



City of Puyallup
Planning Division
333 S. Meridian, Puyallup, WA 98371
(253) 864-4165
www.cityofpuyallup.org

PRELIMINARY*

MITIGATED DETERMINATION OF NON-SIGNIFICANCE (MDNS)

**This determination will become final if no formal appeals are filed and/or reconsideration requests are duly received*

for
CIMCO Sales
SEPA Standalone, SEPA Checklist
Project # PLSSP20230037

Date of Issuance:	May 30, 2023
Description of Proposal:	Construction of a 4,987 square foot pre-fabricated metal storage building on the existing developed site. The storage building is proposed to be used for secure covered storage. Project includes minor site development and utility work in support of new storage building.
Location of Proposal:	2315 Inter Ave, Puyallup, WA 98372
Proponent: Lead Agency Responsible Official:	Grant J Middleton, P.E. Katie Baker, AICP Planning Manager City of Puyallup Planning Division 333 S. Meridian Puyallup, WA 98371 (253) 864-4165 www.cityofpuyallup.org
City of Puyallup Permits:	Standalone SEPA, Civil construction permit (PRCCP20230336)
Zoning:	ML – limited manufacturing
Comprehensive Plan:	LM/W - Light Manufacturing/Warehousing

A. PROJECT SPECIFIC MATERIALS (INCORPORATION BY REFERENCE – WAC 197-11-635):

The subject Threshold Determination herein and associated environmental findings are based upon review of the following documents submitted by the applicant and official responses from the city in regard to the underlying permit(s). These documents are incorporated by reference, in accordance with WAC 197-11-635, and are available for public review. To request access to electronic copies of project materials, please contact Planning@PuyallupWA.gov or (253) 864-4165.

- ◆ SEPA Project Checklist, received April 07, 2023
- ◆ Critical Area Report – Confirmation of No Wetland, received April 07, 2023
- ◆ Site Plan, received April 07, 2023

- I. Notice of Application (NOA) date, consistent with WAC 197-11-355 (Optional DNS Process)
 - i. Optional DNS notice sent on April 17, 2023. Comment period expired May 03, 2023
 - ii. List of recipients, comments received, and copy of NOA materials available in project file. Contact the Lead Agency Responsible Official for further information. Email the Planning Department at Planning@PuyallupWA.gov for full copies.
-

B. RESPONSIBLE OFFICIAL FINDINGS OF CONSISTENCY

The SEPA Responsible Official for the City of Puyallup hereby makes the following findings of consistency based upon a review of the environmental checklist and attachments, other information and studies on file for the project, and the policies, plans, and regulations designated by the City of Puyallup as a basis for the exercise of substantive authority (see PMC 21.04), and under the State Environmental Policy Act (SEPA) pursuant to the Revised Code of Washington (RCW) 43.21C. The following findings of consistency apply to the project and may be referenced in future (final) permit review notes and/or conditions:

I. EARTH

- i. Erosion control measures must be in place prior to any clearing, grading, or construction. These control measures must be effective to prevent storm water runoff from carrying soil and other pollutants into surface water or storm drains that lead to waters of the state. Sand, silt, clay particles, and soil will damage aquatic habitat and are considered to be pollutants that must be controlled with temporary erosion control measures, consistent with Puyallup Municipal Code (PMC) 21.14, Clearing, Filling and Grading, in addition to any and all permits required by other agencies. Any discharge of sediment-laden runoff or other pollutants to waters of the state is in violation of Chapter 90.48 RCW, Water Pollution Control, and WAC 173-201A, Water Quality Standards for Surface Waters of the State of Washington, and is subject to enforcement action.
- ii. Based on the project geotechnical report, where available, and a review of available topography, LIDAR, mapped soils (NRCS) and geohazard area data (GIS), impacts to geologic hazard areas have been identified. All projects working within a geologic hazard area are required to comply with all applicable sections of the city's critical areas ordinance and engineering Best Management Practices.
- iii. Temporary erosion, sedimentation and construction dust control BMPs will be applied in accordance with City of Puyallup city standard section 500 – Grading, Erosion and Sedimentation Control and all engineering Best Management Practices (BMPs), in accordance with City Engineer approval.

2. AIR

- i. Watering of exposed soils during construction to suppress dust will limit impacts to ambient air quality resulting from the project improvements.
- ii. Building exhaust systems will be equipped with appropriate emission controls, where required by the Puget Sound Clean Air Agency and/or required by the Building Code Official.
- iii. Construction activities and vehicles being driven to and from the city can be anticipated to cause impacts on air quality and produce greenhouse gas emissions; no single point source of emissions that requires specific analysis on air quality and known to be present as a result of the project.
- iv. No known sources of foul or offensive odors are anticipated as a result of the project.

3. WATER

- i. Storm water runoff will be managed and treated in accordance with the currently city-adopted version of the Department of Ecology Stormwater Design Manual (See PMC 21.10.040), all

applicable city storm water standards, all applicable NPDES permit requirements, and BMPs/standard engineering practices in accordance with City Engineer approval.

- ii. The applicant shall demonstrate, to the satisfaction of the City Engineer and/or designee, that infiltration of on-site storm water is not feasible before being permitted to use alternative design(s). Where permitted, alternative designs (e.g. collection into a storm water pond and/or vault, retention/detention systems and treatment), shall adhere to all applicable city storm water requirements in city standards, shall conform to all standard engineering practices, and the applicable storm water manual design requirements as administered and approved by the City Engineer and/or designee.
- iii. The project location was not found to contain any hydrophytic vegetation, no field indications of hydric soil conditions, and no location on the project site-maintained hydrology indicative of wetlands. No areas of the project site are shown on the city's critical area maps as identified or suspected wetlands.
- iv. Where projects are shown on the city's critical area maps as being within a critical aquifer recharge area or wellhead protection zone, additional review of impacts to ground water may be triggered, in accordance with standards in the city's critical areas ordinance.
- v. Activities that do not cause degradation of groundwater or significantly impact the recharge of ground water aquifer may be permitted in a critical aquifer recharge area; provided, that the project complies with the city storm water management regulations and other applicable local, state, and federal regulations.
- vi. Groundwater diversions, dewatering activities and/or construction-related ground water withdrawals may occur as a part of this project due to presence of high/perched ground water table/levels at the time of construction. However, any ground water diversions, withdrawals, dewatering, or other forms of ground water management that occur during site construction will be mitigated using engineering BMPs, as stipulated by the city standards manual, NPDES permits, current Department of Ecology storm water manual (in effect at the time of permitting), and standard engineering practices.

4. PLANTS

- i. The project will meet PMC 20.58 Landscaping Requirements and will be consistent with the city's Vegetation Management Standards manual (PCD-5-1 I).
- ii. Any significant or heritage designated trees are required to be retained on site, where applicable. Trees and vegetation associated with critical areas, such as wetlands, steep slopes, streams/rivers, or other aquatic resources, and trees important to the overall function of adjacent or on site bird, fish and other terrestrial animals may be required to be retained, where applicable.
- iii. All trees shall be maintained in a manner consistent with accepted pruning and care standards as outlined in applicable ANSI A300 standards.

5. ANIMALS

- i. No federally listed endangered species, state threatened species or habitat, or state sensitive species are known to inhabit within the project boundaries.

6. ENERGY AND NATURAL RESOURCES

- i. The project will be compliant with the Washington State Energy code and all applicable regulations in the latest edition of the applicable version of the Building Code, as adopted by the city applicable to the project construction type.
- ii. The project is not anticipated to impact solar access for the subject property or adjacent properties.

- iii. The project is anticipated to use various forms of energy, such as local electric power, natural gas, solar, and is not anticipated or known to generate a need for power or energy that would necessitate mitigation or specific service provisions not normally anticipated by service providers.

7. ENVIRONMENTAL HEALTH

- i. If soil contamination is suspected, discovered, or occurs during the proposed construction, testing of the potentially contaminated media must be conducted. If contamination of soil or groundwater is readily apparent, or is revealed by testing, the Washington State Department of Ecology must be notified. Contact the Environmental Report Tracking System Coordinator at the Southwest Regional Office (SWRO) at (360) 407-6300.
- ii. If greater than 250 cubic yards of inert, demolition, and/or wood waste is used as fill material, a Solid Waste Handling permit may be required (WAC 173-350-990). It is the responsibility of the applicant to check with the Tacoma Pierce County Health Department for any permitting requirements that may be required.
- iii. The project is not anticipated to contain increased or unusual risks related to fire hazards, explosive materials, toxic chemical storage or manufacture, hazard waste spill risk, nor is the project anticipated or known to increase the risk of health hazards to the environment.
- iv. In addition to any required asbestos abatement procedures, the applicant should ensure that any other potentially dangerous or hazardous materials present, such as PCB-containing lamp ballasts, fluorescent lamps, and wall thermostats containing mercury are removed prior to demolition. PCBs are increasingly being found in caulking and paint. It is important that these materials and wastes are removed and appropriately managed prior to demolition. It is equally important that demolition debris is also safely managed, especially if it contains painted wood or concrete, treated wood, or other possibly dangerous materials. Please review the “Dangerous Waste Rules for Demolition, Construction, and Renovation Wastes,” on Ecology’s website at:

www.ecy.wa.gov/programs/hwtr/dangermat/demo_debris_constr_materials.html.

