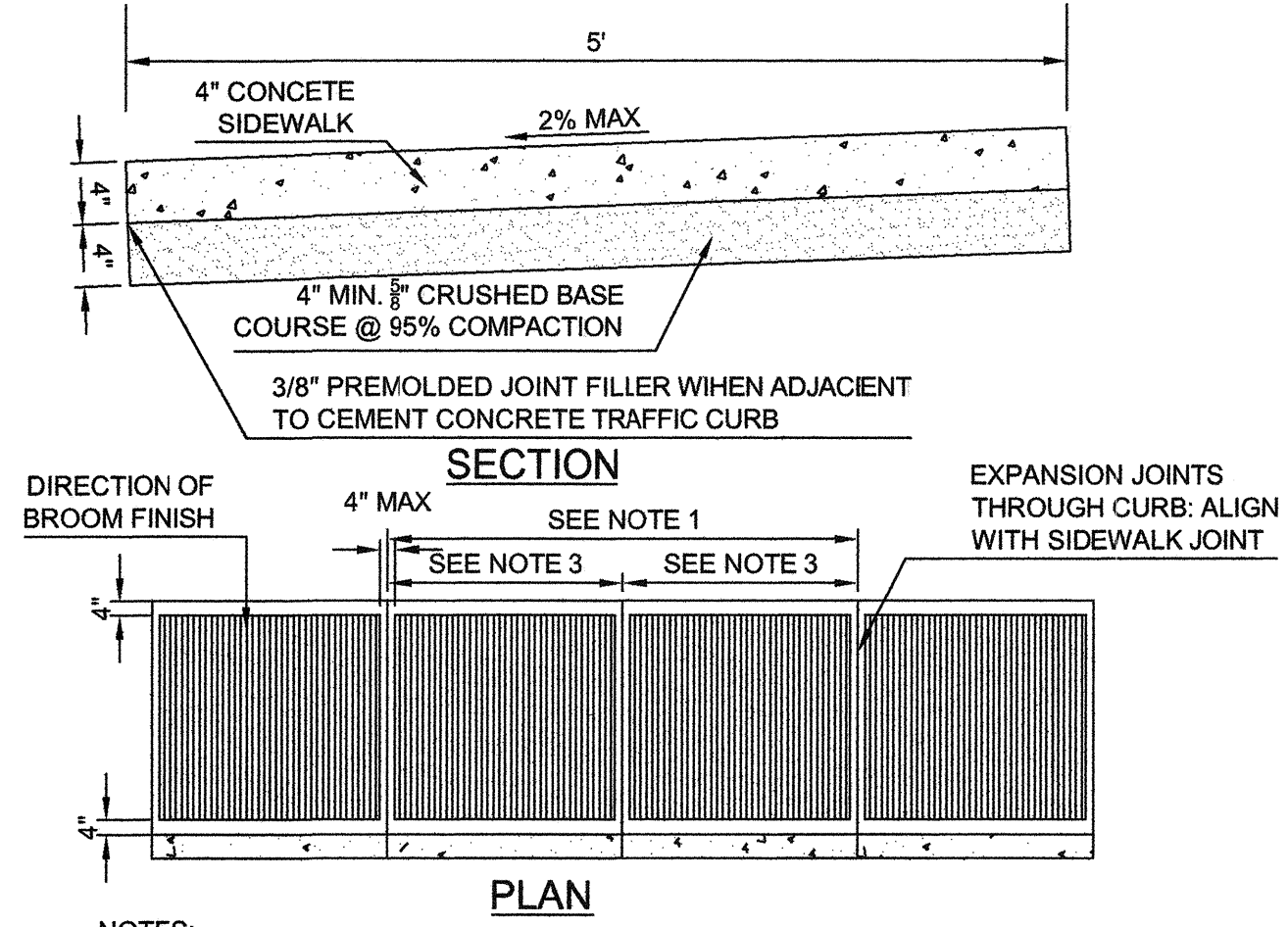
**5** JOINT BETWEEN NEW AND EXISTING PAVEMENTS  
NOT TO SCALE



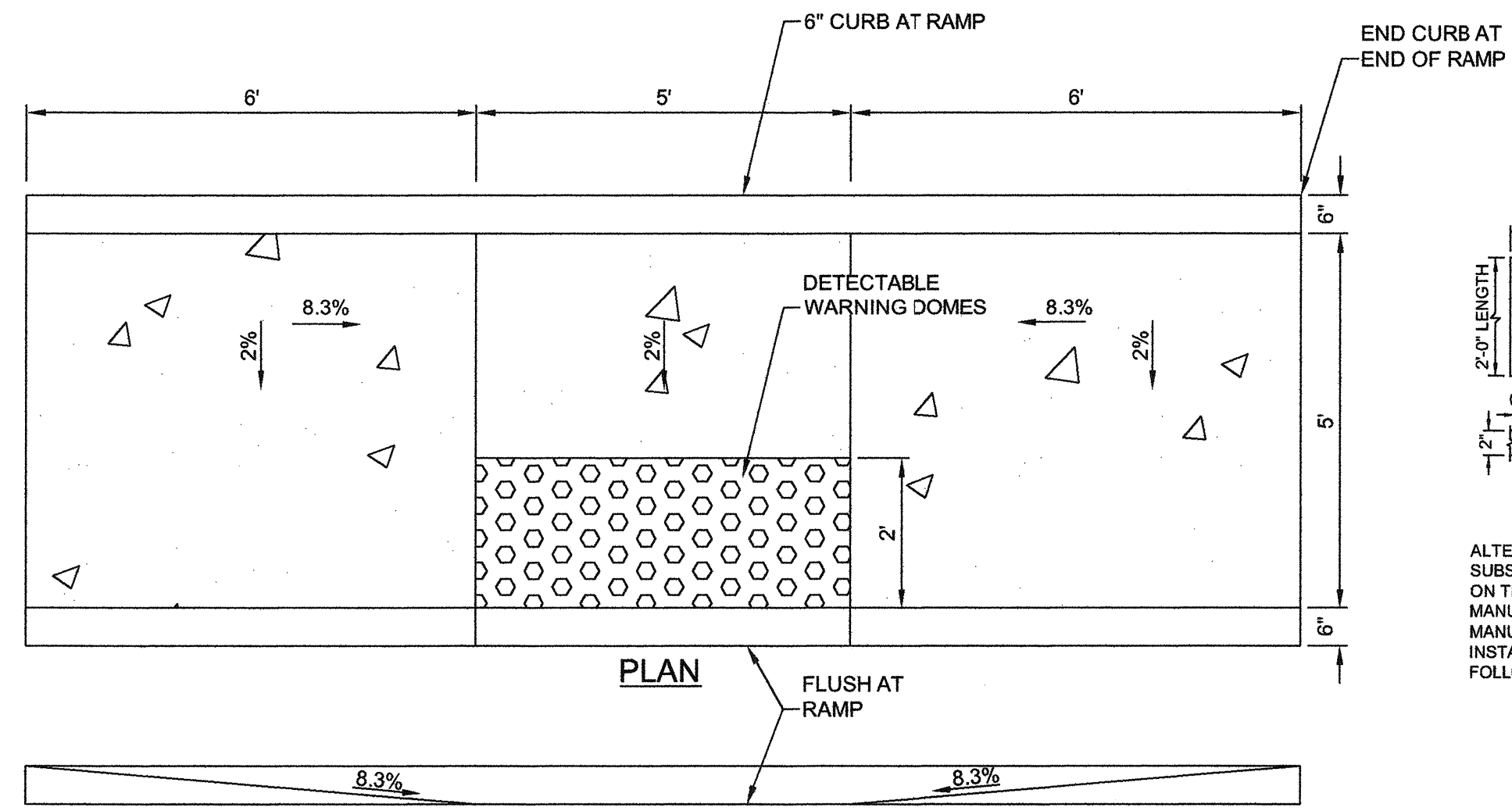
**6** ASPHALT PAVEMENT  
NOT TO SCALE



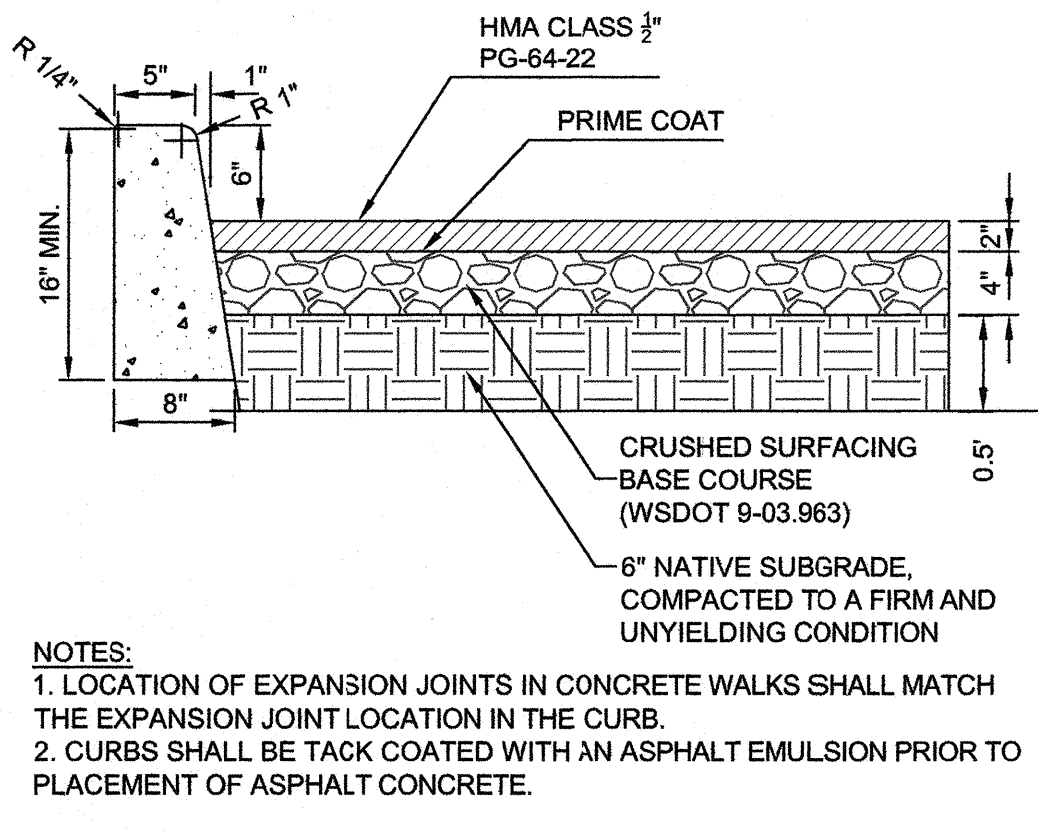
**7** CEMENT CONCRETE TRAFFIC CURB  
NOT TO SCALE



**8** CEMENT CONCRETE SIDEWALK  
NOT TO SCALE

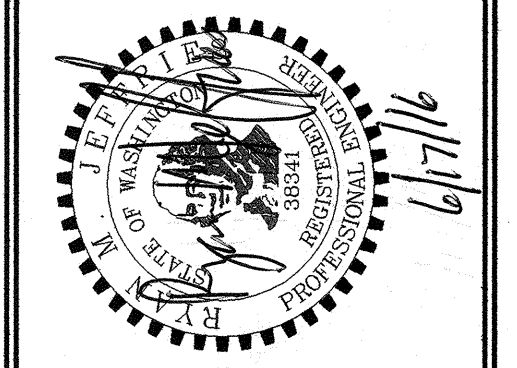


**9** SIDEWALK RAMP DETAIL  
NOT TO SCALE

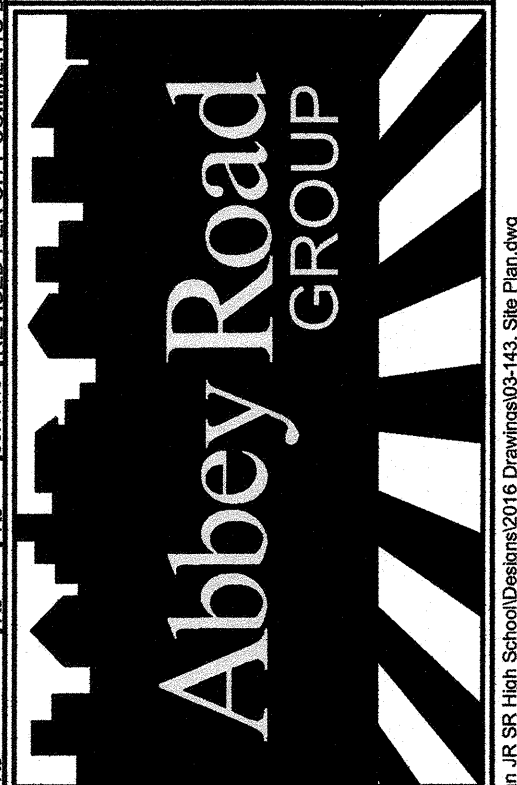


**7** CEMENT CONCRETE TRAFFIC CURB  
NOT TO SCALE

Cascade Christian School  
 Don Johnson  
 815 21st St. SE  
 Puyallup, WA 98372



Abbey Road Group  
 Land Development  
 Services Company, LLC  
 923 SHAW ROAD, SUITE A  
 PUYALLUP, WA 98372  
 P.O. Box 1224, Puyallup, WA 98371  
 (253) 435-3699, Fax (253) 446-3159



