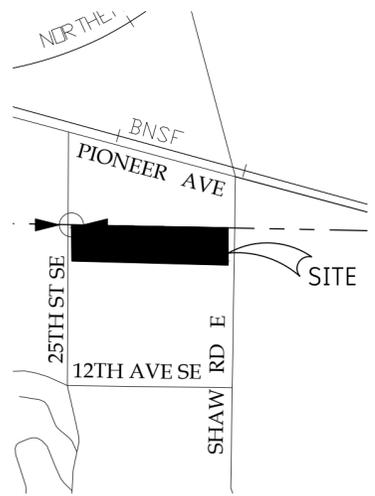


VICINITY MAP



VICINITY MAP SCALE 1" = 1000'

Mark-up Legend

- Building Review
- Engineering Review
- Fire Review
- Planning Review
- Public Works Review
- Traffic Review

**CASCADE SHAW
SHORT PLAT**

CITY OF PUYALLUP SHORT PLAT NO. P-21-0142

A PORTION OF NE 1/4, SECTION 35 TOWNSHIP 20 N. RANGE 04 E.

ORIGINAL TRACT ASSESSOR'S PARCEL NO.:

0420351003

***NOTICE:**

THE LAND CONTAINED WITHIN THIS SHORT PLAT MAY NOT BE FURTHER DIVIDED BY ANYONE WITHIN FIVE (5) YEARS OF THE ORIGINAL RECORDING DATE OF THIS SHORT PLAT WITHOUT A FORMAL SUBDIVISION HAVING BEEN FILED WITH THE PIERCE COUNTY AUDITOR.

***FUTURE PERMITS:**

THE APPROVAL OF THIS SHORT PLAT IS NOT A GUARANTEE THAT FUTURE PERMITS WILL BE GRANTED.

DEVELOPMENT ENGINEERING DIVISION

DEVELOPMENT ENGINEERING MANAGER _____ DATE _____

PLANNING DIVISION

PLANNING MANAGER _____ DATE _____

FIRE PREVENTION DIVISION

FIRE CODE OFFICIAL _____ DATE _____

ASSESSOR/TREASURER

I HEREBY CERTIFY THAT ALL STATE AND COUNTY TAXES HERETOFORE LEVIED AGAINST THE SHORT PLATTED PROPERTY DESCRIBED HEREON, ACCORDING TO THE BOOKS AND RECORDS OF MY OFFICE, HAVE BEEN FULLY PAID AND DISCHARGED.

ASSESSOR/TREASURER _____ DATE _____

BY _____

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS _____ DAY OF _____, 20____
AT THE REQUEST OF LARRY O. WALKER
AUDITOR'S FEE NO. _____
FEE: \$ _____

DEPUTY _____ COUNTY AUDITOR _____

ORIGINAL TRACT OWNERS

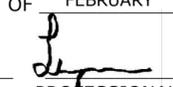
NAME: CASCADE SHAW DEVELOPMENT, LLC
ADDRESS: P.O. BOX 280
CITY/STATE/ZIP: PUYALLUP, WA 98371 PHONE: _____
EXISTING ZONING: RM-20 / CB
SOURCE OF WATER: CITY OF PUYALLUP
SEWER SYSTEM: CITY OF PUYALLUP
WIDTH AND TYPE OF ACCESS: 80' PUBLIC RIGHT OF WAY
NUMBER OF SHORT PLATTED LOTS: 2
SCALE: AS NOTED

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF:

GREG HELLE

THIS 23RD DAY OF FEBRUARY, 2023.

LICENSE NO. 49921 
PROFESSIONAL LAND SURVEYOR

DECLARATION & DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED, OWNER(S) IN FEE SIMPLE OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A SHORT SUBDIVISION THEREOF PURSUANT TO RCW 58.17.060 AND ACKNOWLEDGE THAT SAID SUBDIVISION SHALL NOT BE FURTHER DIVIDED IN ANY MANNER WITHIN A PERIOD OF FIVE YEARS, FROM DATE OF RECORDING, WITHOUT THE FILING OF A FORMAL PLAT. THE UNDERSIGNED FURTHER DECLARE THIS SHORT PLAT TO BE THE GRAPHIC REPRESENTATION OF SAID SHORT SUBDIVISION AND THE SAME IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER(S). AND HEREBY DEDICATE 10 FEET TO THE CITY OF PUYALLUP FOR PUBLIC ROADWAY PURPOSES THAT PORTION OF SAID SHORT SUBDIVISION ADJACENT TO 25TH STREET SOUTHEAST.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

SIGNATURE: _____

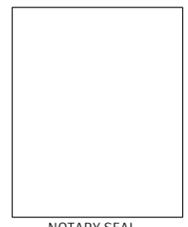
PRINTED NAME: _____

TITLE: _____ OF CASCADE SHAW DEVELOPMENT, LLC

STATE OF _____
JSS.
COUNTY OF _____

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT _____ IS THE PERSON WHO APPEARED BEFORE ME, AND ON _____ SAID PERSON ACKNOWLEDGED THAT HE OR SHE SIGNED THIS INSTRUMENT, ON OATH STATED THAT HE OR SHE WAS AUTHORIZED TO EXECUTE THE INSTRUMENT AND ACKNOWLEDGED IT AS THE _____ OF CASCADE SHAW DEVELOPMENT, LLC, INC., A WASHINGTON CORPORATION TO BE THE FREE AND VOLUNTARY ACT OF SUCH PARTY FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT. GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2021.

TYPE/PRINTED NAME: _____
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON,
RESIDING AT: _____
MY APPOINTMENT EXPIRES: _____



NOTARY SEAL

Short Plat
[Plans; Sheet 1 of 5]

LEGAL DESCRIPTION

PER FIRST AMERICAN TITLE INSURANCE COMPANY, SUBDIVISION GUARANTEE, GUARANTEE NO. 5003353-0003195E WITH A DATE OF GUARANTEE OF NOVEMBER 3, 2021.