8. NOISE

- i. No significant adverse environmental impacts related to noise are anticipated or known to result due to the project.
- ii. Project construction noise shall be compliant with PMC 6.16 – Noise, including time limitations on construction activities starting and stopping work activities for both weekdays and weekends. Special conditions may apply to the project and additional noise mitigation may be applied by the City Engineer or Code Compliance Department during construction.

9. LAND USE, COMPREHENSIVE PLAN AND SHORELINE USE

- i. The project is located in the ML – limited manufacturing zone generally consistent with the policies adopted in the Comprehensive Plan, Shoreline Master Program, and all other plans, where applicable to the development proposal, and shall be consistent with the zoning code regulations applicable to the project.
- ii. The site development construction plans (civil, building, etc.) shall follow all applicable codes in effect at the time of final construction permit submittal and shall conform to all applicable conditions outlined in the “Final Development Review Team (DRT) letter” available in the project case file.
- iii. The site is not presently being utilized for working forest or farmland and, as such, is not converting forest farm, agricultural or other resource lands urban land uses not otherwise contemplated in the city’s Comprehensive Plan.

- iv. All demolition work will be compliant with the city’s requirements for demolition approval and will be required to notify the Puget Sound Clean Air Agency prior to demolition work commencing. Asbestos surveys and any required abatement will be required during demolition permitting/actions.
- v. The project contains the critical areas noted below. The project has been reviewed for consistency with the city’s critical areas ordinance (PMC 21.06).

CRITICAL AREA	
X	Critical aquifer recharge area
	10-year wellhead protection area
	5-year wellhead protection area
	1-year wellhead protection area
X	Geologic hazard area – Volcanic hazard area
	Geologic hazard area – Landslide hazard area
	Geologic hazard area – Erosion hazard area
X	Geologic hazard area – Seismic hazard areas
	Wetland and wetland buffer
	Fish and Wildlife Conservation Area - Stream and/or stream buffer
	Fish and Wildlife Conservation Area – General habitat area
	Flood prone area – 100-year floodplain
	Shoreline of the State

10. HOUSING

- i. The project will not adversely impact existing housing units or affect the development of housing units in the general vicinity of the project area.

11. AESTHETICS

- i. The project will be consistent with the height limitation outlined in the applicable zone district, as stipulated by the Puyallup Municipal Code (Title 20, Zoning). No view corridors were identified to be impacted as a result of the project.
- ii. The project shall comply with all applicable design review requirements, site plan design requirements, and all design review overlay district standards/guidelines, as applicable to the project, at the time of final permit submittal, or submittal to the Design Review Board for approval.

12. LIGHT AND GLARE

- i. Exterior lighting fixtures shall be shielded from above in such a manner that the bottom edge of the shield shall be below the light source. Said lighting shall be shielded so that the direct illumination shall be confined to the property boundaries of the light source. Ground-mounted floodlighting or light projection above the horizontal plane is prohibited between midnight and sunrise.
- ii. Street lighting, in accordance with city standards, will be provided as a part of the project.

13. RECREATION

- i. The project shall pay the adopted park impact fee (in the amount required by ordinance at the time of adoption) for each residential unit upon issuance of a building permit for each subject unit, per PMC 21.20.120.
- ii. The project will not disrupt, displace or otherwise adversely impact any existing recreational opportunities in the area.

14. HISTORIC AND CULTURAL RESOURCES

- i. In the event that suspected historic artifacts, cultural artifacts, or objects of suspected archaeological value are discovered during site excavation, grading or other forms of site development/construction, all work on site shall stop immediately. This applies to all development activities that involve excavation regardless of exemption from permit requirements outlined in PMC 21.14.190.
- ii. The property owner/developer shall notify the City, the State Department of Archaeology and Historic Preservation (DAHP), the Puyallup Tribe of Indians, and the Muckleshoot Indian Tribe of any such findings. In these cases, the property owner/developer shall be required to provide for a site inspection and evaluation by a professional archaeologist or historic preservation professional, as applicable, in coordination with the state and/or affected tribes.
- iii. The project applicant and/or contractor may be required to complete an Inadvertent Discovery Plan (IDP), to the approval of the city, WA State Department of Archeology and Historic Preservation and affected Tribal governments. The IDP shall be completed in a form supplied by the Department and shall be completed prior to issuance of the civil permit for the site.

15. TRANSPORTATION

- i. Per PMC 21.20.130, the applicant is required to pay a traffic impact fee (in the amount required by ordinance at the time of adoption) at the time of building permit issuance for the subject project. Traffic impact fees were calculated for the warehouse land use (0.9 pm peak hour trips).
- ii. The project shall be compliant with all standards contained in PMC title 11, Streets and Sidewalks, including roadway improvements, street trees and street lighting.
- iii. The project shall be compliant with the Comprehensive Plan Transportation Element and implementing Active Transportation Plan. Right of way width to accommodate the future addition of pedestrian and bicycle facilities.
- iv. The project shall comply with PMC 20.55 – Off-Street Parking Regulations.

16. PUBLIC SERVICES

- i. The project shall comply with the applicable parks impact fee, consistent with the currently adopted fee amount at the time of building permit issuance, per PMC 21.20.140.

17. UTILITIES

- i. Sanitary sewer service shall be provided to the development in accordance with city standards.
- ii. Electricity, natural gas, refuse/recycling collection, internet and landline telephone service is provided by private utilities; property owner and/or applicant to determine availability of those private utilities to be provided on site.

Issuance of this threshold determination does not constitute approval of the permit. This proposal will be reviewed for compliance with all applicable City codes that regulate the applicable development activities, including, but not limited to, the International Fire/Building/Residential Codes, City of Puyallup Engineering Standards, Zoning Code, Surface Water Design Manual, Impact Fees, and the Critical Areas Ordinance.

MITIGATED DETERMINATION OF NON-SIGNIFICANCE (MDNS)

The responsible official of the lead agency finds that the above-described proposal does not have a probable significant adverse impact on the environment, provided the mitigation measures (attached) are incorporated into the proposal and applied as conditions of permit issuance. The identified mitigation measures include mitigation for potential impacts to the following:

A. Historic and Cultural Resources

The full text of the identified mitigation measures appears in Attachment A to this document. The mitigation measures and the project documents upon which this determination was based are available for review at the Puyallup Development Services Center, 333 South Meridian, during normal business hours.

An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c).

This finding is made pursuant to RCW 43.21C, PMC 21.04.120 and WAC 197-11 after reviewing a completed environmental checklist and other information on file with the lead agency as well as considering mitigation measures that the agency or the applicant will implement as part of the proposal. The responsible official finds this information reasonably sufficient to evaluate the environmental impact of this proposal. This information is available to the public upon request.

COMMENTS

Consistent with WAC 197-11-355, the Lead Agency issued a Notice of Application on April 17th, 2023, with a single integrated comment period to obtain comments on the notice of application and the likely threshold determination for the proposal. Therefore, consistent with the optional DNS process outlined in WAC 197-11-355, there is no further comment period for the subject Determination.

APPEALS

Consistent with WAC 197-11-545 regarding commenting parties and agencies, an appeal the subject MDNS may be filed via a written request with the SEPA Responsible Official by applicable parties and agencies 10 days of the issuance of this MDNS, or by **3:00 pm** on June 16, 2023.

Appeals will be accepted by via the Cityview permit portal only (<https://permits.puyallupwa.gov/Portal>). Please call or email Planning prior to submission of an appeal, if possible.

- To file an appeal electronically, please visit <https://permits.puyallupwa.gov/Portal> and select “Apply for a Planning Permit”, selecting “Appeal to Hearing Examiner” from the project/permit type drop down when prompted. (14 days from issuance date).

Prior to submittal and payment of the \$650.00 appeal fee, consult PMC 21.04.205 regarding SEPA Appeals or contact the SEPA Responsible Official at Planning@PuyallupWA.gov or (253) 864-4165 to ask about the appeal procedures. Be prepared to make specific factual reasons, rationale, and/or the basis for the appeal. This determination will become final if no formal appeals are filed and/or reconsideration requests are made by the expiration date listed above.