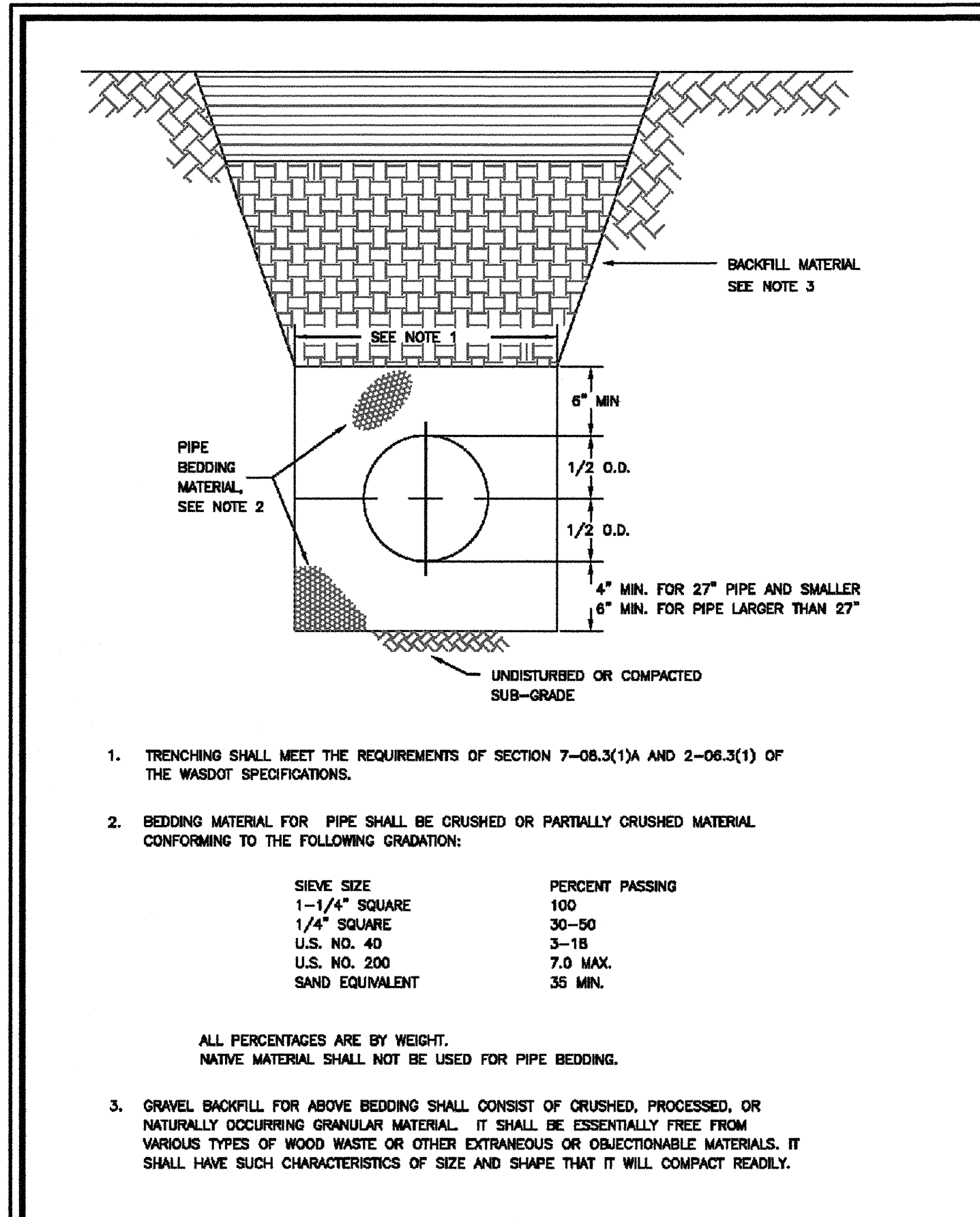
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RU	04/27/2016	1	ISSUED PER CITY COMMENTS DATED MAY 8, 2016
RU	04/28/2016	2	REVISED PER CITY COMMENTS DATED APRIL 27, 2016
RU	06/17/16	3	REVISED PER CITY COMMENTS DATED JUNE 16, 2016

JOB #:	03-143
DESIGNED BY:	Ryan Jeffries
DEVELOPMENT REVIEW:	RJ
APPROVED BY:	Ryan Jeffries
DRAFTED BY:	Travis Leaf
DATE:	26 MAY 2016
SHEET:	08 OF 14

File: S:\PROJECTS\FILES\AC-1702\03-143 Cascade Christian School\DWG\03-143\_SitePlan.dwg  
 Plotted: 6/17/2016 1:02 PM  
 Plotted By: Ryan Jeffries



# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. NOTES & DETAILS



- TRENCHING SHALL MEET THE REQUIREMENTS OF SECTION 7-08.3(1) AND 2-06.3(1) OF THE WSDOT SPECIFICATIONS.
- BEDDING MATERIAL FOR PIPE SHALL BE CRUSHED OR PARTIALLY CRUSHED MATERIAL CONFORMING TO THE FOLLOWING GRADATION:
 

SIEVE SIZE	PERCENT PASSING
1-1/4" SQUARE	100
1/4" SQUARE	30-50
U.S. NO. 40	3-18
U.S. NO. 200	7.0 MAX.
SAND EQUIVALENT	35 MIN.

ALL PERCENTAGES ARE BY WEIGHT.  
NATIVE MATERIAL SHALL NOT BE USED FOR PIPE BEDDING.
- GRAVEL BACKFILL FOR ABOVE BEDDING SHALL CONSIST OF CRUSHED, PROCESSED, OR NATURALLY OCCURRING GRANULAR MATERIAL. IT SHALL BE ESSENTIALLY FREE FROM VARIOUS TYPES OF WOOD WASTE OR OTHER EXTRANEIOUS OR OBJECTIONABLE MATERIALS. IT SHALL HAVE SUCH CHARACTERISTICS OF SIZE AND SHAPE THAT IT WILL COMPACT READILY.

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**PIPE TRENCHING BEDDING AND BACKFILL**

DESIGNED BY: RILEY BROWN SVENODDA	CHECKED BY: LINDA LIAN	APPROVED BY: COLLIER WALKER	DATE: 06.01.01
FILE NAME: P:\PROJECTS\CONSTRUCTION\CONTRACT\SEC35\TWP20\RG04\W.M.\PIPE TRENCHING BEDDING AND BACKFILL.dwg	SCALE: 1/8" = 1'-0"	CITY: PUYALLUP	

- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

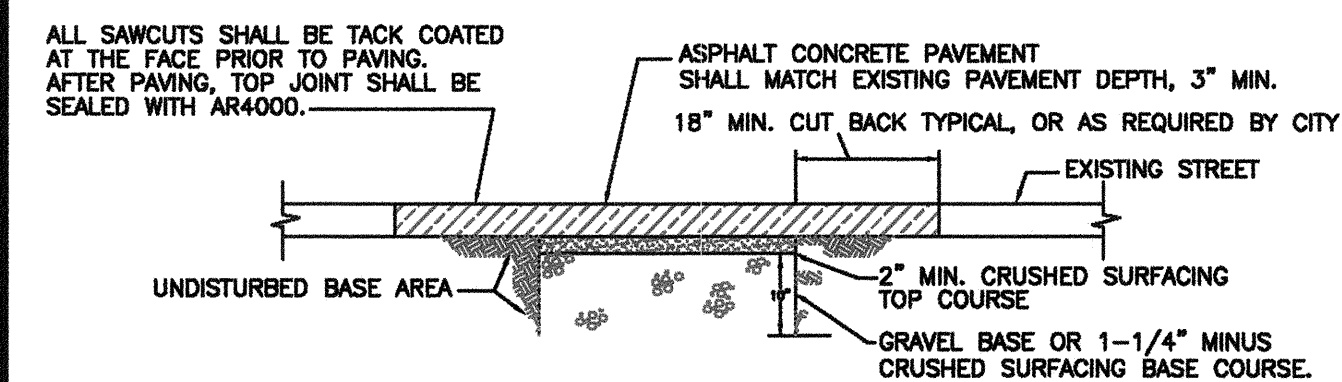
**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**GRADING, EROSION, AND SEDIMENTATION CONTROL NOTES**

DESIGNED BY: RILEY BROWN SVENODDA	CHECKED BY: LINDA LIAN	APPROVED BY: COLLIER WALKER	DATE: 05.02.01
FILE NAME: P:\PROJECTS\CONSTRUCTION\CONTRACT\SEC35\TWP20\RG04\W.M.\GRADING, EROSION, AND SEDIMENTATION CONTROL.dwg	SCALE: 1/8" = 1'-0"	CITY: PUYALLUP	

## CONSTRUCTION SEQUENCE

- BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN CITY OF PUYALLUP, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE, AND CONTRACTOR PERMITTEE.
- FLAG WORK LIMITS.
- INSTALL EROSION CONTROL MEASURES AS IDENTIFIED ON THE PLAN.
- SCHEDULE EROSION CONTROL INSPECTION WITH CITY.
- SAWCUT ASPHALT AND CONCRETE, REMOVE AND DISPOSE AT AN APPROVED LOCATION.
- GRADE BUILDING PAD.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF PUYALLUP STANDARDS AND MANUFACTURER'S RECOMMENDATIONS, AND NPDES CONSTRUCTION STORMWATER GENERAL PERMIT.
- RELOCATE SURFACE WATER CONTROLS OR EROSION CONTROL MEASURES, INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENTATION CONTROL IS IN ACCORDANCE WITH CITY OF PUYALLUP REQUIREMENTS, AND NPDES CONSTRUCTION STORMWATER GENERAL PERMIT.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN FIVE DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON, OR AS NECESSARY BASED ON THE WEATHER FORECAST, WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT. (MAY 1ST TO SEPTEMBER 30 AND OCTOBER 1 TO MAY 30, RESPECTIVELY).
- STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- INSTALL SEWER FACILITIES.
- INSTALL WATER FACILITIES.
- INSTALL STORM FACILITIES.
- INSTALL CURBS AND WALKS.
- INSTALL ASPHALT PAVEMENT.
- UPON COMPLETION OF PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMP'S AS APPROPRIATE.
- UPON COMPLETION OF PROJECT CLEAN STORM PIPE
- REMOVE EROSION CONTROL MEASURES.
- CLEAN-UP.