THE NORTH HALF OF THE NORTH HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M.

EXCEPT THE EAST 30 FEET FOR SHAW ROAD;

EXCEPT THAT PORTION CONVEYED TO THE CITY OF PUYALLUP BY DEED RECORDED UNDER RECORDING NUMBER 200702120863.

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

ACCESS, UTILITY AND STORM DRAINAGE EASEMENTS/MAINTENANCE AGREEMENT

A NON-EXCLUSIVE, BLANKET TYPE ACCESS AND UTILITY EASEMENT, EXCLUDING BUILDING AREAS, IS HEREBY GRANTED TO EACH LOT, THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF INGRESS, EGRESS, THE REPAIR AND MAINTENANCE OF ALL UTILITIES, TO INCLUDE WATER, STORM DRAINAGE, POWER, NATURAL GAS, PHONE, CABLE TELEVISION, TELECOMMUNICATIONS, SANITARY SEWER AND ANY OTHER FUTURE UTILITY, ALONG WITH ALL OTHER SHARED AMENITIES, TO INCLUDE ALL APPURTENANT STRUCTURE AND FIXTURES, ALONG WITH THE RIGHT OF IMMEDIATE AND CONTINUED ACCESS FOR MAINTENANCE, REPAIR AND IMPROVEMENTS OF ANY OF THE UTILITIES AND ACCESS AREAS.

ALSO A NON-EXCLUSIVE, BLANKET TYPE STORM EASEMENT, EXCLUDING BUILDING AREAS, IS HEREBY GRANTED TO EACH LOT, THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS, TO ACCOMMODATE SHEET FLOWS PASSING FROM ONE LOT TO ANOTHER, FOR TREATMENT, COLLECTION, CONVEYANCE, RETENTION, AND DETENTION PURPOSES. TO INCLUDE ALL ASSOCIATED APPURTENANT STRUCTURES USED IN THE TREATMENT, COLLECTION, CONVEYANCE, RETENTION AND DETENTION OF STORM WATER, ALONG WITH THE IMMEDIATE AND CONTINUED RIGHT OF ACCESS FOR MAINTENANCE AND IMPROVEMENTS OF THE STORM DRAINAGE SYSTEM.

THIS SHORT PLAT WILL CONTAIN A PRIVATE STORM DRAINAGE SYSTEM. PRIVATE STORM DRAINAGE SYSTEMS ARE THE SOLE RESPONSIBILITY OF THE OWNERS, SUCCESSORS, AND ASSIGNEES FOR ALL BEING SERVED BY THE PRIVATE STORM DRAINAGE SYSTEM. RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTING, MAINTAINING, REPAIRING, AND ALLOWING CITY INSPECTION OF THE PRIVATE STORM SYSTEM IN ACCORDANCE WITH A SEPARATE RECORDED STORMWATER MANAGEMENT FACILITIES AGREEMENT TO BE FILED WITH THE PIERCE COUNTY AUDITOR.

EASEMENT

A NON-EXCLUSIVE EASEMENT IS HEREBY GRANTED TO THE PURCHASERS OF THE LOTS HEREIN, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, FOR ACCESS, INGRESS AND EGRESS OF THE PUBLIC, OVER SIDEWALKS, DRIVEWAYS, WALKWAYS, PARKING AREAS, LANDSCAPE AREAS AND OPEN SPACES FOR THE PURPOSE OF ACCESS TO INDIVIDUAL PLACES OF BUSINESS FOR EMPLOYMENT OR COMMERCE, TOGETHER WITH THE RIGHT TO ENTER UPON THE STATED ABOVE AREAS AND SPACES AT ALL TIMES FOR THE PURPOSE HEREIN STATED.

AN EASEMENT IS HEREBY RESERVED FOR AND CONVEYED TO PUGET SOUND ENERGY INC., QWEST TELEPHONE COMPANY, COMCAST CABLE COMPANY AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS UNDER AND UPON THE PRIVATE STREET(S), ALLEYS AND TRACTS IF ANY, IN WHICH TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, REPLACE AND ENLARGE UNDERGROUND PIPES, CONDUIT, CABLES AND WIRES WITH ALL NECESSARY OR CONVENIENT UNDERGROUND OR GROUND MOUNTED APPURTENANCES THERETO FOR THE PURPOSE OF SERVING THIS ~~BOUNDING~~ BOUNDING SITE PLAN WITH ELECTRIC, GAS TELEPHONE, TELEVISION AND OTHER UTILITY SERVICE, TOGETHER WITH THE RIGHT TO ENTER UPON THE STREETS, LOTS, TRACTS AND SPACES AT ALL TIMES FOR THE PURPOSE HEREIN STATED.

EASEMENT FOR LANDSCAPE IRRIGATION

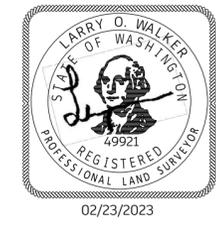
A NON-EXCLUSIVE, BLANKET TYPE EASEMENT, EXCLUDING BUILDING AREAS, IS HEREBY GRANTED TO THE PURCHASERS OF THE LOTS HEREIN, THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, FOR THE CARE AND MAINTENANCE OF THE LANDSCAPE IRRIGATION SYSTEM AND ALL ASSOCIATED STRUCTURES AND FIXTURES, WITH THE RIGHT OF IMMEDIATE AND CONTINUED ACCESS FOR THE REPAIR AND/OR IMPROVEMENT OF THE LANDSCAPE IRRIGATION SYSTEM.