Publication Date: June 06, 2023

Notice Published in: Tacoma News Tribune



Nabila Comstock
Assistant Planner

June 06, 2023

Date



Katie Baker, AICP
City of Puyallup SEPA Responsible Official

June 06, 2023

Date

Attachments:

- A. Mitigation Measures
- B. Site Plan
- C. Critical Area Report – Confirmation of No Wetland
- D. Environmental Checklist

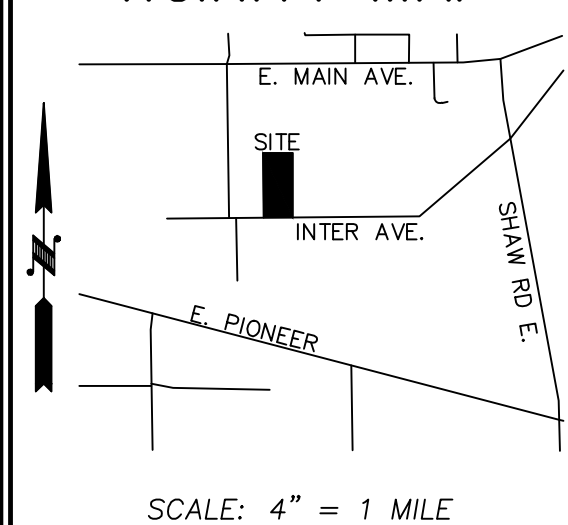
Attachment A

Mitigation Measures for Project # PLSSP20230037

I. Historic and Cultural Resources:

- a. The Puyallup Tribe of Indians has requested a cultural resource survey prior to ground disturbance as the project proposal is located in a high probability area for encountering cultural resources due to its proximity to a historic village site. The applicant must provide a cultural resource survey with their civil permit application and should be reviewed by the Puyallup Tribe of Indians.

VICINITY MAP



SCALE: 4" = 1 MILE

SHEET INDEX

C0.0	1 OF 7	COVER SHEET
C1.0	2 OF 7	T.E.S.C. & PLAN
C1.1	3 OF 7	T.E.S.C. SPECIFICATIONS
C2.0	4 OF 7	STORM PLAN
C2.1	5 OF 7	DETAILS AND SPECIFICATIONS
C2.2	6 OF 7	DETAILS AND SPECIFICATIONS
C2.3	7 OF 7	DETAILS AND SPECIFICATIONS

PARCEL NUMBER

2105200140

SITE ADDRESS

2315 INTER AVE, PUYALLUP, WA 98372

CIMCO SALES

NE 1/4, SW 1/4, SEC.26, TWN.20 N., RNG. 4 E., W.M.
COVER SHEET

FIRE HYDRANT/FDC LOCATION/ACCESS APPROVED

BY: CITY OF PUYALLUP
FIRE CODE OFFICIAL

DATE: _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE FIRE CODE OFFICIAL.

APPROVED

BY: CITY OF PUYALLUP
ENGINEERING DEPARTMENT

DATE: _____

NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE.
THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.

JOB NUMBER

9575

SCALE	HOR.	VERT.
1"=40'	1"=40'	N/A
DESIGNED JLC	DWN	CHEKED GJM
DRAWN	DWN	CHEKED GJM

PH: (253) 224-4428

RICK VELASQUEZ
13615 122ND ST E
PUYALLUP, WA 98374

PROPOSED BY:
LARSON and ASSOCIATES

surveyors, engineers & planners
9027 PACIFIC AVENUE, SUITE 4
TACOMA, WA 98444 (253) 474-3404

COVER SHEET

DATE: 3/17/2023
DRAWING NO.: 9575BASE
SHEET 1 OF 2

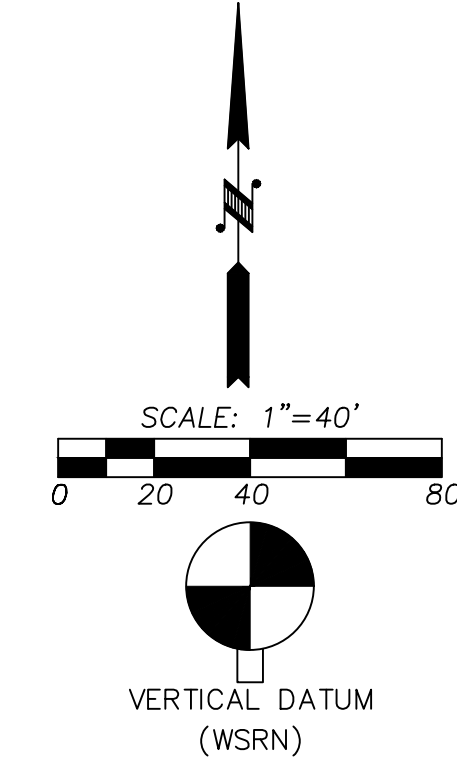
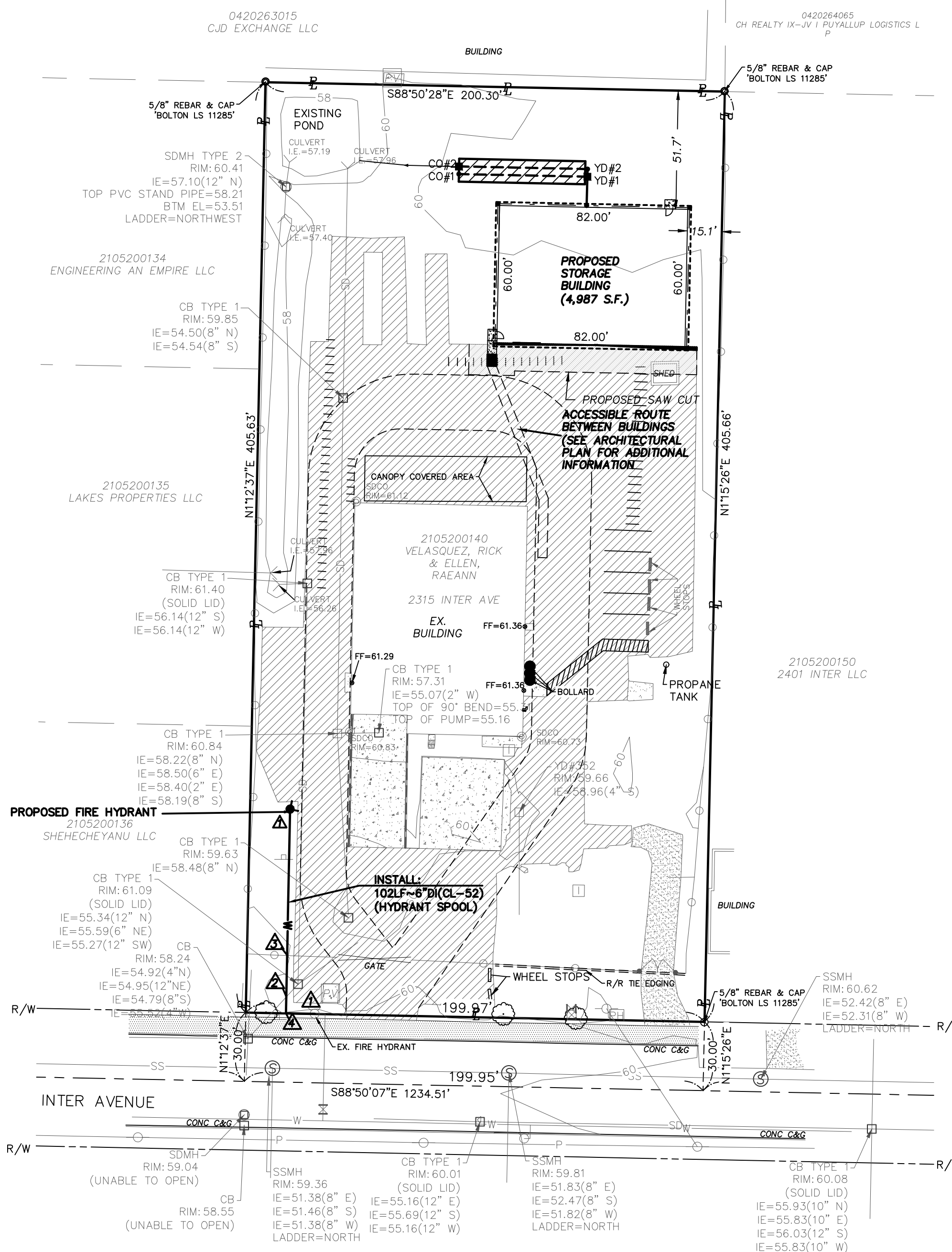
PROPERTY DESCRIPTION

(PER DEED OF TRUST, AFN 201810030016)
LOT 7, ACKERSON'S ADDITION TO PUYALLUP, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 25, RECORDS OF PIERCE COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

CONSTRUCTION NOTES:

- CONTRACTOR TO REMOVE AND RELOCATE FIRE HYDRANT ASSEMBLY AS SHOWN. SEE FIRE HYDRANT ASSEMBLY DETAIL ON SHEET C2.2.
- CONTRACTOR TO ENSURE 0.5'(MIN) VERTICAL SEPARATION BETWEEN WATER AND STORMWATER LINES.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING FENCING (AS NECESSARY) TO FACILITATE HYDRANT SPOOL EXTENSION CONSTRUCTION AS SHOWN.
- CONTRACTOR TO INSTALL 90° BEND FITTING IN WATER MAIN WITH THRUST BLOCKING PER CITY OF PUYALLUP REQUIREMENTS.