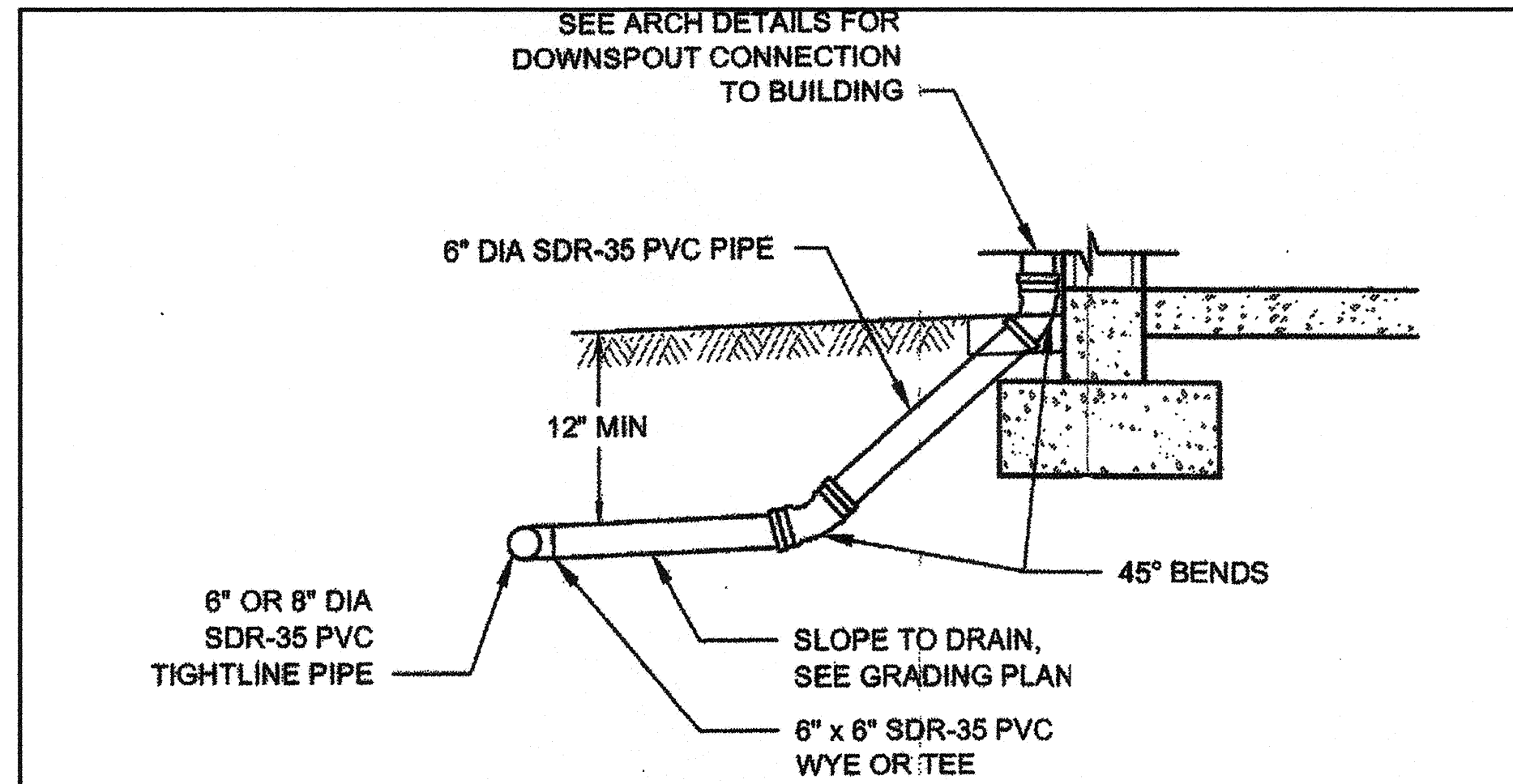


- ALL SAWCUTS SHALL BE TACK COATED AT THE FACE PRIOR TO PAVING. AFTER PAVING, TOP JOINT SHALL BE SEALED WITH AR4000.
- ASPHALT CONCRETE PAVEMENT SHALL MATCH EXISTING PAVEMENT DEPTH, 3" MIN. 18" MIN. CUT BACK TYPICAL, OR AS REQUIRED BY CITY
- UNDISTURBED BASE AREA
- 2" MIN. CRUSHED SURFACING TOP COURSE
- GRAVEL BASE OR 1-1/4" MINUS CRUSHED SURFACING BASE COURSE.
- NOTES:**
- BASE AND SUBBASE MATERIAL SHALL BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.
  - ALL DEPTHS INDICATED ARE A MINIMUM COMPACTED DEPTH.
  - ALL PATCHES 8'x 8' AND SMALLER MAY BE PAVED WITH A PAVING BOX.
  - INITIAL BACKFILLING SHALL BE PERFORMED ONLY AFTER INSPECTION AND APPROVAL OF THE INSTALLED PIPE OR STRUCTURE. THE BACKFILL MATERIAL SHALL BE PLACED IN ACCORDANCE WITH CITY STANDARD DETAIL NO. 08.01.01
  - ALL BACKFILL FOR PIPE TRENCHES SHALL BE MECHANICALLY COMPACTED BY A POWER-OPERATED MECHANICAL TAMPER(S) AS SPECIFIED IN WSDOT STANDARD SPEC. 2-03.3 (14)C, COMPACTING EARTH EMBANKMENTS, METHOD C OF THE WSDOT STANDARD SPECIFICATIONS.
  - INITIAL BACKFILL MATERIAL SHALL BE SELECT TRENCH EXCAVATION MATERIAL.
  - COMPACTION SHALL BE MADE IN 6-INCH LIFTS.
  - GRAVEL BASE SHALL MEET THE REQUIREMENTS OF WSDOT STANDARD SPEC. 9-03.10. CRUSHED SURFACING BASE COURSE SHALL MEET THE REQUIREMENTS OF WSDOT STANDARD SPEC. 9-03.9(3).
  - REFER TO PUYALLUP MUNICIPAL CODE 11.04.040 #4

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

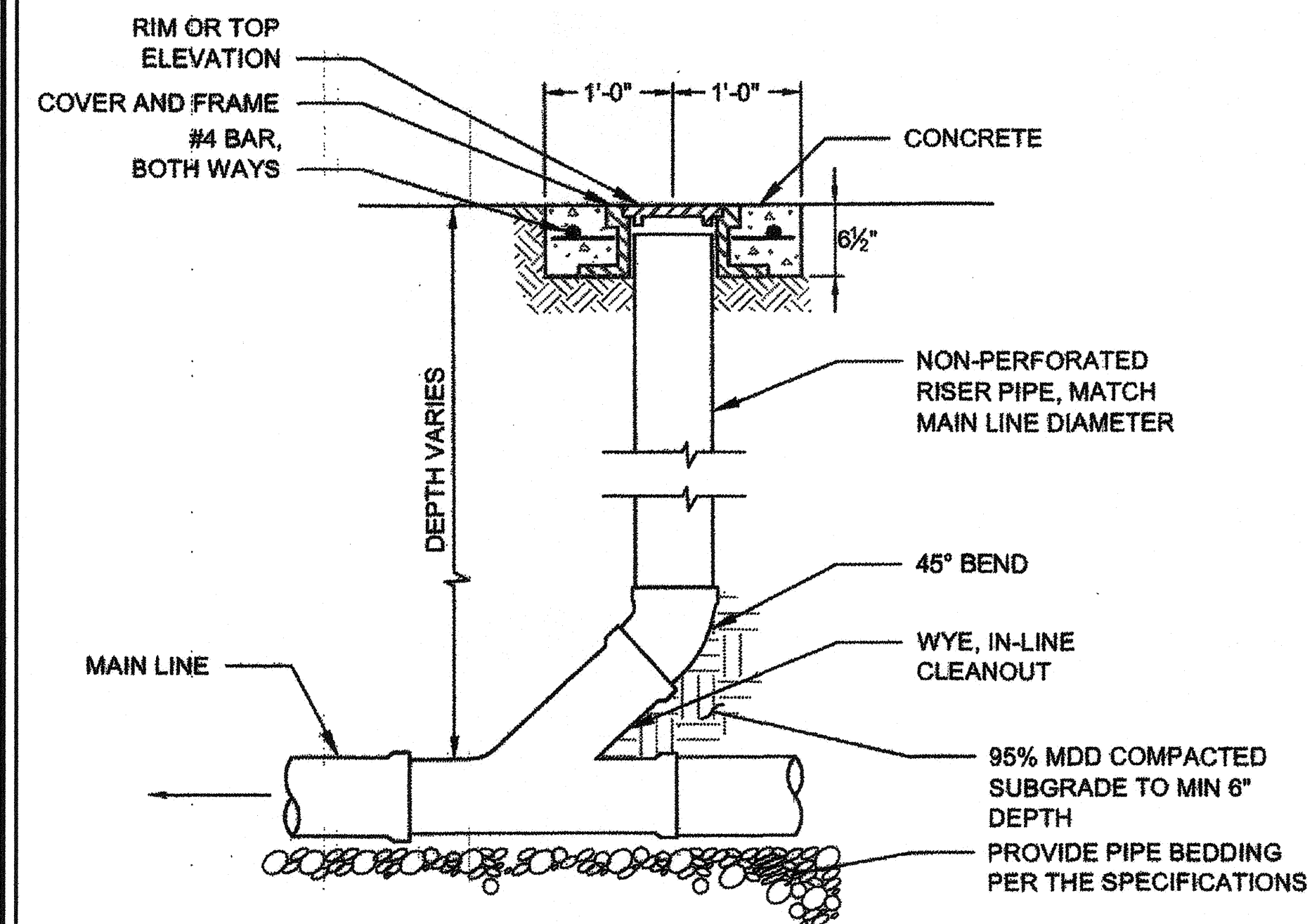
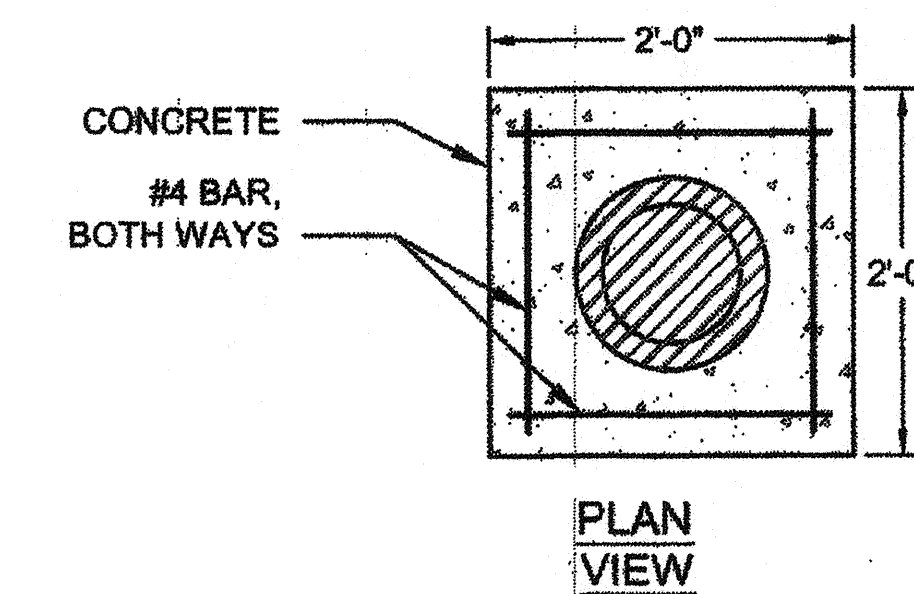
**STREET PATCH**

DESIGNED BY: RILEY BROWN SVENODDA	CHECKED BY: LINDA LIAN	APPROVED BY: COLLIER WALKER	DATE: 01.01.20
FILE NAME: P:\PROJECTS\CONSTRUCTION\CONTRACT\SEC35\TWP20\RG04\W.M.\STREET PATCH.dwg	SCALE: 1/8" = 1'-0"	CITY: PUYALLUP	



- NOTES:**
- SEE ARCHITECTURAL DETAILS FOR DOWNSPOUT CONNECTION TO BUILDING.
  - DOWNSPOUT DRAIN PIPE SIZE SHALL BE A MINIMUM 6 INCHES.
  - PROVIDE 24" MINIMUM COVER OVER ALL DOWNSPOUT PIPES WITHIN 24 INCHES OF NEW TREE PLANTINGS (SEE LANDSCAPING PLANS).
  - MINIMUM SLOPE FOR TIGHTLINE DRAIN LINES SHALL BE 0.75%
  - FOR DOWNSPOUT CLEANOUT DETAIL, SEE DETAIL 5/C-502.
  - TIGHTLINE SHALL BE 6" EXCEPT WHERE INDICATED ON THE PLANS, IN WHICH CASE WYE/TEE WILL ALSO BE UPSIZED ACCORDINGLY.