NATIVE VEGETATION PROTECTION EASEMENT

A CITY OF PUYALLUP TYPE II 15 FOOT WIDE NATIVE VEGETATION PROTECTION EASEMENT IS HEREBY RESERVED ALONG THE EAST 15 FEET OF THE SOUTH 253.74 FEET OF LOTS 1 AND 2 OF THIS SUBDIVISION. SUBJECT TO THE REQUIREMENTS OF THE CITY OF PUYALLUP.

add the word "lots"
[Plans; Sheet 1 of 5]

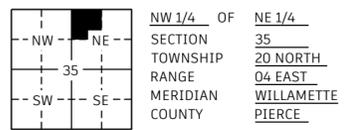
JOB NO. 03-143-6
SHEET 1 OF 5



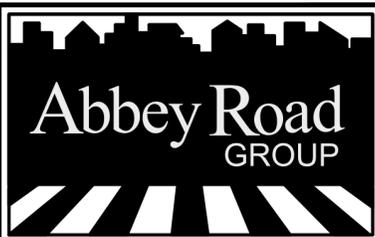
SHEET INDEX

SHEET 1 OF 5: LEGAL DESCRIPTION AND SIGNATURES
SHEET 2 OF 5: CITY OF PUYALLUP AND SURVEYORS NOTES
SHEET 3 OF 5: BOUNDARY CONTROL MAP
SHEET 4 OF 5: EXISTING CONDITIONS
SHEET 5 OF 5: LOT CONFIGURATION

AUDITOR'S INDEX



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159



CASCADE SHAW SHORT PLAT NOTES

A PORTION OF THE NW 1/4 OF THE NE 1/4, SEC. 35,
TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP SHORT PLAT NO. P-21-0142

CITY OF PUYALLUP DEVELOPMENT SERVICES ENGINEERING NOTES

- NO BUILDING PERMITS WILL BE ISSUED FOR LOT 1 AND 2 UNTIL UTILITY AND ROAD IMPROVEMENTS TO INCLUDE CURB, GUTTER, SIDEWALK, ROADWAY BASE, PAVEMENT, WATER, SANITARY SEWER, STORM INFRASTRUCTURE AND STREET LIGHTING ARE APPROVED AND PERMITTED BY DEVELOPMENT SERVICES ENGINEERING FOR ALL STREET FRONTAGES.
- OCCUPANCY FOR LOT 1 AND 2 WILL NOT BE APPROVED UNTIL SUCH TIME AS THE REQUIRED UTILITY AND ROAD IMPROVEMENTS ARE CONSTRUCTED BY THE PROPERTY OWNER AND ACCEPTED BY THE CITY.
- PORTIONS OF THE SITE ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANEL NUMBER 53053C0342E, DATED MARCH 7, 2017 AND SUBSEQUENT LOMR 18-10-0841P DATED APRIL 4, 2019. DEVELOPMENT OF THE PROPERTY SHALL ADHERE TO THE CITY'S FLOODPLAIN MANAGEMENT REGULATIONS CONTAINED IN PMC CHAPTER 21.07.
- A PRELIMINARY STORM DRAINAGE PLAN IS ON FILE FOR THIS SHORT PLAT. NO BUILDING PERMITS WILL BE ISSUED FOR ANY LOTS OF THIS SHORT PLAT UNTIL A PERMANENT STORM DRAINAGE PLAN IS APPROVED AND PERMITTED BY DEVELOPMENT SERVICES ENGINEERING.
- THE OWNERS OF LOTS 1 AND 2 SHALL RECORD A STORMWATER MANAGEMENT & BMP FACILITIES AGREEMENT, ON A FORM PROVIDED BY THE CITY, PRIOR TO FINAL BUILDING PERMIT APPROVAL AND/OR OCCUPANCY.
- NOTICE: THIS SHORT PLAT WILL CONTAIN A PRIVATE STORM DRAINAGE SYSTEM. PRIVATE STORM DRAINAGE SYSTEMS ARE THE SOLE RESPONSIBILITY OF THE OWNERS, SUCCESSORS, AND ASSIGNEES FOR ALL LOTS BEING SERVED BY THE PRIVATE STORM DRAINAGE SYSTEM. RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTING, MAINTAINING, REPAIRING, AND ALLOWING CITY INSPECTION OF THE PRIVATE STORM SYSTEM IN ACCORDANCE WITH A SEPARATE RECORDED STORMWATER MANAGEMENT FACILITIES AGREEMENT TO BE FILED WITH THE PIERCE COUNTY AUDITOR.
- NO PERMANENT STRUCTURE(S) SHALL BE ERRECTED WITHIN AND PUBLIC EASEMENT AREA(S). PERMANENT STRUCTURE(S) SHALL MEAN ANY CONCRETE FOUNDATION, CONCRETE SLAB, WALL, ROCKERY, POND, STREAM, BUILDING, DECK, OVERHANG STRUCTURE, FILL MATERIAL, TREE, RECREATIONAL SPORT COURT, CARPORT, SHED, PRIVATE UTILITY, FENCE, OR OTHER SITE IMPROVEMENTS THAT RESTRICTS OR UNREASONABLY INTERFERES WITH THE NEED TO ACCESS OR CONSTRUCT UTILITIES IN SAID EASEMENT(S). PERMANENT STRUCTURE(S) SHALL NOT MEAN IMPROVEMENTS SUCH AS FLOWERS, GROUND COVER AND SHRUBS LESS THAN 3- FEET IN HEIGHT, LAWN GRASS, ASPHALT PAVING, GRAVEL, OR OTHER SIMILAR SITE IMPROVEMENTS THAT DO NOT PREVENT THE ACCESS OF MEN, MATERIAL, AND MACHINERY ACROSS, ALONG, AND WITHIN THE SAID EASEMENT AREA. LAND RESTORATION WITHIN THE SAID EASEMENT AREA DUE TO CONSTRUCTION, SHALL MEAN PLANTING GRASS SEED OR GRASS SOD, ASPHALT PAVING, OR GRAVEL UNLESS OTHERWISE DETERMINED BY THE CITY OF PUYALLUP.
- ~~NO BUILDING PERMITS WILL BE ISSUED FOR LOT 1 AND 2 UNTIL UTILITY AND ROAD IMPROVEMENTS TO INCLUDE CURB, GUTTER, SIDEWALK, ROADWAY BASE, PAVEMENT, WATER, SANITARY SEWER, STORM INFRASTRUCTURE AND STREET LIGHTING ARE APPROVED AND PERMITTED BY DEVELOPMENT SERVICES ENGINEERING FOR ALL STREET FRONTAGES.~~
- THIS PROPERTY IS SUBJECT TO GRAVITY SEWER LATECOMER FEE TO BE PAID PRIOR TO BUILDING PERMIT ISSUANCE FOR EITHER LOT 1 OR LOT 2. REFERENCE AFN 202107061306.