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM

NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

SURVEYOR'S REFERENCES

- (P) ACKERSON'S 2ND ADDITION TO PUYALLUP, AFN 215387
- (R1) RECORD OF SURVEY, 200801255002

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- RIGHT OF WAY
- EXISTING WATER MAIN (APPROX. LOCATION)
- EXISTING SEWER MAIN
- EXISTING STORM MAIN
- EXISTING POWER LINE
- EXISTING WIRE FENCE
- EXISTING CHAINLINK FENCE
- PROPOSED STORM LINE
- PROPOSED WATER LINE
- PROPOSED CATCH BASIN/YARD DRAIN
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- EXISTING WATER METER
- EXISTING IRR. BOX
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING STORM C/O
- EXISTING SEWER MANHOLE
- EXISTING UTILITY POLE
- EXISTING POWER VAULT
- EXISTING SIDEWALK
- EXISTING PAVEMENT
- EXISTING CONCRETE
- PROPOSED PAVEMENT GRIND/OVERLAY AREA
- EXISTING TREE

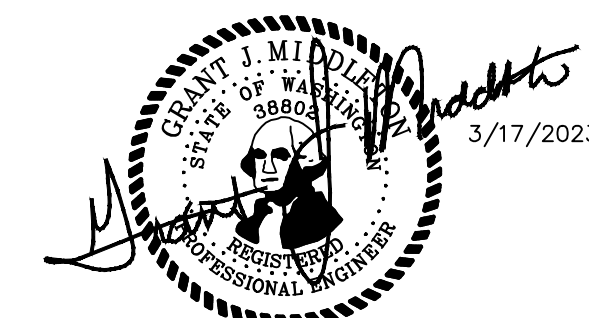
CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY CITY OF PUYALLUP AND PRIVATE ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM CITY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY

UTILITY CONFLICT NOTE:
CAUTION
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ B11 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT B11 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



C0.0

Beaver Creek Environmental Services, Inc.

March 20, 2023

M. Rick Velasquez
Cimco Puyallup
2315 Inter Ave.
Puyallup, WA 98372

c/o Larson Engineers

RE: Wetland and Drainage Corridor Evaluation and Delineation
Parcels # 2105200140, 2315 Inter Ave., City of Puyallup, WA

M. Velasquez,

As requested, we have evaluated your property for jurisdictional wetlands, streams, and required buffers. The property is located at 2315 Inter Ave., City of Puyallup. The project site is in an industrial area of the City of Puyallup.

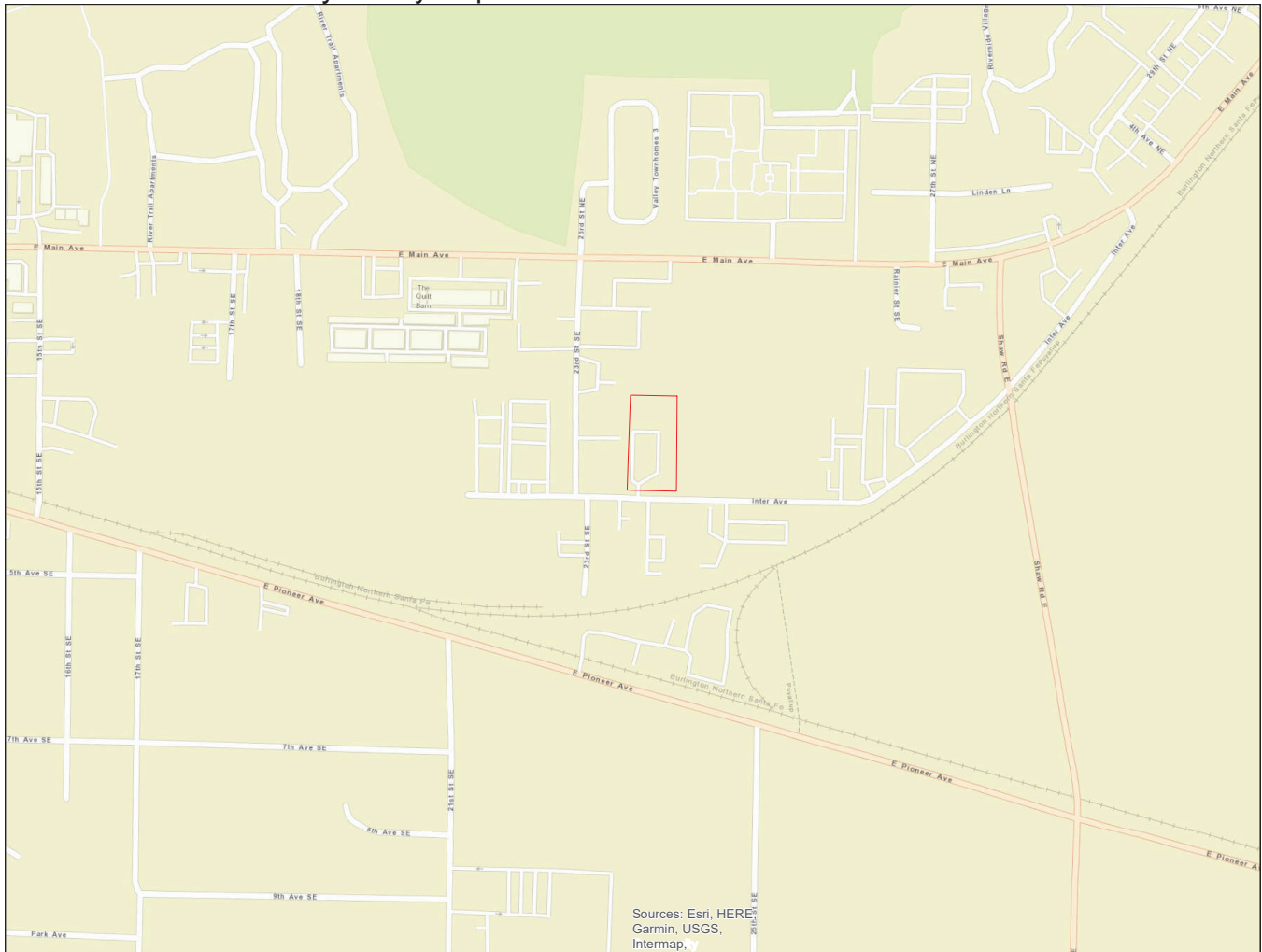


Figure 1. Vicinity Map

----- POB 731695 • Puyallup WA 98373 -----
(253) 732-6515 MHeckert@Q.com

Location and Existing Conditions

This site is rectangular, approximately 1.86 ac. The majority of the site is developed to a warehouse distribution center. There is a stormwater drain and detention facility in the northwest ¼ of the site. Commercial parcels surround the site.



Figure 2. Existing condition

Methodology

The site visit was conducted on March 15, 2023. A combination of field indicators, including: soils, vegetation, and hydrology, were used to determine whether wetlands were present. The methodology used to identify jurisdictional wetlands is described in the *Corps of Engineers (CoE) Wetland Delineation Manual - 2010 Western Mountains, Valleys, and Coast (WMVC) Regional Supplement (CoE Manual)*, Washington State Wetland Rating System for Western Washington (WSWRS), and City of Puyallup Code.

Wetlands are transitional areas between aquatic and upland habitats. In general terms, wetlands are lands where the extent and duration of saturation with water is the primary factor determining the nature of soil development and the types of plant and animal communities living in the soil and on its surface (FGDC, 2013). Wetlands are generally defined as *"those areas that are*

inundated or saturated by surface water or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions." (Pierce County Title 18E).

Wetlands exhibit three (3) essential characteristics, all of which must be present for an area to meet the established criteria within the CoE Manual. These essential characteristics are:

Hydrophytic Vegetation: Meaning a predominance of plants that are typically adapted for life in saturated soils,

Hydric Soil: Meaning soils that are saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper horizons, and;

Wetland Hydrology: Meaning permanent or periodic inundation, or soil saturation to the surface, at least seasonally.

Streams are delineated by identification of the Ordinary High-Water Mark (OHWM). The definition of the OHWM as defined by the Washington State Department of Ecology as a part of the Shoreline Management Act is:

"the mark on all lakes, streams, and tidal water that will be found by examining the bed and banks and ascertaining where the presence and action of waters are so common and usual, and so long continued in all ordinary years, as to mark upon the soil a character distinct from that of the abutting upland, in respect to vegetation as that condition exists on June 1, 1971, as it may naturally change thereafter, or as it may change thereafter in accordance with permits issued by a local government or the department: Provided, That in any area where the ordinary high water mark cannot be found, the ordinary high water mark adjoining salt water shall be the line of mean higher high tide and the ordinary high water mark adjoining fresh water shall be the line of mean high water".

Existing Documentation

National Wetland Inventory (NWI) resources (fig. 3) identifies no wetlands on the project site. Offsite to the west NWI identifies an extensive linear wetland complex, which is the riparian corridor of Deer Creek.