## ROOF DRAIN NO SCALE

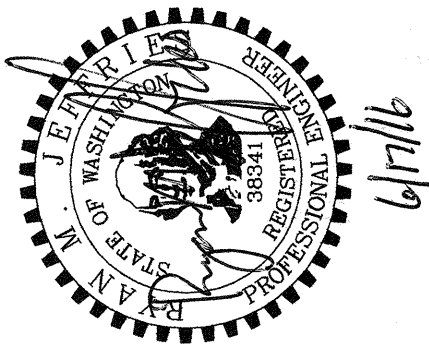


## STORM DRAIN CLEANOUT NO SCALE

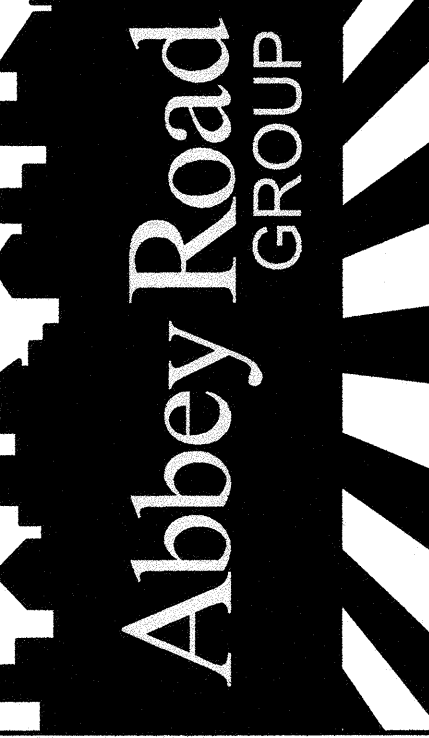
APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 6/30/2016  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
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Cascade Christian  
Notes & Details 3  
Puyallup, WA

Cascade Christian School  
Don Johnson  
815 21st St. SE  
Puyallup, WA 98372



Abbey Road Group  
Land Development  
Services Company, LLC  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



JOB #:	03-143
DESIGNED BY:	Ryan Jeffries
DEVELOPMENT REVIEW:	RJ
APPROVED BY:	Ryan Jeffries
DRAFTED BY:	Travis Leaf
DATE:	26 MAY 2016
SHEET:	10 OF 14



# CASCADE CHRISTIAN SEC. 35\TWP. 20\RGE. 04, W.M. NOTES & DETAILS

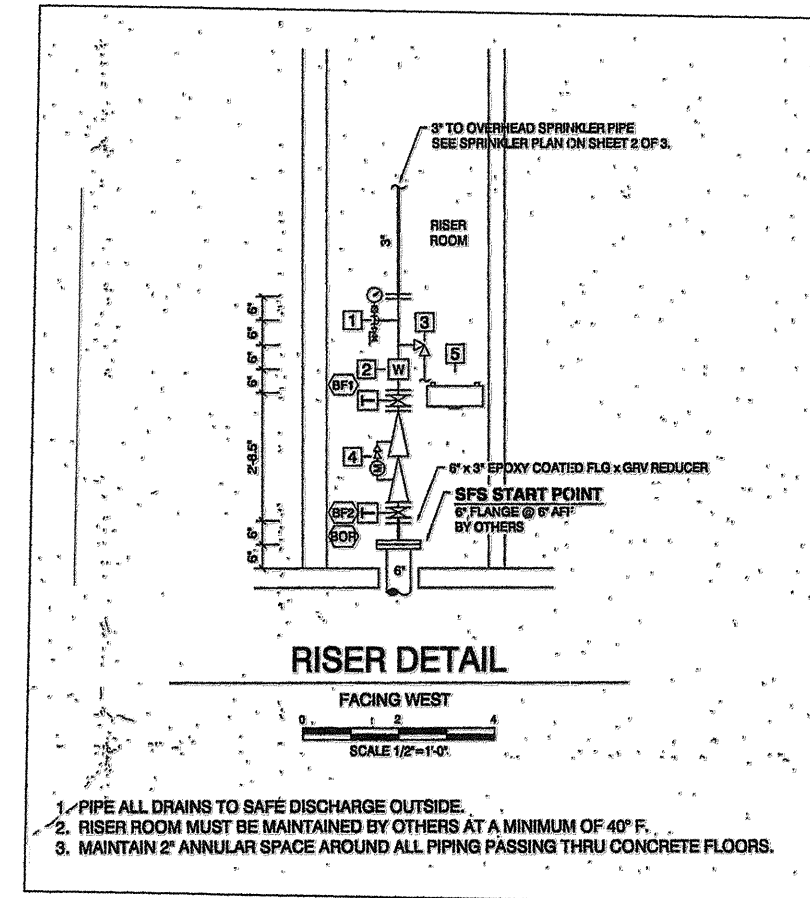
NOTES FOR: DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCVA) INSTALLATION  
CITY STANDARD 03.10.01-1

- BACKFLOW ASSEMBLY MUST BE SELECTED FROM WASHINGTON STATE DEPARTMENT OF HEALTH'S LIST OF BACKFLOW PREVENTION ASSEMBLIES APPROVED FOR INSTALLATION IN WASHINGTON STATE, LATEST EDITION.
- THE DDCVA SHALL BE INSTALLED WITH ADEQUATE SPACE TO FACILITATE MAINTENANCE AND TESTING. IT SHALL BE TESTED AFTER INSTALLATION, BY A WASHINGTON STATE CERTIFIED BACK-FLOW ASSEMBLY TESTER, TO INSURE ITS SATISFACTORY OPERATION BEFORE OCCUPANCY, AND ANNUALLY THEREAFTER. SEND TEST RESULTS TO: CITY OF PUYALLUP, WATER QUALITY OPERATIONS, 1100 39TH AVE SE, PUYALLUP, WA 98374.
- DDCVA MUST BE PURCHASED AS A UNIT. NO MODIFICATIONS TO THE ASSEMBLY ARE ALLOWED.
- APPROVAL BY THE CITY OF PUYALLUP MUST BE OBTAINED BEFORE THE DDCVA IS ALLOWED TO BE LOCATED WITHIN A BUILDING. WHEN THE DDCVA IS LOCATED WITHIN A BUILDING, THE FIRE DEPARTMENT CONNECTION (FDC) BALL DRIP SHALL DRAIN TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
- IF VAULT CANNOT BE DRAINED TO DAYLIGHT, A 1/4 HP SUMP PUMP SHALL BE INSTALLED IN THE SUMP PIT OF THE VAULT. IT SHALL BE WIRED PER WASHINGTON STATE ELECTRICAL CODE, AND INSPECTED BY A STATE ELECTRICAL INSPECTOR. THE DISCHARGE PIPE SHALL BE CONNECTED TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
- DDCVA OUTSIDE STEM AND YOKE (OS&Y) GATE VALVES, AND THE POST INDICATOR VALVE (PIV), SHALL HAVE SUPERVISED TAMPER SWITCHES.
- ALL ELECTRICAL SHALL BE INSPECTED BY A WASHINGTON STATE ELECTRICAL INSPECTOR.
- RUN TWO 3/4" SCHEDULE 80 P.V.C. CONDUITS TO THE VAULT. ONE WILL BE USED FOR A GFCI PROTECTED OUTLET, AND ONE WILL BE FOR LOW VOLTAGE COMING FROM THE FIRE ALARM PANEL. INSTALL AN APPLETON FSCA OR FDCA CAST DEVICE BOX OR APPROVED EQUAL ON THE VAULT WALL AT THE CONDUIT PENETRATION.
- RUN LOW VOLTAGE WIRE INSIDE VAULT AND TO PIV THROUGH SEAL-TIGHT FLEX CONDUIT. CONDUIT SHALL BE SECURELY FASTENED PERPENDICULAR OR HORIZONTALLY TO THE WALLS OF THE VAULT.
- WATER METER SHALL BE A SENSUS SR11 TRPL READING IN 1 CUBIC FEET.
- PIPE SUPPORTS SHALL BE RUST-PROTECTED WITH ALUMINUM PAINT.
- THE FDC SHALL BE LOCATED WITHIN 15 FEET OF A FIRE HYDRANT, BUT NOT LESS THAN 10 FEET.
- THE FDC SHALL BE A MINIMUM OF 40 FEET FROM A BUILDING, UNLESS APPROVED BY THE CITY OF PUYALLUP FIRE CODE OFFICIAL.

APPROVED  
BY: *[Signature]*  
CITY OF PUYALLUP  
ENGINEERING SERVICES  
DATE: 6/20/2016  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE ENGINEERING SERVICES MANAGER

Cascade Christian  
Notes & Details 5  
Puyallup, WA

Cascade Christian School  
Don Johnson  
815 21st St. SE  
Puyallup, WA 98372



**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**DOUBLE DETECTOR-CHECK VALVE ASSEMBLY INSTALLATION (NOTES)**

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN BARBER	DESIGNED BY LINDA LIAN	CITY STANDARD 03.10.01-2
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_3\TR01\0310.01-2	DATE APPROVED 06/16/2016	DATE APPROVED 06/16/2016	SCALE N/A	



**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**DOUBLE DETECTOR-CHECK VALVE ASSEMBLY INSTALLATION**

**PLAN**  
**PROFILE**

CITY STANDARD 03.10.01-2 COVERS ADDITIONAL NOTES FOR THIS DETAIL.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN BARBER	DESIGNED BY LINDA LIAN	CITY STANDARD 03.10.01-1
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_3\TR01\0310.01-1	DATE APPROVED 06/16/2016	DATE APPROVED 06/16/2016	SCALE N/A	

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**WATER VAULT DETAILS**

**NOTES:**

- IF VAULT CANNOT BE DRAINED TO DAYLIGHT, A 1/4 HP SUMP PUMP SHALL BE INSTALLED IN THE SUMP PIT OF THE VAULT. IT SHALL BE WIRED PER WASHINGTON STATE ELECTRICAL CODE, AND INSPECTED BY A STATE ELECTRICAL INSPECTOR. THE DISCHARGE PIPE SHALL BE CONNECTED TO THE NEAREST APPROVED ON-SITE STORM DRAINAGE STRUCTURE.
- THE VAULT SHALL BE A PRECAST CONCRETE VAULT, SIZED TO MEET THE CLEARANCE REQUIREMENTS SHOWN ON DETAILS 3.03.04, 3.09.01, OR 3.10.01-1.
- REMOVABLE DOORS SHALL BE A MINIMUM OF 6'-0" X 3'-0" ALUMINUM DIAMOND PLATE HINGED LOCKING DOORS, WITH HINGES LOCATED AT EACH END OF OPENING, AND WITH COVERED RECESSED PADLOCK HASP. DOORS SHALL BE SPRING LOADED AND LOCK IN THE OPEN POSITION. DOOR AND FRAME SHALL BE RATED FOR HS-20 LOADING.
- A GALVANIZED LADDER SHALL BE SET INSIDE THE VAULT FOR ACCESS. IT SHALL BE SECURED TO THE VAULT WITH 1/2" DIA. BOLTS EPOXIED TO THE VAULT LID AND FLOOR.
- A BILCO LADDER UP SAFETY POST MODEL NO. 2 (OR APPROVED EQUAL) SHALL BE ATTACHED TO THE LADDER STEPS ON THE RIGHT HAND SIDE.
- THE VAULT SHALL BE PLACED IN A UTILITY EASEMENT OUT OF VEHICLE AND PEDESTRIAN TRAFFIC.
- CAST-IN-PLACE VAULTS SHALL BE PERMITTED BY THE CITY'S BUILDING DIVISION PRIOR TO CONSTRUCTION.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN BARBER	DESIGNED BY LINDA LIAN	CITY STANDARD 03.11.01
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_3\TR01\0311.01	DATE APPROVED 06/16/2016	DATE APPROVED 06/16/2016	SCALE N/A	