Typo...should read "are".
[Plans; Sheet 2 of 5]

Delete...repeat of Note 1.
Plans; Sheet 2 of 5]

Typo...should read "202107061306".
[Plans; Sheet 2 of 5]

Add note:
This property is subject to a Sewer Lift Station Latecomer Agreement. Reference AFN 202108050859. In accordance with Section 4 of the Agreement, neither Lot 1 or Lot 2 are required to pay a latecomer fee associated with the constructed sewer lift station.
[Plans; Sheet 2 of 5]

Verify-should read "Lot 2".
[Plans; Sheet 2 of 5]

CITY OF PUYALLUP PLANNING DEPARTMENT NOTES

- LOT 2 CONTAINS A WETLAND AND/OR WETLAND BUFFER THAT IS PROTECTED BY FEDERAL, STATE AND LOCAL REGULATIONS. A WETLAND IS A PERMANENTLY, SEMI-PERMANENTLY, OR SEASONALLY FLOODED AREA OF LAND WITH A DISTINCT ECOSYSTEM BASED ON HYDROLOGY, HYDRIC SOILS, AND VEGETATION ADAPTED FOR LIFE IN WATER SATURATED SOILS. WETLANDS PROVIDE NUMEROUS BENEFITS TO THE NATURAL ENVIRONMENT INCLUDING WATER QUALITY, FLOOD CONTROL, WILDLIFE HABITAT, SHORELINE STABILITY, AND AESTHETIC VALUES. SINCE THE 1780S, WASHINGTON HAS LOST 31 PERCENT OF ITS WETLAND AREAS. WETLANDS ARE CRITICAL TO THE OVERALL HEALTH OF WATERSHEDS AND PROPERTY OWNERS ARE KEY FOR PROTECTING, RESTORING, AND MANAGING OUR STATE'S REMAINING WETLAND RESOURCES. MODIFICATION OF LAND OR VEGETATION AND/OR ENCROACHMENT/CONVERSION OF THESE AREAS IS STRICTLY PROHIBITED WITHOUT PRIOR GOVERNMENT APPROVAL.
- TRACT A CONTAINS A FISH AND WILDLIFE HABITAT AREA THAT IS PROTECTED BY FEDERAL, STATE AND LOCAL REGULATIONS. THESE AREAS SERVE A CRITICAL ROLE IN SUSTAINING NEEDED HABITATS AND SPECIFIES FOR THE FUNCTIONAL INTEGRITY OF THE ECOSYSTEM, WHICH, IF ALTERED, MAY REDUCE THE LIKELIHOOD THAT THE SPECIES WILL PERSIST OVER THE LONG TERM. PROPERTY OWNERS ARE KEY FOR PROTECTING, RESTORING, AND MANAGING OUR STATE'S REMAINING HABITAT AREAS. MODIFICATION OF LAND OR VEGETATION AND/OR ENCROACHMENT/CONVERSION OF THESE AREAS IS STRICTLY PROHIBITED WITHOUT PRIOR GOVERNMENT APPROVAL.
- LOT 2 CONTAINS A 100-YEAR FLOODPLAIN AREAS, CONTAINING A 1% CHANCE EVERY YEAR OF FLOODING/INUNDATION THAT COULD AFFECT LIFE, PROPERTY, STRUCTURES AND IMPROVEMENTS. ALL DEVELOPMENT AND LAND MODIFICATIONS OF FLOODPLAIN AREAS REQUIRE CITY APPROVAL AND CONSISTENCY WITH THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP), THE ENDANGERED SPECIES ACT (ESA), CRITICAL AREAS ORDINANCE (PMC 21.06) AND FLOOD PROTECTION ORDINANCE (PMC 21.07), AS WELL AS ANY OTHER APPLICABLE STATE, FEDERAL AND LOCAL LAWS. MODIFICATION OF LAND OR VEGETATION, ESPECIALLY LAND FILLING THAT COULD REDUCE FLOOD STORAGE CAPACITY, AND/OR ENCROACHMENT/CONVERSION OF THESE AREAS IS STRICTLY PROHIBITED WITHOUT PRIOR GOVERNMENT APPROVAL.
- THIS SITE IS WITHIN A HIGH SUSCEPTIBILITY/CRITICAL AQUIFER RECHARGE AREA. USES AND ACTIVITIES ON THIS SITE SHALL COMPLY WITH THE CITY'S CRITICAL AREA ORDINANCE (PUYALLUP MUNICIPAL CODE 21.06, ARTICLE XI). ACTIVITIES THAT DO NOT CAUSE DEGRADATION OF GROUND WATER QUALITY AND WILL NOT ADVERSELY AFFECT THE RECHARGING OF THE AQUIFER MAY BE PERMITTED IN A CRITICAL AQUIFER RECHARGE AREA AND DO NOT REQUIRE PREPARATION OF A CRITICAL AREA REPORT; PROVIDED, THAT THEY COMPLY WITH THE CITY STORM WATER MANAGEMENT REGULATIONS AND OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- THIS SITE IS WITHIN A VOLCANIC HAZARD AREA. IN THE EVENT OF AN ERUPTION OF MT. RAINIER, THE SITE IS EXPECTED TO BE INUNDATED BY PYROCLASTIC FLOWS, LAVA FLOWS, DEBRIS AVALANCHE, INUNDATION BY DEBRIS FLOWS, LAHARS, MUDFLOWS, OR RELATED FLOODING RESULTING FROM VOLCANIC ACTIVITIES. USES AND ACTIVITIES ON THIS SITE SHALL COMPLY WITH CITY'S CRITICAL AREA ORDINANCE (PUYALLUP MUNICIPAL CODE 21.06, ARTICLE XII, SECTION 21.061260, OR SUCCEEDING SECTION, REGARDING VOLCANIC HAZARD AREAS.