Figure 3. NWI map

The City of Puyallup wetlands map (Fig. 4) located no wetlands or streams on, or adjacent to, the site. Pierce County Hydro describes the stream corridor and associated wetlands of Deer Creek approximately 700 ft. west of the southwest corner of the site.

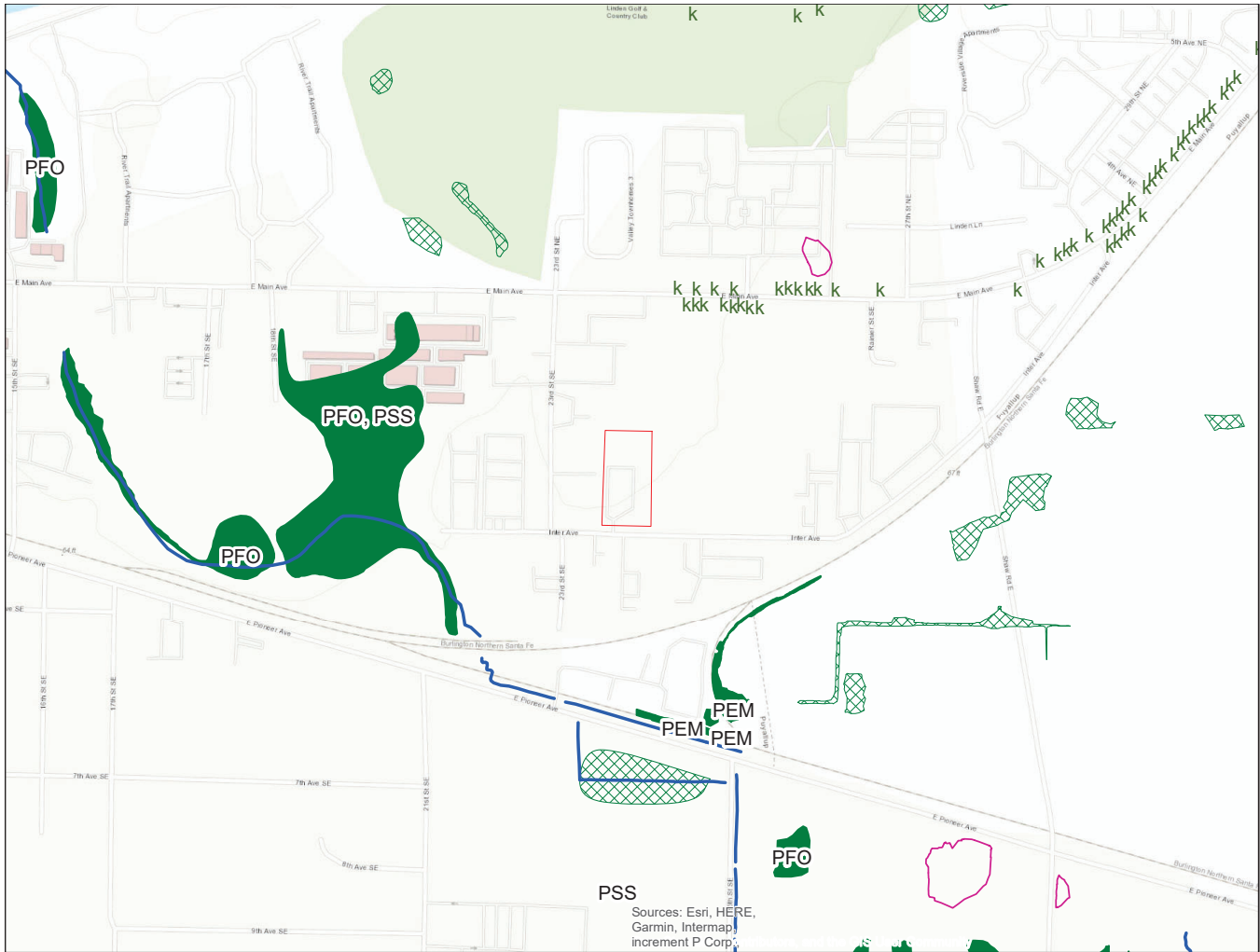


Figure 4. Puyallup Wetland & Stream Map

The soil in the site is Briscot loam, designated as “hydric” in Pierce County.

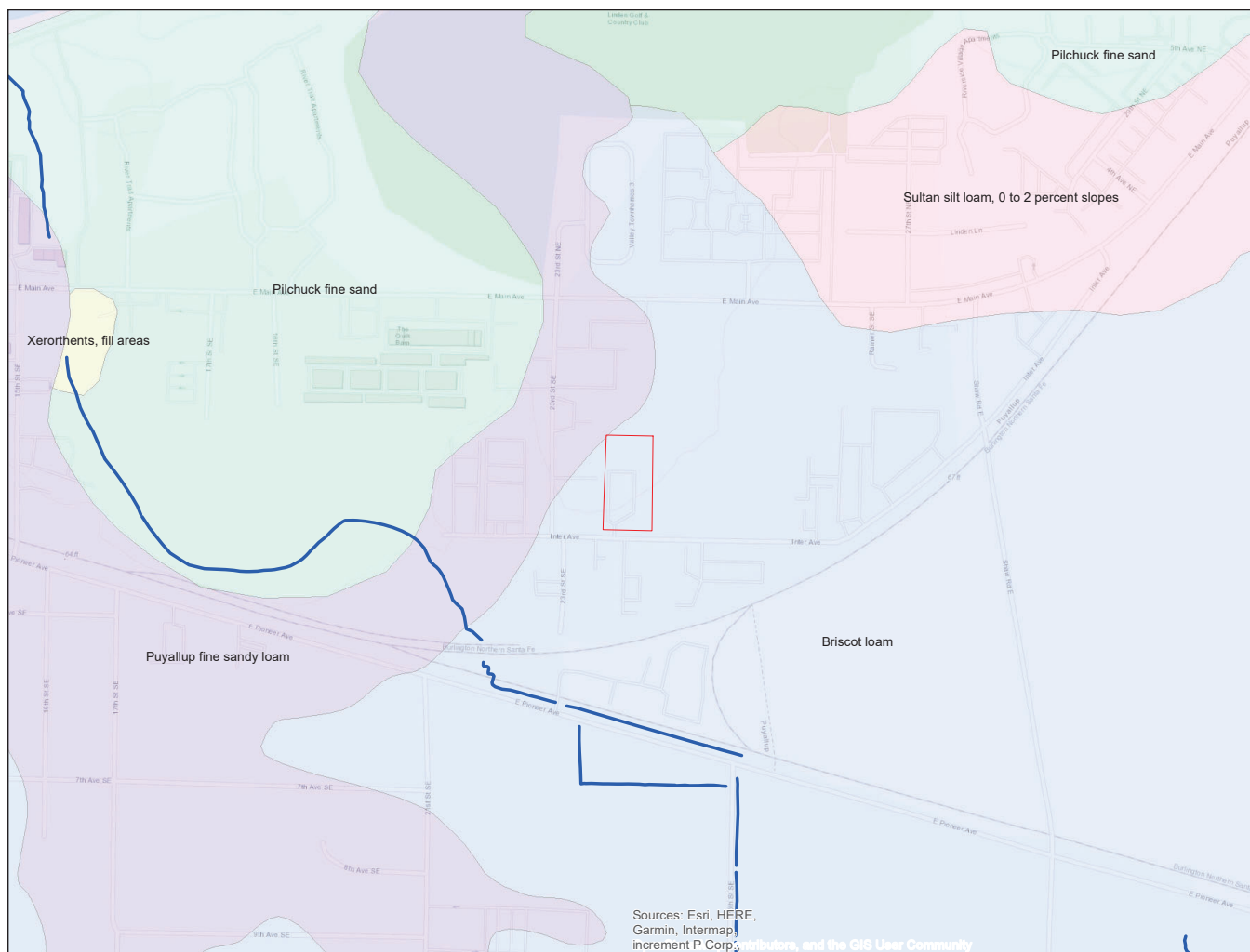


Figure 5. NRCS soil map

Previous Delineation

An *Environmentally Critical Areas Assessment* was completed on the adjacent parcel east in November 22, 2022 (City file). This assessment determined there was a Cat. 4 Wetland in the north of the site. This wetland was determined to be under size threshold for regulation and unregulated. City of Puyallup accepted and approved this determination.

A Critical Areas assessment was conducted on the parcel adjacent northeast in 2022 (Parcel # 0420264065). This study determined no wetlands in proximity to the site.

Field Observations

Onsite assessment activities encompassed the entire project site, and 315 feet from the boundary in all directions, as visible. The site is in an urban area of the city. The site is developed as a warehouse, with impermeable surface covering 70% of the parcel. The northern portion of the parcel is undeveloped.

West of the warehouse a storm ditch collects surface runoff and directs it to a detention pond in the northwest corner of the site. The remainder of the north portion is undeveloped and recently cleared of blackberry. The plant community throughout the site was identified as non-hydrophytic in character (i.e., typical of uplands). Field indicators of wetland hydrology were also absent. Soil samples thru the site were silt loam overlain with fill.