**CITY OF PUYALLUP**  
DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS

**3" AND ABOVE REDUCED PRESSURE BACKFLOW ASSEMBLY**

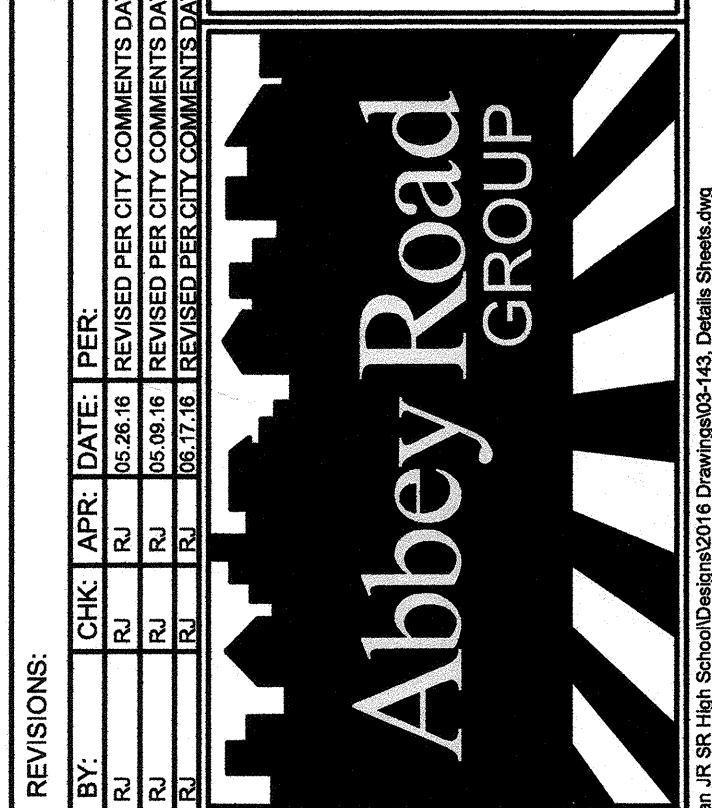
**PLAN**  
**PROFILE**

**NOTES:**

- BACKFLOW ASSEMBLY MUST BE SELECTED FROM WASHINGTON STATE DEPARTMENT OF HEALTH'S LIST OF BACKFLOW PREVENTION ASSEMBLIES APPROVED FOR INSTALLATION IN WASHINGTON STATE, LATEST EDITION.
- THE RPBA SHALL BE INSTALLED WITH ADEQUATE SPACE TO FACILITATE MAINTENANCE AND TESTING. IT SHALL BE TESTED AFTER INSTALLATION, BY A WASHINGTON STATE CERTIFIED BACK-FLOW ASSEMBLY TESTER, TO INSURE ITS SATISFACTORY OPERATION BEFORE OCCUPANCY, AND ANNUALLY THEREAFTER. SEND TEST RESULTS TO: CITY OF PUYALLUP, WATER QUALITY OPERATIONS, 1100 39TH AVE SE, PUYALLUP, WA 98374.
- THE RPBA MUST BE PURCHASED AS A UNIT. NO MODIFICATIONS TO THE ASSEMBLY ARE ALLOWED.
- THE RPBA SHALL NOT BE INSTALLED IN A PIT BELOW GRADE LEVEL.
- THE PROTECTIVE COVERING FOR THE RPBA, WHICH PROTECTS THE ASSEMBLY FROM FREEZING, MUST INCLUDE A DAYLIGHT DRAIN. THE DRAIN MUST BE INSTALLED ABOVE GROUND OR ABOVE THE MAXIMUM FLOOD LEVEL WATER IN RISE. THE DRAIN MUST BE A MINIMUM OF TWICE THE SIZE OF THE RPBA, TO BE ABLE TO HANDLE THE VOLUME OF WATER THAT POTENTIALLY COULD BE DISCHARGED FROM THE RELIEF VALVE PORT.
- THE RPBA SHALL BE SIZED EQUAL OR COMPARABLE TO THE METER SIZE.
- THE RPBA SHALL BE LOCATED IMMEDIATELY DOWN STREAM OF THE METER, AND CANNOT BE INSTALLED INSIDE OF A BUILDING, DUE TO THE SEVERE HAZARD FROM THE WATER THAT POTENTIALLY COULD BE DISCHARGED FROM THE RELIEF VALVE PORT DURING A TYPICAL CHECK VALVE SITUATION.
- ALL ELECTRICAL SHALL BE INSPECTED BY A WASHINGTON STATE ELECTRICAL INSPECTOR.
- PIPE SUPPORTS SHALL BE RUST-PROTECTED WITH ALUMINUM PAINT.
- PROVIDE FREEZE PROTECTION AS DIRECTED BY OWNER.

DESIGNED BY BRIAN JOHNSON	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN BARBER	DESIGNED BY LINDA LIAN	CITY STANDARD 03.10.04.03
FILE NAME F:\PROJECTS\CONSTRUCTION\CITY\030904_3\TR01\0310.04.03	DATE APPROVED 06/16/2016	DATE APPROVED 06/16/2016	SCALE N/A	

Abbey Road Group  
Land Development  
Services Company, LLC  
923 SHAW ROAD, SUITE A  
PUYALLUP, WA 98372  
P.O. Box 1224, Puyallup, WA 98371  
(253) 435-3699, Fax (253) 446-3159



DESIGNED BY: Ryan Jeffries  
DEVELOPMENT REVIEW: RJ  
APPROVED BY: Ryan Jeffries  
DRAFTED BY: Travis Leaf  
DATE: 26 MAY 2016  
SHEET: 12 OF 14

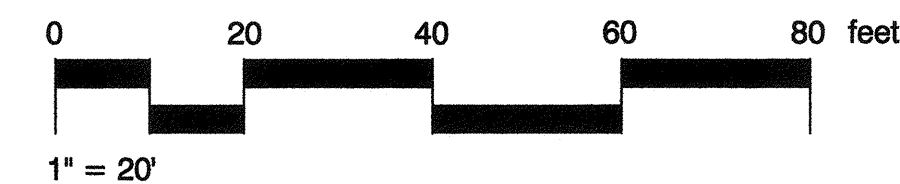
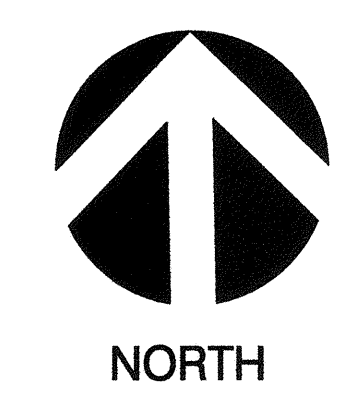
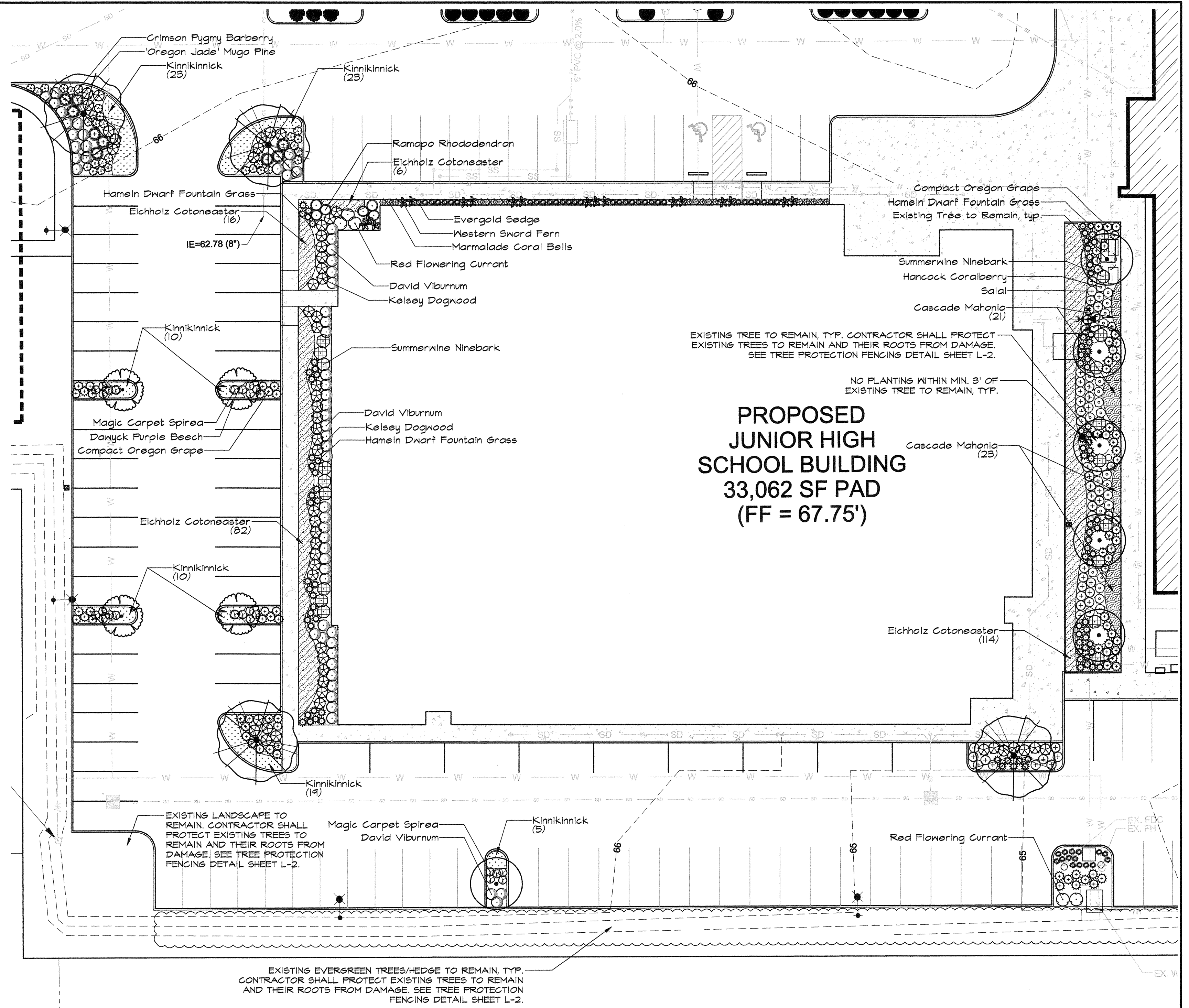
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Printed: 6/17/2016 2:23 PM

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL	SIZE
	6	EXISTING TREE TO REMAIN / EXISTING TREE TO REMAIN	EXISTING		
	4	FAGUS SYLVATICA 'DAWYCK PURPLE' / DAWYCK PURPLE BEECH	B&B/CONT.	1.75' GAL	10'-12' HT.
	4	FAGUS SYLVATICA 'RIVERSII' / RIVERS PURPLE BEECH	B&B/CONT.	1.75' GAL	10'-12' HT.
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	
	30	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	2 GAL., 16' MIN. HT.	@ 2-1/2' O.C.	
	47	CAREX MORROWII 'AUREA-VARIEGATA' / EVERGOLD SEDGE	1 GAL.	@ 2' O.C.	
	55	CORNUS STOLONIFERA 'KELSEYI' / KELSEY DOGWOOD NATIVE/ADAPTIVE	2 GAL., 16' MIN. HT.	@ 3-1/2' O.C.	
	46	GAULTHERIA SHALLON / SALAL NATIVE	2 GAL., 16' MIN. HT.	@ 3' O.C.	
	18	HEUCHERA X 'MARMALADE' / MARMALADE CORAL BELLS	1 GAL.	@ 2' O.C.	
	85	MAHONIA AQUIFOLIUM 'COMPACTA' / COMPACT OREGON GRAPE NATIVE/ADAPTIVE	2 GAL., 16' MIN. HT.	@ 3' O.C.	
	94	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	1 GAL.	@ 2-1/2' O.C.	
	19	PHYSOCARPUS OPULIFOLIUS 'SEWARD' / SUMMERWINE NINEBARK	5 GAL.	@ 4' O.C.	
	9	PINUS MUGO 'OREGON JADE' / 'OREGON JADE' MUGO PINE	5 GAL.	@ 4' O.C.	
	18	POLYSTICHUM MUNITUM / WESTERN SWORD FERN NATIVE	2 GAL.	@ 3' O.C.	
	6	RHODODENDRON X 'RAMAPO' / RAMAPO RHODODENDRON	3 GAL., 16' MIN. HT.	@ 3-1/2' O.C.	
	5	RIBES SANGUINEUM / RED FLOWERING CURRANT NATIVE	5 GAL.	@ 4' O.C.	
	25	SPIRAEA JAPONICA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL.	@ 2-1/2' O.C.	
	24	SYMPHORICARPOS X CHENAUTII 'HANCOCK' / HANCOCK CORALBERRY NATIVE	2 GAL., 16' MIN. HT.	@ 3' O.C.	
	59	VIBURNUM DAVIDII / DAVID VIBURNUM	3 GAL.	@ 3-1/2' O.C.	
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING	
	90	ARCTOSTAPHYLOS UVA-URSI 'EMERALD CARPET' / KINNIKINICK NATIVE	1 GAL.	2-1/2' O.C.	
	218	COTONEASTER DAMMERI 'EICHHOLZ' / EICHHOLZ COTONEASTER	1 GAL.	2-1/2' O.C.	
	44	MAHONIA NERVOSA / CASCADE MAHONIA NATIVE	1 GAL.	2-1/2' O.C.	