CITY OF PUYALLUP TRAFFIC DEPARTMENT NOTES

- LOTS 1 AND 2 MAY ONLY ACCESS SHAW ROAD FROM THE NORTHEASTERLY 75.15 FEET OF LOT 1, ALONG THE EASTERLY LINE THEREOF, ABUTTING SHAW ROAD.

SURVEYORS NOTES

- THE PURPOSE OF THIS SURVEY IS FOR CONTEMPLATED FUTURE PLANNING AND DEVELOPMENT OF THE SUBJECT PARCEL.
- DATE OF SURVEY: JANUARY AND FEBRUARY OF 2015, JUNE OF 2016, MARCH AND JULY OF 2019, JANUARY AND FEBRUARY OF 2020.
- THIS SURVEY DOES NOT PURPORT TO SHOW ANY EASEMENTS OF RECORD. THERE MAY EXIST MATTERS OF TITLE OR EASEMENTS NOT SHOWN HEREON. FULL RELIANCE WAS PLACED UPON THE SUPPLIED TITLE REPORT STATED HEREIN.
- IN ACCORDANCE WITH REVISED CODE OF WASHINGTON (R.C.W.) 58.09 AND THE WASHINGTON ADMINISTRATIVE CODE (W.A.C.) 332-130, THIS SURVEY MAY DEPICT OCCUPATIONAL INDICATORS THAT DIFFER FROM THE DEEDED LOT LINES (SUCH AS FENCES, ETC.). THESE INDICATORS, IF AT ALL PRESENT, MAY REPRESENT A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE. THIS SURVEY DOES NOT PURPORT TO RESOLVE SUCH MATTERS.
- THE CONTOUR INTERVAL AS SHOWN HEREON IS 1 FOOT AND IS GENERATED FROM DIRECT FIELD OBSERVATIONS.
- THE UTILITIES SHOWN HEREON, IF ANY, ARE BASED UPON SURFACE EVIDENCE FIELD OBSERVATIONS. UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON.
- THE LIMITS OF TOPOGRAPHY AS AGREED UPON BETWEEN ABBEY ROAD GROUP AND THE CLIENT WERE LIMITED THE SUBJECT PARCEL AND FULL RIGHT OF WAY WIDTHS OF ABUTTING ROADS 50 FEET NORTH/SOUTH +/- OF THE SUBJECT PARCEL.
- THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF CASCADE SHAW DEVELOPMENT, LLC AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR PERSONS WITHOUT EXPRESS CERTIFICATION BY SURVEYOR NAMING SAID PARTY.

BASIS OF BEARINGS

HELD PUBLISHED NAD 83/91 STATE PLANE SOUTH ZONE GRID BEARING OF N 88° 57' 20" W AS OBSERVED BETWEEN THE NORTHEAST SECTION CORNER OF SECTION 35 TO THE NORTHWEST SECTION CORNER OF SECTION 35. THE NORTHEAST SECTION CORNER BEING PUBLISHED PIERCE COUNTY HORIZONTAL CONTROL DESIGNATION 86 AS HELD BY THE WASHINGTON COUNCIL OF COUNTY SURVEYORS (W.C.C.S.) SURVEY CONTROL DATA SHEET. SAID PUBLISHED GRID COORDINATES WERE HELD. THE NORTHWEST SECTION CORNER BEING PUBLISHED PIERCE COUNTY HORIZONTAL CONTROL DESIGNATION 461 AS HELD BY THE WASHINGTON COUNCIL OF COUNTY SURVEYORS SURVEY CONTROL DATA SHEET. SAID PUBLISHED GRID COORDINATES WERE HELD FOR ROTATION ONTO THE AFOREMENTIONED PUBLISHED GRID BEARING.

HORIZONTAL DATUM

NAD 83/91 STATE PLANE, SOUTH ZONE AS COMPUTED FROM DATA SHEETS AS HELD BY THE WASHINGTON STATE COUNCIL OF COUNTY SURVEYORS (W.C.C.S.). ALL DISTANCES SHOWN HEREON ARE GROUND. UNIT OF MEASUREMENT IS U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 88

AS DEFINED BY THE NATIONAL GEODETIC SURVEY (NGS) PROJECT BENCHMARK DESIGNATION: 21 010 PID: DL2774 PUBLISHED ELEVATION: 75.70 FEET (NAVD 88) DESCRIPTION: ENCASED STEEL ROD LOCATED IN EASTERLY GRAVEL SHOULDER AT THE INTERSECTION OF PIONEER WAY AND 134TH AVE E

METHODOLOGY AND EQUIPMENT

THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH A TOPCON PS 103A 3" TOTAL STATION AND TOPCON GR-3 GPS RECEIVER AND WSRN (WASHINGTON STATE REFERENCE NETWORK) UTILIZING ROVER/NETWORK RTK TECHNIQUES AND TOGETHER WITH TOPCON AT-B2 AUTOLEVEL WITH CLOSED LOOP LEVELING THAT MEETS OR EXCEEDS THOSE STANDARDS IDENTIFIED BY WAC 332-130-090.