No area within 315 ft. was observed to meet the criteria for designation as wetland.

FINDINGS AND CONCLUSIONS

Onsite assessment was completed on March 15, 2023 following the methods and procedures defined within the Wash. Manual, the CoE Manual, and the WDNR Forest Practice Rules.

This assessment identified that no area on the site, or within the immediate vicinity (315 feet) of the project site, exhibited all three of the established criteria for designation as "wetland". The entire site would be best defined as urban industrial area.

No area on-site or immediately upslope exhibited evidence of seeps or springs.

No area was identified onsite that would meet the criteria for designation as a "stream."

The wetland on the parcel east was determined non-jurisdictional by City of Puyallup.

The drainage ditch and detention pond are features required to be installed at the original development (see survey, attached), and drains through a manhole to the City storm drain system. It is a required development feature and not a regulated critical area.

Thank you for allowing BCES the opportunity to assist with this project. Should you have any questions or require additional assistance please call me at 253 732-6515.

Respectfully Submitted,

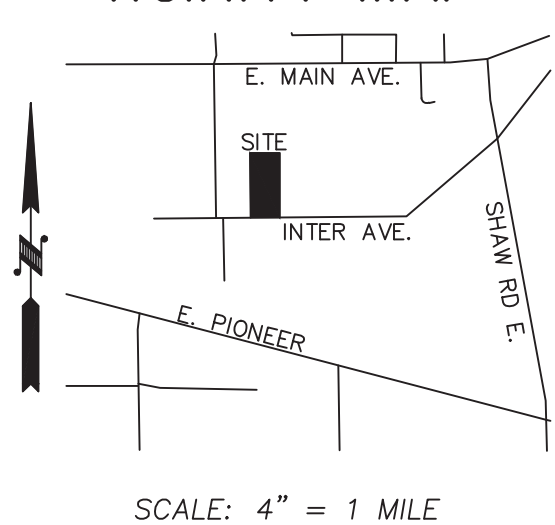
Mark Heckert

Mark Heckert

PREPARER CREDENTIALS

Wetland assessment prepared by Mark Heckert Managing Principal of Beaver Creek Environmental Services, Inc.. Mark has an AAS in Fish & Wildlife Technology and a BS in Wildlife Science. Mark has 23 years' experience in wetland delineation, impact assessment, and mitigation planning throughout the Puget sound region. Mark has completed the US Army Corps of Engineering (CoE) wetland training, Washington State Wetland Rating System, and numerous individual courses in wetland function and management, is a Preferred Consultant in King & Pierce Counties and has authored 500+ accepted critical areas reports in 14 Puget Sound jurisdictions.

VICINITY MAP



SHEET INDEX

C0.0	1 OF 7	COVER SHEET
C1.0	2 OF 7	T.E.S.C. & PLAN
C1.1	3 OF 7	T.E.S.C. SPECIFICATIONS
C2.0	4 OF 7	STORM PLAN
C2.1	5 OF 7	DETAILS AND SPECIFICATIONS
C2.2	6 OF 7	DETAILS AND SPECIFICATIONS
C2.3	7 OF 7	DETAILS AND SPECIFICATIONS

SCALE: 4" = 1 MILE

PROPERTY DESCRIPTION

(PER DEED OF TRUST, AFN 201810030016)
LOT 7, ACKERSON'S ADDITION TO PUYALLUP, ACCORDING TO THE PLAT RECORDED IN VOLUME 8 OF PLATS, PAGE 25, RECORDS OF PIERCE COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

CONSTRUCTION NOTES:

- ▲ CONTRACTOR TO REMOVE AND RELOCATE FIRE HYDRANT ASSEMBLY AS SHOWN. SEE FIRE HYDRANT ASSEMBLY DETAIL ON SHEET RS2.
- ▲ CONTRACTOR TO ENSURE 0.5'(MIN) VERTICAL SEPARATION BETWEEN WATER AND STORMWATER LINES.
- ▲ CONTRACTOR TO REMOVE AND REPLACE EXISTING FENCING (AS NECESSARY) TO FACILITATE HYDRANT SPOOL EXTENSION CONSTRUCTION AS SHOWN.
- ▲ CONTRACTOR TO INSTALL 90° BEND FITTING IN WATER MAIN WITH THRUST BLOCKING PER CITY OF PUYALLUP REQUIREMENTS.

VELASQUEZ PROPERTY

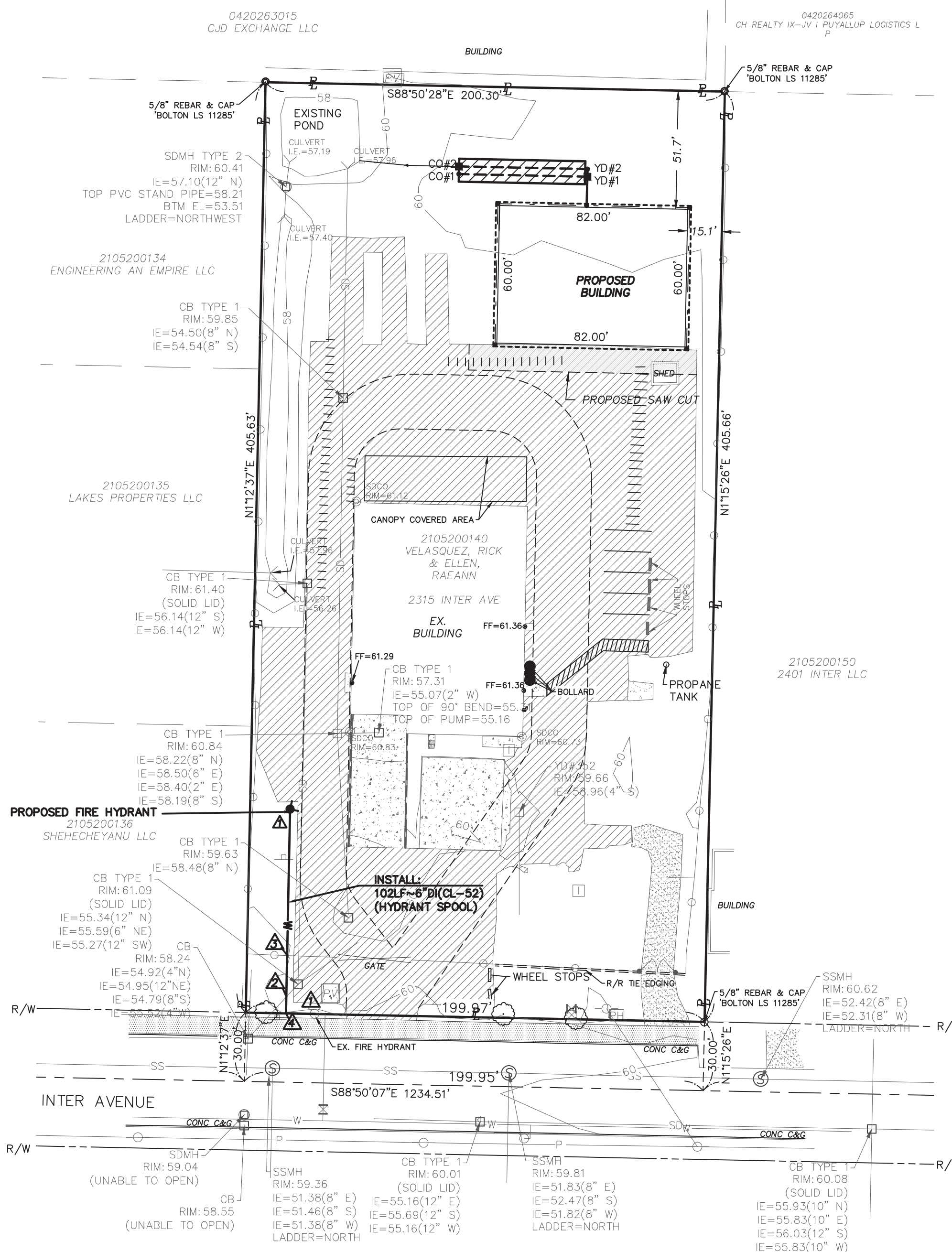
NE 1/4, SW 1/4, SEC.26, TWN.20 N., RNG. 4 E., W.M. COVER SHEET