**NATIVE PLANT NOTES**

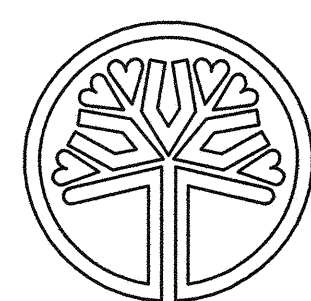
1. MINIMUM 25% OF ALL PLANTS ARE REQUIRED TO BE NATIVE PLANTS
2. 900 TOTAL PLANTS, INCLUDING 352 GROUNDCOVERS
3. 367 TOTAL NATIVE PLANTS, INCLUDING 134 NATIVE GROUNDCOVERS
4. 4% OF ALL PLANTS (INCLUDING GROUNDCOVERS) ARE NATIVE
5. 36 PERCENT OF GROUNDCOVERS ARE NATIVE



**SHEET NOTES**

1. REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITHOUT PRIOR APPROVAL OF LANDSCAPE ARCHITECT/OWNER.
3. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.
4. CONTRACTOR SHALL PROVIDE IRRIGATION TO ALL NEW BEDS. IRRIGATION SHALL BE AUTOMATICALLY OPERATED WITH ELECTRIC CONTROL VALVES. HEADS SHALL BE PLACED TO PROVIDE 100% COVERAGE OF ALL AREAS.
5. PLANT LIST QUANTITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN LIST WITH ACTUAL PLAN CALL-OUTS, AND INSTALLING PLANTINGS PER THE LANDSCAPE PLAN. GROUND COVER QUANTITIES SHALL BE ADJUSTED AS REQUIRED FOR FIELD CONDITIONS AT THE SPECIFIED SPACING.
6. ALL PLANTS MUST BE APPROVED BY LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.

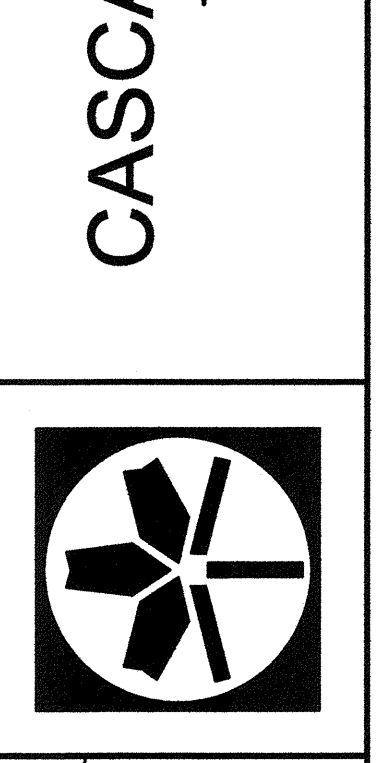
APPROVED  
FINAL LANDSCAPE PLAN  
BY:   
PLANNING DIVISION  
DATE: 10.30.16  
NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE. THE CITY IS NOT RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING DIRECTOR, DESIGNEE OR PROJECT PLANNER.



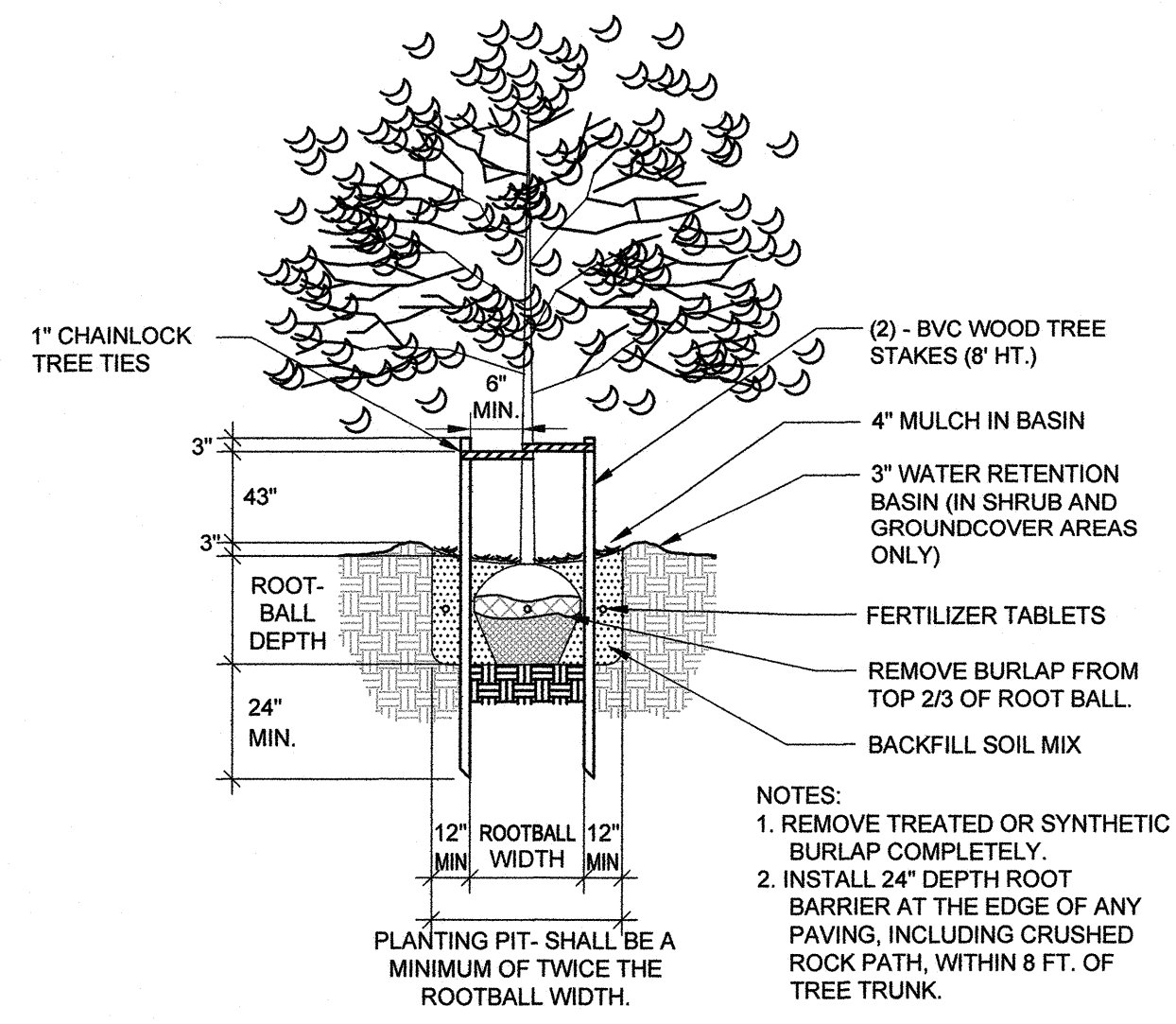
STATE OF WASHINGTON  
LICENSED  
LANDSCAPE ARCHITECT  
JEFFREY B. GLANDER  
LICENSE NO. 405  
EXPIRES ON 02-08-2017

16-0006	job no.	JEM	JBG	checked	date

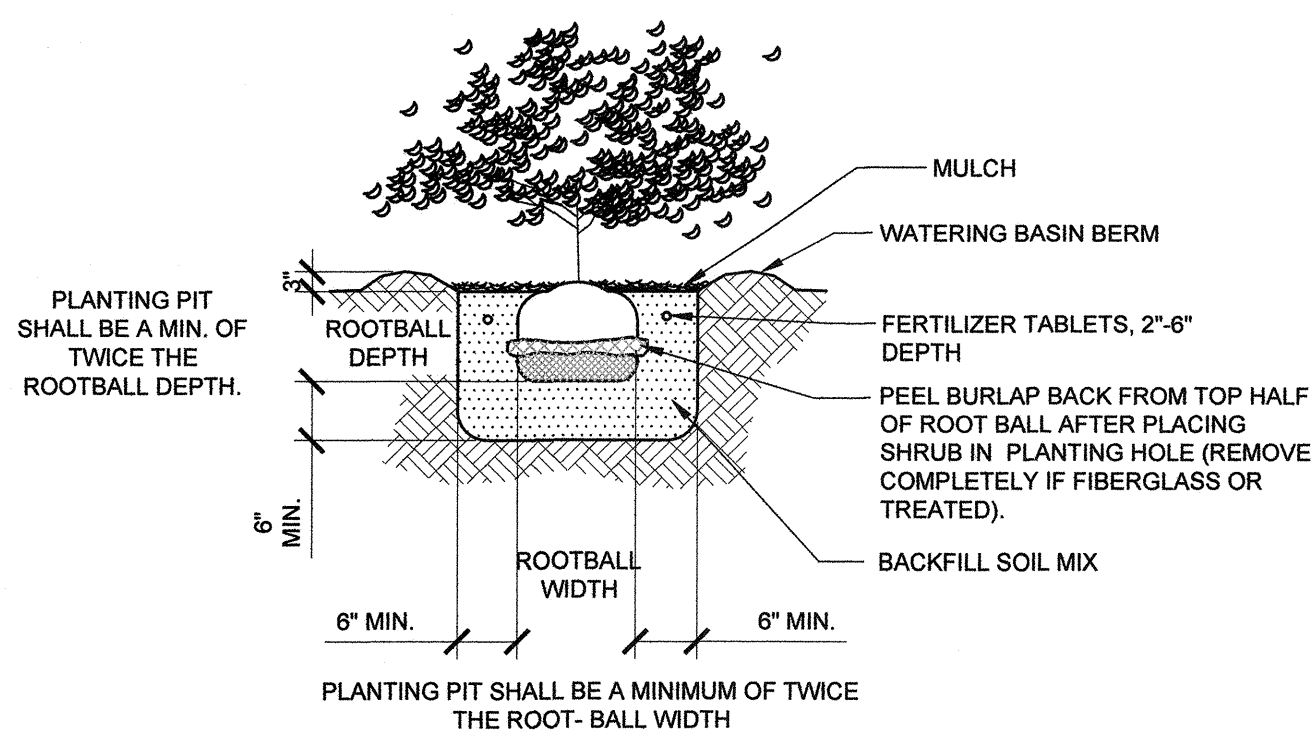
**CASCADE CHRISTIAN SCHOOL**  
PUYALLUP, WA