REFERENCES

- RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT AFN 200303315001
- PIERCE COUNTY SHORT PLAT AFN 9303010321
- RECORD OF SURVEY AFN 200201315001
- CITY OF PUYALLUP BOUNDARY LINE REVISION 08-84-004 AFN 200808195012
- PIERCE COUNTY LARGE LOT DIVISION AFN 8210040207
- PLAT OF PUYALLUP HIGHLANDS PHASE 1 AFN 200707165007
- RECORD OF SURVEY AFN 2038
- CITY OF PUYALLUP BOUNDARY LINE REVISION NO P-18-0170 AFN 201904225001
- CITY OF PUYALLUP SHORT PLAT AFN 9601180513
- CITY OF PUYALLUP SHORT PLAT 110-78 AFN 78-900
- CITY OF PUYALLUP BOUNDARY LINE REVISION 04-84-011 AFN 200409085002
- RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT/LOT CONSOLIDATION CASE NO. 95-84-010 AFN 9512110261
- PLAT OF DIANE'S FAITHFUL LANE AFN 200810155003
- PIONEER CROSSING BINDING SITE PLAN AFN 201210305003

TITLE REPORT EXCEPTIONS NOTES

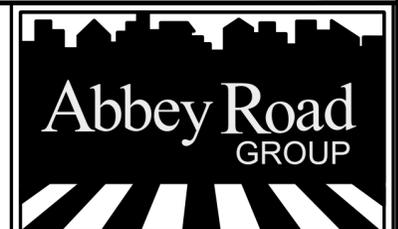
- NOT AN SURVEY ITEM.
- NOT AN SURVEY ITEM.
- NOT AN SURVEY ITEM.
- RIGHTS TO DIVERT AND APPROPRIATE WATER FOR RAILROAD PURPOSES CONTAINED IN INSTRUMENT RECORDED JANUARY 7, 1904 UNDER RECORDING NO. 171705. SAID DOCUMENT IS ILLEGIBLE AND THE LIMITS THEREOF HAVE NOT BEEN DETERMINED THIS SURVEY.
- MATTERS SET FORTH BY SURVEY: RECORDED: AUGUST 31, 1994 RECORDING NO.: 9408310369
- MATTERS SET FORTH BY SURVEY: RECORDED: JANUARY 18, 1996 RECORDING NO.: 9601180513
- GRANT OF EASEMENTS AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED: APRIL 12, 2011 RECORDING NO.: 201104120404 REGARDING: ROAD AND DRIVEWAY ACCESS, CURB CUTS AND WALKWAYS FOR VEHICULAR ACCESS SAID GRANT OF EASEMENTS DOCUMENT HAS BEEN AMENDED BY DOCUMENT UNDER AFN 201705300235 (EXCEPTION NO. 9). SAID DOCUMENT CREATES EASEMENTS AS PLOTTED ON SHEETS 5 AND 7 OF 9 OF THIS SHORT PLAT. SAID EASEMENT HAS BEEN PLOTTED HEREON.
- AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED: SEPTEMBER 12, 2013 RECORDING NO.: 201309120364 REGARDING: ACCESS EASEMENT, UTILITIES, LANDSCAPING IT IS IN THIS SURVEYORS OPINION THAT THIS DOCUMENT IS A RECORDING OF GRANT OF EASEMENTS AS RECORDED UNDER AFN 201104120404 (EXCEPTION NO. 7). SAID EASEMENT HAS BEEN PLOTTED HEREON.
- AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED: MAY 30, 2017 RECORDING NO.: 201705300235 REGARDING: USE OF SEWER EASEMENT THIS DOCUMENT AMENDS PREVIOUSLY RECORDED AGREEMENT UNDER AFN 201104120404 BY REPLACING EXHIBIT C OF THE 2011 AGREEMENT WITH EXHIBIT B OF THIS AMENDED AGREEMENT. SAID EXHIBIT B OF THE 2017 AGREEMENT DOES NOT DEPICT OR DESCRIBE ANY UTILITY EASEMENTS.
- PRIVATE STREET MAINTENANCE AGREEMENT AND RESTRICTIVE COVENANT AND THE TERMS AND CONDITIONS THEREOF: RECORDED AS DOCUMENT #20191270861 IN THE OFFICIAL RECORDS. SAID AGREEMENT AREA IS NOT DEFINED BY A LEGAL DESCRIPTION IN THE RECORDED DOCUMENT. AN ASSOCIATED EXHIBIT B IN THE RECORDED DOCUMENT DEPICTS A HATCHED AREA AS THE AGREEMENT AREA. THIS SURVEY DEPICTS A ROAD IN THE SAME AREA. IT IS UNKNOWN TO THIS SURVEYOR THE EXACT LIMITS OF THE CALLED FOR "ROAD" IN SAID RECORDED DOCUMENT. IT IS ASSUMED BY THIS SURVEYOR THAT LIMITS THEREOF ARE TO THE BACK OF CURB.
- EASEMENT AND THE TERMS AND CONDITIONS THEREOF: GRANTEE: CITY OF PUYALLUP PURPOSE: UTILITIES AREA AFFECTED: A PORTION OF SAID PREMISES RECORDED: DECEMBER 10, 2019 RECORDING NO.: 201912100283 UTILITIES EASEMENT GRANTED TO CITY OF PUYALLUP. SAID EASEMENT HAS BEEN PLOTTED HEREON. SEE SHEET 6 OF 9 OF THIS SHORT PLAT FOR DEPICTION.
- MATTERS SET FORTH BY SURVEY RECORDED AS DOCUMENT #202003025002 IN THE OFFICIAL RECORDS. REFERENCES RECORD OF SURVEY PERFORMED BY ABBEY ROAD GROUP AS RECORDED IN 2020.
- NOT AN SURVEY ITEM.