PARCEL NUMBER

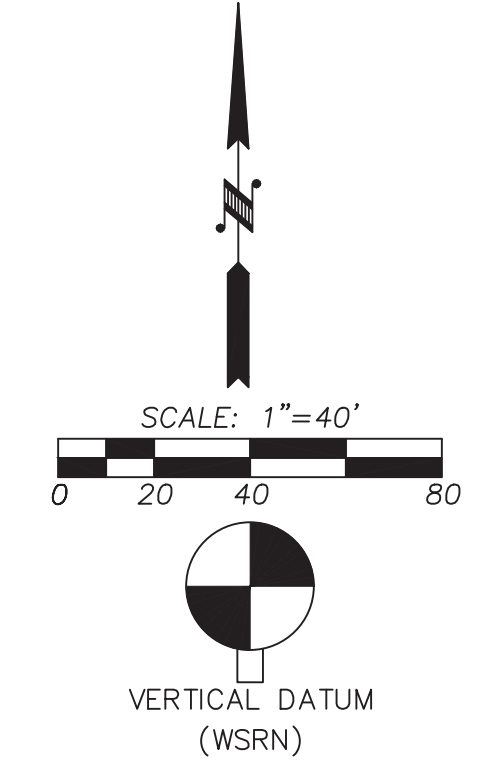
2105200140

SITE ADDRESS

2315 INTER AVE, PUYALLUP, WA 98372



FIRE HYDRANT/FDC LOCATION/ACCESS APPROVED		APPROVED		JOB NUMBER	
BY: CITY OF PUYALLUP FIRE CODE OFFICIAL		BY: CITY OF PUYALLUP ENGINEERING DEPARTMENT		9575	
DATE: _____		DATE: _____		SCALE	HOR. 1"=40'
NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE FIRE CODE OFFICIAL.		NOTE: THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE DEVELOPMENT ENGINEERING MANAGER.		DESIGNED JLC	VERT. N/A
				DRAWN	CHECKED GJM



NAVD 88 ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

CONTOUR INTERVAL=1'
TOPOGRAPHY PREPARED BY LARSON & ASSOCIATES

HORIZONTAL DATUM
NAD 83/11 WASHINGTON SOUTH ZONE
ESTABLISHED USING GPS RTK ROVER CONSTRAINED TO THE WASHINGTON STATE REFERENCE NETWORK (WSRN) STATIONS

SURVEYOR'S REFERENCES
(P) ACKERSON'S 2ND ADDITION TO PUYALLUP, AFN 215387
(R1) RECORD OF SURVEY, 200801255002

LEGEND

- P — PROPERTY LINE
- 60 — EXISTING CONTOUR
- — — — — RIGHT OF WAY
- W — EXISTING WATER MAIN (APPROX. LOCATION)
- SS — EXISTING SEWER MAIN
- SD — EXISTING STORM MAIN
- OP — EXISTING POWER LINE
- X — EXISTING WIRE FENCE
- ○ — EXISTING CHAINLINK FENCE
- SD — PROPOSED STORM LINE
- W — PROPOSED WATER LINE
- W — PROPOSED CATCH BASIN/YARD DRAIN
- W — PROPOSED CLEAN OUT
- W — PROPOSED FIRE HYDRANT
- W — PROPOSED WATER METER
- W — EXISTING WATER METER
- W — EXISTING IRR. BOX
- W — EXISTING WATER VALVE
- W — EXISTING FIRE HYDRANT
- W — EXISTING CATCH BASIN
- W — EXISTING STORM MANHOLE
- W — EXISTING STORM C/O
- W — EXISTING SEWER MANHOLE
- W — EXISTING UTILITY POLE
- W — EXISTING POWER VAULT
- W — EXISTING SIDEWALK
- W — EXISTING PAVEMENT
- W — EXISTING CONCRETE
- W — PROPOSED PAVEMENT GRIND/OVERLAY AREA
- W — EXISTING TREE

CONTRACTOR / DEVELOPER NOTE:

THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED MATERIAL TESTING, COMPACTION TESTING, AND APPLICABLE INSPECTIONS AS REQUIRED BY CITY OF PUYALLUP AND PRIVATE ENGINEER. THE CONTRACTOR SHALL SUPPLY CERTIFYING ENGINEER WITH DOCUMENTATION SIGNED BY A PROFESSIONAL SOILS AND/OR MATERIALS ENGINEER SHOWING THAT THE ROAD SECTION WAS BUILT ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. THE BACKFILL MATERIAL MEETS MINIMUM CITY/STATE REQUIREMENTS, COMPACTION WAS ACHIEVED IN ALL TRENCHES AND ROAD SECTION, AND ALL CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHOWN ON THESE PLANS HAVE BEEN FOLLOWED.

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY

UTILITY CONFLICT NOTE:
CAUTION:
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE LOCATION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ B11 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATION OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT THE PROJECT ENGINEER TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT B11 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.



PROPOSED BY: RICK VELASQUEZ
 13615 122ND ST E
 PUYALLUP, WA 98374
 PH: (253) 224-4428
 LARSON and ASSOCIATES
 surveyors, engineers & planners
 9027 PACIFIC AVENUE, SUITE 4
 TACOMA, WA 98444 (253) 474-3404
COVER SHEET
 DATE: 3/14/2023
 DRAWING NO.: 9575BASE
 SHEET 1 OF 7

C0.0



City of Puyallup
Development Services
333 S. Meridian
Puyallup, WA 98371
Tel. (253) 864-4165 Fax. (253) 840-6670

SEPA ENVIRONMENTAL CHECKLIST (2015 UPDATED VERSION)

Purpose of Checklist:

The State Environmental Policy Act (SEPA), Chapter 43.21 RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

If you are not already submitting an 8-1/2" x 11" reduction of your project site plan to the city as part of a companion case submittal, please submit a copy as a part of this SEPA application.

Please submit eight (8) copies of the completed SEPA checklist application packet.

A. BACKGROUND

1. Name of proposed project:

Cimco Sales

2. Name of Applicant:

Rick Velasquez

3. Mailing address, phone number of applicant and contact person:

13615 122nd Street East
Puyallup, WA 98374

Rick Valesquez: Owner, 253-224-4428

4. Date checklist prepared:

4/6/2023

5. Agency requesting checklist:

City of Puyallup

6. Proposed timing or schedule (including phasing, if applicable):

June/July 2023 for initial grading activities and minor improvements to parking and utilities.

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

On March 20th, 2023 a Wetland and Drainage Corridor Evaluation and Delineation was completed by Beaver Creek Environmental and no Critical Areas were found. Additionally, a geotechnical study and traffic scoping worksheet has been prepared.

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

No.

10. List any governmental approvals or permits that will be needed for your proposal, if known.

SEPA determination, building permit, grading permit, and site development.

11. Give brief, complete description of your proposal, including uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information or project description).

Construct 4,987 SF pre-fabricated metal storage building to an already developed commercial site for secure covered storage along with minor site development and utility work in support of new building.

12. Location of proposal. Give sufficient information for a person to understand the precise location of your proposed project, including street address, if any, and section, township, and range, if known. If the proposal would occur over a range of area, provide the range of boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The project site is located at 2315 Inter Avenue, Puyallup, WA 98372. More specifically site is on the north side of Inter Avenue approximately 250 feet east of 23rd Street Southeast.

B. ENVIRONMENTAL ELEMENTS

1. Earth

- a. General description of the site (circle one): Flat, rolling, hilly, steep, slopes, mountains, other Flat
- b. What is the steepest slope on the site (approximate percent slope)? 5%
- c. What general types of soils are found on the site (for example: clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Map Unit Symbol: 6A
Map Unit Description: Briscot Loam

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None Known.

- e. Describe the purpose, type and approximately quantities of any filling or grading proposed. Indicate source of fill.

Approximately 250 yards will be disturbed over the work area of the site during grading and construction of site improvements and utilities.

- f. Could erosion occur as a result of clearing, construction or use? If so, generally describe.

Slight erosion could occur during site preparation and grading. Once completed, the chance of erosion is negligible.

- g. About what percent of the site will be covered with impervious surface after project construction (for example: asphalt or buildings)?

Existing site is at approximately 55% impervious coverage.
Proposed site will have approximately 60% impervious coverage.

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

During construction an approved temporary erosion & sedimentation control plan will be in place that meets City of Puyallup's requirements. Once construction is complete, hydro-seeding exposed areas and final landscaping will reduce the likelihood of erosion

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Typical emissions related to construction activities during development. The emissions to the air will be minimal and will occur only during the actual construction of the development. Following completion of the development, low-level emissions normally associated with commercial use, vehicles, lawn care equipment, etc.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None Known.

- c. Proposed measures to reduce or control emissions or other impacts to air, if any.

Minimal impact, no mitigation proposed.

3. Water

- a. Surface Water:

- 1. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream and river it flows into.

No.

2. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No.

3. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

N/A

4. Will the proposal requires surface water withdrawals or diversions? Give general description, purpose, and approximate quantities, if known.

No.

5. Does the proposal lie within a 100-year floodplain. If so, note location on the site plan.

No.

6. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No.

b. Ground:

1. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No.

2. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: domestic sewage; industrial, containing the following chemicals.....; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

N/A. The existing site is connected to the City sanitary sewer system for sewage disposal and there are no new bathroom, floor drains or sinks proposed with this proposal.

c. Water Runoff (including storm water):

1. Describe the source of runoff (including storm water) the method of collection and disposal, if any (including quantities, if known). Where will this water flow? Will this flow into other waters? If so, describe.