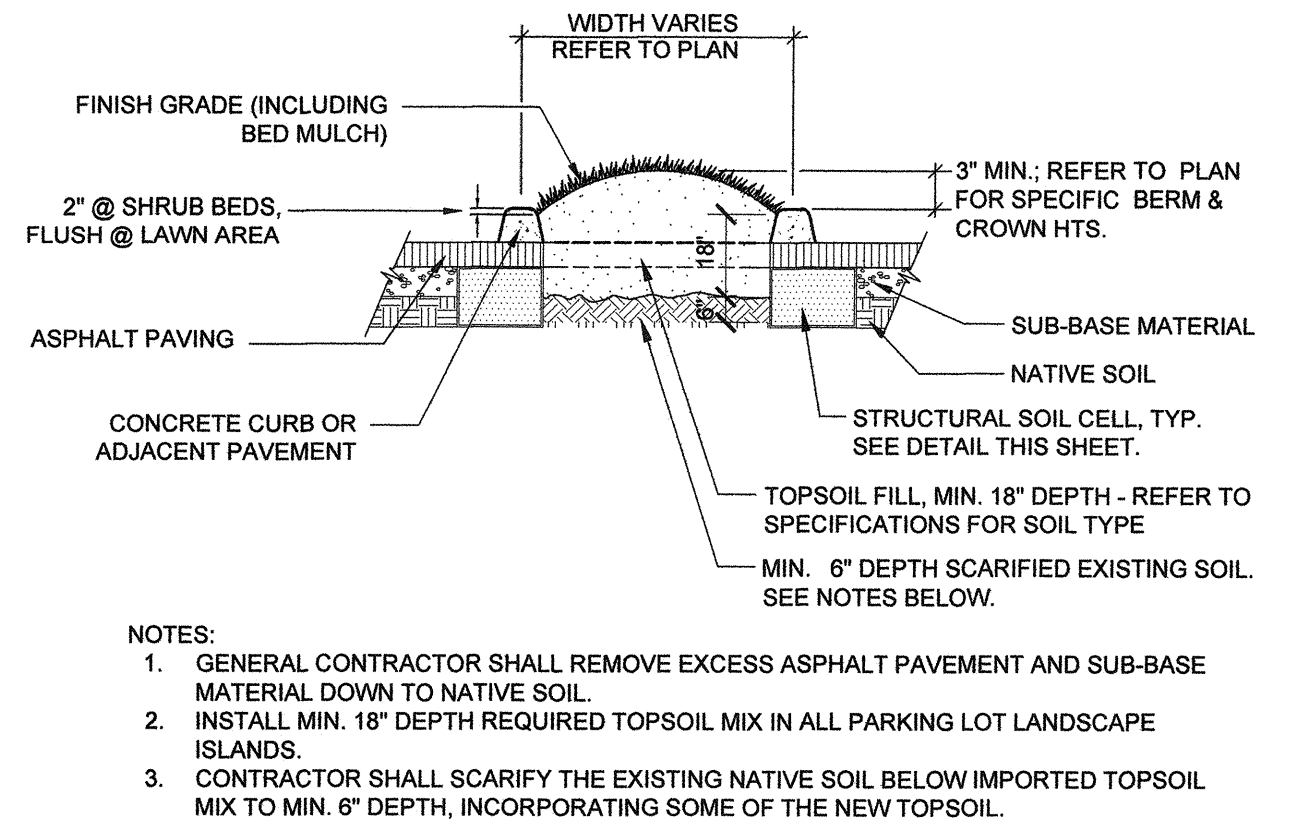
**LANDSCAPE PLAN**  
JEFFREY B. GLANDER & ASSOCIATES, PLLC  
Site Planning  
Landscape Architecture  
1821 4th Avenue E, Olympia, WA, 98506  
ph: (360) 357-6972  
fx: (360) 766-8075  
www.glanderassociates.com



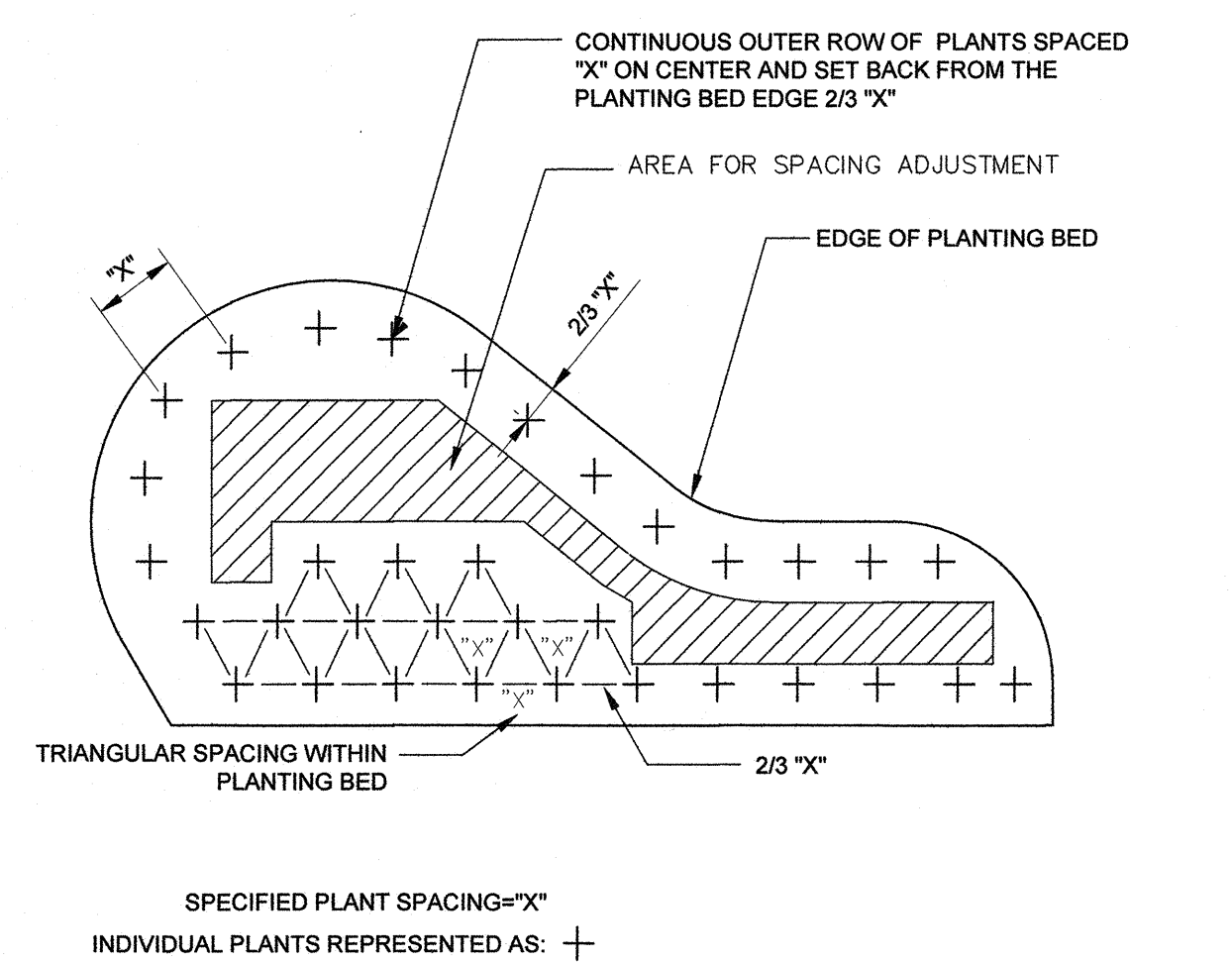
**1 TREE PLANTING & STAKING DETAIL**  
 N.T.S. 32 93-09



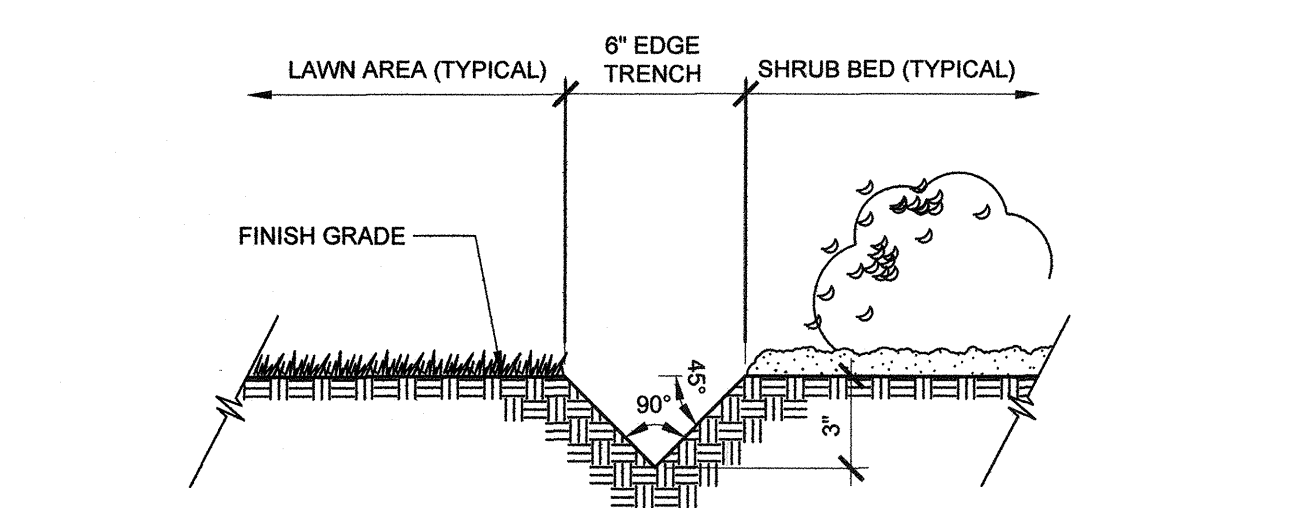
**2 SHRUB PLANTING DETAIL (B&B OR CONT.)**  
 N.T.S. 3293-01



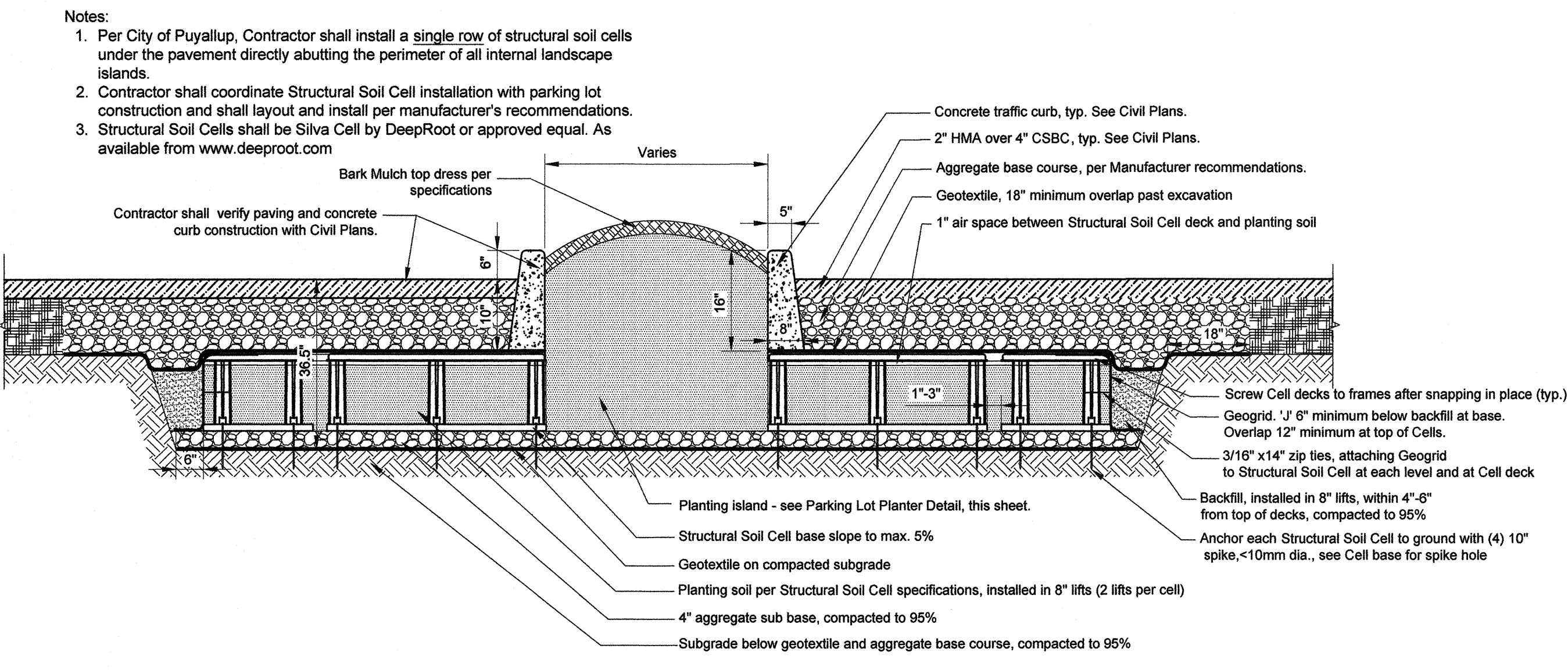
**3 PARKING ISLAND PLANTER DETAIL - PUYALLUP**  
 N.T.S. 3293-07