02/23/2023

JOB NO. 03-143-6
SHEET 2 OF 5

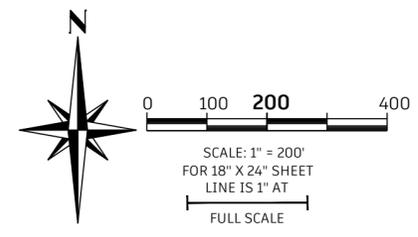
Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159



CASCADE SHAW

SHORT PLAT BOUNDARY CONTROL MAP

A PORTION OF THE NW 1/4 OF THE NE 1/4, SEC. 35,
TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON



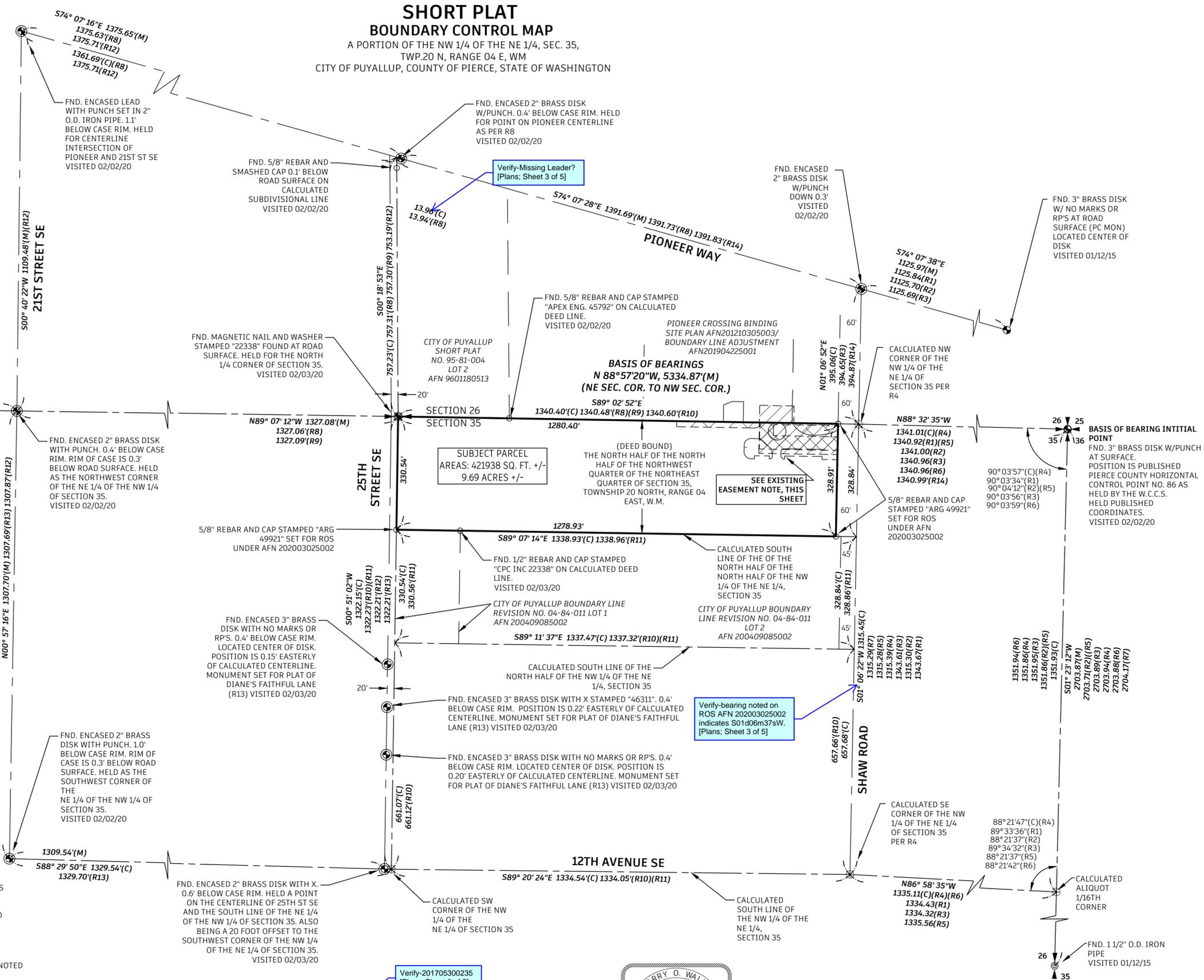
BASIS OF BEARINGS SECONDARY POINT
FND. MAGNETIC NAIL AND 4 R.P.S. HELD AS THE NORTHWEST CORNER OF SECTION 35 AS PER R8
POSITION ALSO BEING PUBLISHED PIERCE COUNTY HORIZONTAL CONTROL POINT NO. 461 AS HELD BY THE W.C.C.S.
HELD PUBLISHED COORDINATES FOR ROTATION ONTO INVERSED GRID BEARING.
VISITED 02/02/20

S89° 06' 36"E
1326.42'(M)
1326.37'(R8)
1326.43'(R12)



LEGEND

- (M) MEASURED
- (C) CALCULATED
- (RX) SEE REFERENCED DOCUMENTS ON SHEET 2 OF 8
- FOUND MONUMENT AS NOTED
- FOUND REBAR AND CAP AS NOTED
- CALCULATED MONUMENT AS NOTED
- SECTIONAL SUBDIVISIONAL LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY MARGIN
- SUBJECT PARCELS DEED LINE
- EASEMENT LINE