A small amount of new impervious area is being created from the roof of the new 4,987 s.f. building. The stormwater runoff from the new roof area will be infiltrated in a shallow infiltration trench.

2. Could waste materials enter ground or surface waters? If so, generally describe.

No.

3. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

As previously mentioned we will be infiltrating the stormwater from the small amount of new impervious area from the roof of the new building in a shallow infiltration trench at the source.

4. **Plants**

a. Check or circle types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- pasture
- crop or grain
- orchards, vineyards or other permanent crops.
- wet solid plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

The site will be cleared of vegetation for the construction of the utilities and grading of building pad. Most of the vegetation in the pervious areas of the site consists of yard grass and blackberry's.

c. List threatened or endangered species known to be on or near the site.

None Known.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any.

At this time, additional plantings are proposed to enhance vegetation along the east side of the proposed building, in between the building and the east property line.

- e. List all noxious weeds and invasive species known to be on or near the site.

None Known.

5. Animals

- a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

Birds: hawk, heron, eagle, songbirds, other _____

Mammals: deer, bear, elk, beaver, other _____

Fish: bass, salmon, trout, herring, shellfish, other: _____

- b. List any threatened or endangered species known to be on or near the site.

None

- c. Is the site part of a migration route? If so, explain.

The entire region is known to be part of the Pacific Flyway. However, this site is not known to be used by migratory fowl.

- d. Proposed measures to preserve or enhance wildlife, if any.

Minimal impact, no mitigation proposed.

- e. List any invasive animal species known to be on or near the site.

None Known.

6. **Energy and Natural Resources**

- a. What kind of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electrical energy will be the primary power source; natural gas will be made available for heating and other needs.

- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No.

- c. What kind of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any.

The new building constructed as part of this project will meet or exceed the applicable energy conservation consumption requirements of the City of Puyallup and the applicable Building Codes in effect at the time of construction.

7. Environmental Health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

None known, highly unlikely.

1. Describe any known or possible contamination at the site from present or past uses.

None known.

2. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None known.

3. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

For the operation of construction equipment, petroleum fuels may be temporarily used on-site during project construction.

4. Describe special emergency services that might be required.

None known.

5. Proposed measures to reduce or control environmental health hazards, if any:

State hazardous materials safety and handling regulations will be followed during construction. Equipment refueling areas will be located in areas spills can be contained and where risk of hazardous materials entering surface water is minimized.

b. Noise

1. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Similar noise from adjacent commercial properties, light noise from vehicular traffic on adjacent roads and noise from rail traffic approximately 500-ft south and east of the site.

2. What types and levels of noise would be created by or associated with the project on a short-term or long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Short term: noise associated with the use of construction equipment during site development and building construction. Long term: Noise normally associated with typical commercial occupancy.

3. Proposed measures to reduce or control noise impacts, if any.

Construction activity will be limited to permitted construction hours and construction equipment will not be allowed to idle for continuous periods of time, which will help to mitigate the impacts of potential construction noise.

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

The current use of the site is commercial. Adjacent properties are all commercial as well. We do not anticipate that this proposal will affect current land uses on nearby or adjacent properties.

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to non-farm or non-forest use?

None known.

1. Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No.

c. Describe any structures on the site.

There is an existing 7,500 s.f. commercial building on-site which will remain.

d. Will any structures be demolished? If so, what?

No.

e. What is the current zoning classification of the site?

ML, Limited manufacturing zone

f. What is the current comprehensive plan designation of the site?

LM/W, light Manufacturing/Warehousing.

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

Currently there are 2 sometimes 3 employees working at this site. No additional employees are anticipated due to the addition of the secure storage building.

j. Approximately how many people would the completed project displace?

None.

k. Proposed measures to avoid or reduce displacement impacts, if any?

No impact, no mitigation proposed.

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any.

The project is surrounded by similar if not more intense uses. All elements of the project will be reviewed for compliance with the City of Puyallup requirement standards.

- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any:

N/A.

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

N/A

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle or low-income housing.

N/A

- c. Proposed measures to reduce or control housing impacts, if any.

N/A

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principle exterior building material(s) proposed?

Proposed building is 22-feet in height and the principal exterior building material is metal.

- b. What views in the immediate vicinity would be altered or obstructed?

Views from adjacent properites will be minimally impacted,if at all.

- c. Proposed measures to reduce or control aesthetic impacts, if any.

The proposed building is located in an isolated part of the existing site and shall be placed behind the existing building near the east property line. A small amount of landscaping is proposed along the east property line.

11. Light and Glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Light and glare produced from the project will be typical of a commercial/industrial development. Most light or glare will primarily consist of night time street lighting, security lighting and vehicle headlights entering and exiting the property.

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No.

- c. What existing off-site sources of light or glare may affect your proposal?

None of any significance.

- d. Proposed measures to reduce or control light and glare impacts, if any?

There will most likely not be any need for additional outside lighting. However, if additional lighting is added it will be in compliance with accepted industry standards.

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

None known.

- b. Would the proposed project displace any existing recreational uses? If so, describe.

No.

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.

No mitigation proposed.

13. Historic and Cultural Preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

None known.

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

None Known.

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

Since no impacts are expected, no specific measures have been utilized for assessing potential impacts to cultural and historic resources.

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

In the event items of possible cultural or historic significance are encountered during site construction activities, the contractor will immediately contact the City of Puyallup and Washington State Department of Archaeology & Historic Preservation.

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

The existing site connects to it's frontage road, inter avenue, a City of Puyallup Public road in two locations. No change is proposed to the existing accesses.

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

Yes. There is a public transit bus stop 1,300 feet from the site and approximately 100-ft west of the intersection of 23rd street s.e. and main street northwest of this parcel.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

None proposed.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

None anticipated.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No.

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

Per Heath and Associates Transportation & Planning Engineering traffic scoping report dated March 16, 2023, there will be 0.9 PM peak hour trips.

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No.

- h. Proposed measures to reduce or control transportation impacts, if any:

Traffic Impact fees will be paid as required by the City of Puyallup.

15. Public Services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

We do not anticipate any public services to be impacted by construction and occupancy of a 4,987 square foot secure storage building.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

Traffic Impact fees will be paid as required by the City of Puyallup. The project has been designed, constructed and will maintain adequate access for emergency vehicles.

16. Utilities

- a. Circle utilities currently available at the site:

electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other:

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

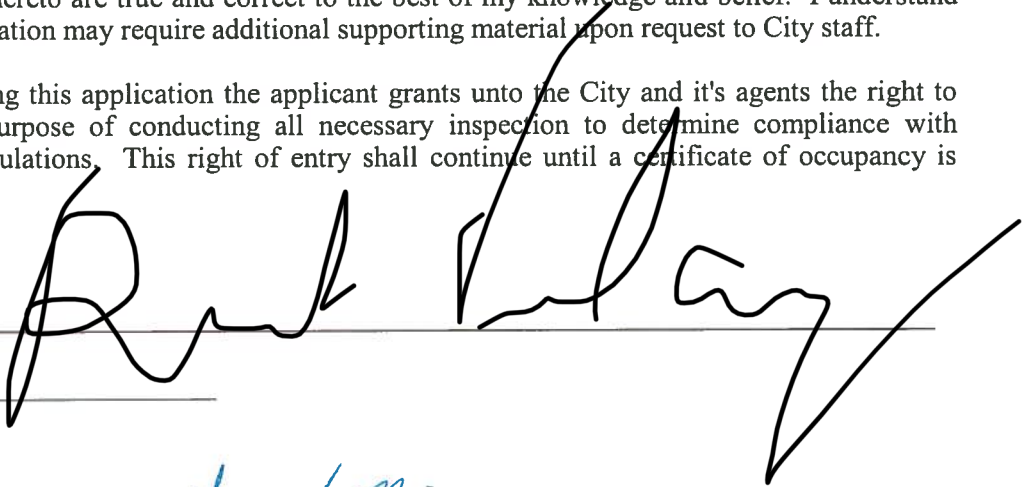
All of the above utilities exist and currently serve this project. PSE provides electrical power and gas, City of Puyallup provides sewer & water, Murray's for refuse and Comcast for phone & internet.

C. SIGNATURE

I hereby state that I am the owner or authorized agent listed above, and certify that all information contained above and in exhibits attached hereto are true and correct to the best of my knowledge and belief. I understand that the processing of this application may require additional supporting material upon request to City staff.

RIGHT OF ENTRY: By signing this application the applicant grants unto the City and it's agents the right to enter upon the premises for purpose of conducting all necessary inspection to determine compliance with applicable laws, codes, and regulations. This right of entry shall continue until a certificate of occupancy is issued for the property.

Signature of Property Owner:



Date: _____

Signature of Agent: _____



Date: 4/6/2023

I declare under penalty of perjury of the laws of the State of Washington that the foregoing is true and correct.

Dated: 4/6/2023 in Pierce County, Washington.

(Signature of Applicant) 