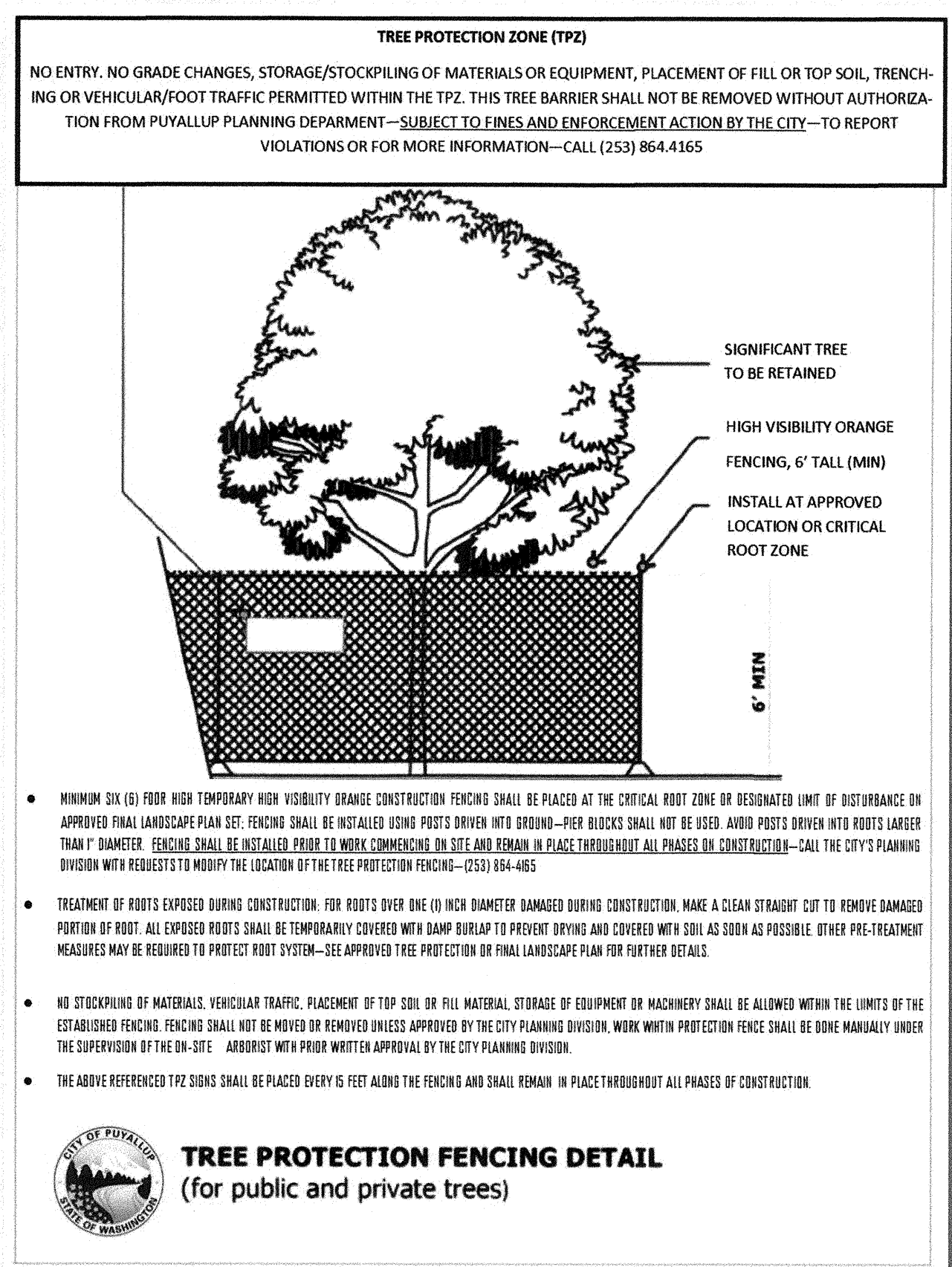
**4 PLANT SPACING DETAIL**  
 N.T.S. 3293-04



**5 LAWN EDGE DETAIL**  
 N.T.S. 329413-01



**6 STRUCTURAL SOIL CELL - PARKING ISLAND PLANTER**  
 1/2" = 1'-0" 3293-08



**7 CITY OF PUYALLUP TREE PROTECTION DETAIL**  
 N.T.S.

**LANDSCAPE SPECIFICATIONS**

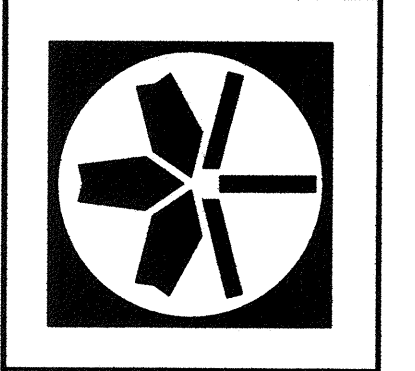
- Refer to details for additional information.
- Chemically kill and remove from site all existing weeds and vegetation not shown to remain on plans.
- Reimport topsoil (approved by the Landscape Architect) in areas shown and at depths indicated for grading and seeding of landscape areas, and backfill of retaining walls (if required). Dotted lines indicate 1' contour intervals. All landscape areas shall receive topsoil, whether indicated on plans or not, so that finish grades of all shrub beds shall be 2' below tops of adjacent curbs and pavement, and lawn areas shall be 1/2' below tops of adjacent curbs and pavement. Structural fill areas: Any landscape areas occurring within structural fill zones shall have additional structural fill materials excavated to a depth of 12" below finish grades in shrub areas and 6" below grade in lawn areas, and replaced with specified topsoil. Dispose of excavated material off site.
- The grade of landscape beds prior to planting operations.
- No plant substitutions shall be permitted without prior approval of Landscape Architect/Owner.
- All plants shall conform to the latest edition of the American Standard for Nursery Stock.
- All plant materials and plant locations shall be approved by the Landscape Architect prior to installation. All plants shall be thoroughly watered immediately after planting with Alaska Fish Fertilizer solution.
- Root barrier shall be incorporated adjacent and parallel to paving, curb and sidewalk, a minimum of 15 linear feet (7.5' on either side of trunk), 24" deep, where any tree is within 8' of paving, curb or sidewalk. Root barrier shall be DeepRoot UB-24 as available from Ewing Irrigation Products, 2901 S Tacoma Way, Tacoma, WA 98409 (253) 476-9530 or approved equal.
- Soil amendment for soil preparation and planting backfill shall be a screened 5/8" minus nitrified wood residual compost equal to:
  - A. Silver Springs Top Grade Compost brand compost as available from Cortes Resources Lake Tapps, WA (253) 279-9102.
  - B. Cedar Grove Compost brand compost as available from Cedar Grove Compost, Maple Valley, WA (877) 764-5748.
  - C. PREP/LR compost as available from Randles Sand and Gravel, Inc., Puyallup, WA (253) 537-8828.
- Soil Preparation - (all landscape areas). Spread 9 c.v. of specified soil amendment per 1000 s.f. (approx. 3" depth) of area. Spread 100 lbs./1000 s.f. of dolomite lime (in lawn areas only), 150 lbs./1000 s.f. of Agricultural Gypsum and 15 lbs./1000 s.f. of 15-5-5 commercial fertilizer over soil amendment. Roto-till all of the above to a 6"-8" depth and grade smooth, compacting as required and removing all rocks, clods and debris.
- Lawn areas (seed or sod refer to plans) shall consist of one of the following turf types:
 

60% Turf-Type Perennial Ryegrass Varieties	60% Turf-Type Perennial Ryegrass Varieties
20% Bluegrass	20% Turf-Type Fescue
20% Hard Fescue	
- Seed and sod shall be equal to that as grown by Country Green Turf Farms, Olympia, WA or JB Instant Lawn, Redmond, WA. Seed shall be applied at 7 lbs./1000 s.f. and include 10 lbs./1000 s.f. of United Horticulture 15-5-10 fertilizer in all lawn areas.
- All trees in lawn areas shall be planted in a 3' diameter circle of bed mulch.
- Backfill mix for all plants (except Rhododendrons & Azaleas) shall be a blend of 1/3 existing site soil, 1/3 coarse sand, and 1/3 soil amendment specified in No. 9. Backfill mix for Rhododendrons and Azaleas shall consist of 2/3 above specified backfill mix and 1/3 fine grind hem-fir bark mulch.
- Apply Osmocote 18-6-12, 9 month slow release fertilizer over the surface of all plant pits at the following rates:
 

Trees Over 10' Height	2 Cups	Trees Under 10' Height	1 Cup
All Shrubs Except 1 Gallon	1/2 Cup	1 Gallon Plants	1/4 Cup
Ground Covers:	1/4 Cup		
- Fertilizer tablets for all plants shall be Agriform (20-10-5) 21 gram or 10 gram tablets distributed as follows: All trees 4-21 gram tablets, all shrubs (except 1 gallon), 3-21 gram tablets, all 1 gallon, 1-21 gram tablet, all 2-1/4" and 4" pot ground covers: 1-10 gram tablet each. Set tablets directly next to rootball.
- All shrub and ground cover beds shall receive a 4" depth (6 c.v. per 1000 s.f.) of Fine Grind hem-fir bark mulch as top dressing.
- Apply a granular pre-emergent herbicide to all shrub and groundcover beds at the conclusion of the maintenance period. Do not use Casoron or Norelax Brands.
- All work shall be performed to the satisfaction of the Landscape Architect/Owner.
- All plants shall be guaranteed for one full year from date of project acceptance. All replaced plants shall be re-guaranteed. All replacements shall be made within 21 days of receiving written notice from the Owner. Contractor shall not be responsible for plants dying due to Owner neglect or vandalism, after the maintenance period.
- Plant list quantities are shown for reference only. Contractor is responsible for verifying all quantities in list with actual plan call-outs, and installing plantings per the landscape plan. Groundcover and/or mass shrub quantities shall be adjusted as required for field conditions at the specified spacing.
- Final inspection shall occur at the conclusion of a 60-day maintenance period. Maintenance period shall commence upon completion of all landscape installation activities and shall include the following:
  - A. Mow lawns once per week.
  - B. Remove all weeds over 1' in height.
  - C. Replace dead or unhealthy plants.
  - D. Ensure proper function of irrigation system.
  - E. Ensure adequate moisture is delivered to all landscape beds including non-irrigated areas.
  - F. Fertilize all lawns at conclusion of maintenance period.

16-0086	JOB NO.
JEM	DRAWN
JBS	CHECKED
03/24/16	DATE

**CASCADE CHRISTIAN SCHOOL**  
 PUYALLUP, WA



**LANDSCAPE DETAILS AND NOTES**

**JEFFREY B. GLANDER & ASSOCIATES, PLLC**  
 Site Planning  
 Landscape Architecture  
 1831 4th Avenue E, Olympia, WA 98506  
 Ph. (360) 937-6977  
 Fx. (360) 796-8973  
 www.gblanderassociates.com

sheet  
**L-2**  
 of 2

APPROVED  
 FINAL LANDSCAPE PLAN

BY:   
 PLANNING DIVISION

DATE: 6.30.16

NOTE: THIS APPROVAL IS VOID AFTER 1 YEAR FROM APPROVAL DATE.  
 THE CITY IS NOT RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING DIRECTOR, DESIGNEE OR PROJECT PLANNER.

STATE OF WASHINGTON  
 LICENSED  
 LANDSCAPE ARCHITECT

JEFFREY B. GLANDER  
 LICENSE NO. 405  
 EXPIRES ON 02-06-2017