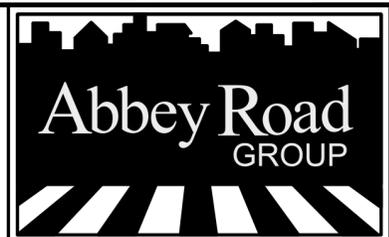
EXISTING EASEMENT NOTE

- THE AREA DEPICTED HEREON CONTAINS THE FOLLOWING EASEMENTS AND AGREEMENT AREAS AS FOLLOWS:
- GRANTS OF EASEMENT AFN 201104130004 AS AMENDED BY AGREEMENT REGARDING USE OF SEWER EASEMENT AFN 20170500235
 - UTILITIES EASEMENT AFN 2011041300083
 - PERPETUAL AND LICENSED LANDSCAPE EASEMENTS PER AFN 201705300235
 - PRIVATE STREET MAINTENANCE AGREEMENT AFN 201911270861



02/23/2023
JOB NO. 03-143-6
SHEET 3 OF 5

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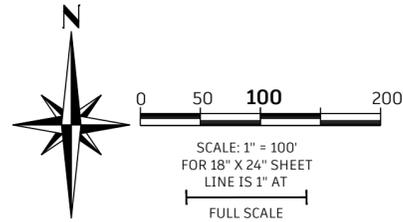


CASCADE SHAW

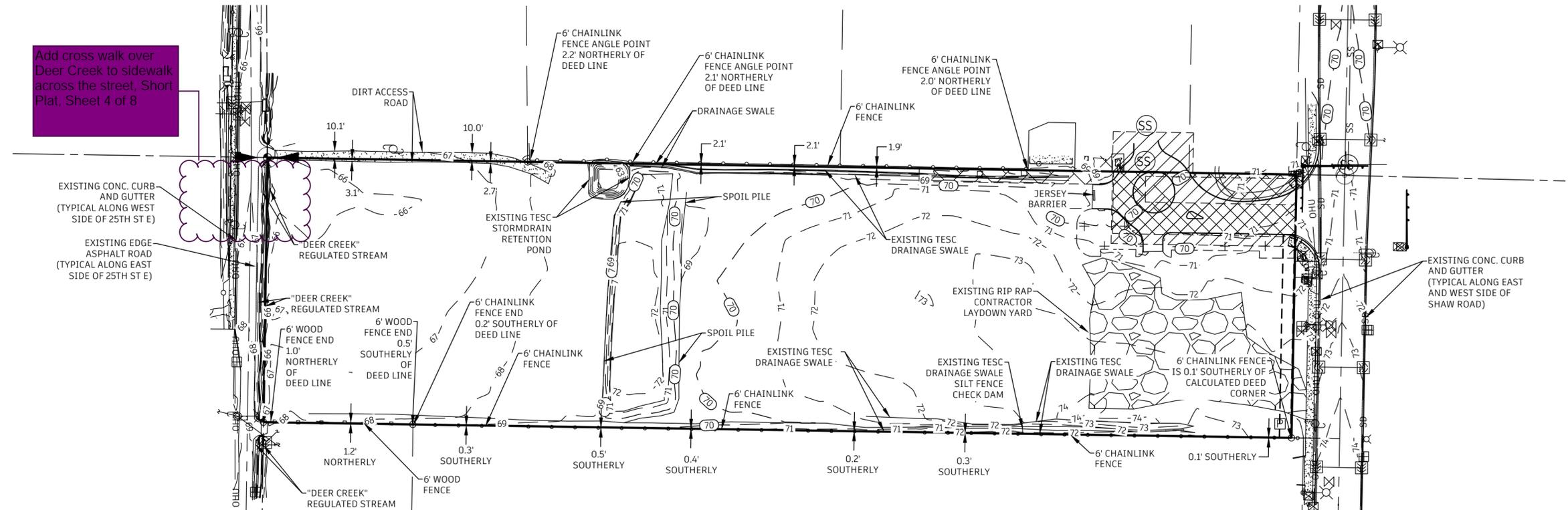
SHORT PLAT EXISTING CONDITIONS

A PORTION OF THE NW 1/4 OF THE NE 1/4, SEC. 35,
TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP SHORT PLAT NO. P-21-0142

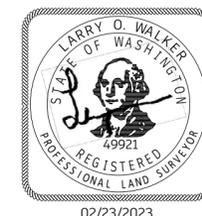


Add cross walk over Deer Creek to sidewalk across the street, Short Plat, Sheet 4 of 8



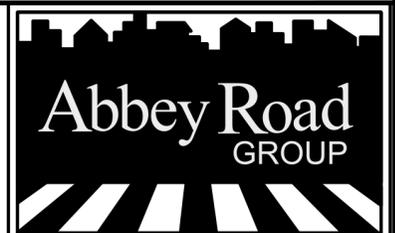
LEGEND

EXISTING STORMDRAIN MANHOLE	SECTIONAL SUBDIVISIONAL LINE
EXISTING STORMDRAIN CATCHBASIN	RIGHT OF WAY CENTERLINE
EXISTING STORMDRAIN CULVERT END	RIGHT OF WAY MARGIN
EXISTING SANITARY SEWER MANHOLE	SUBJECT PARCEL DEED LINE
EXISTING SANITARY SEWER VAULT	EASEMENT LINE
EXISTING SANITARY SEWER VENT STAND PIPE	EXISTING WOOD FENCE
EXISTING SANITARY SEWER LINE VALVE	EXISTING CHAINLINK FENCE
EXISTING WATER VAULT	EXISTING 1 FOOT MAJOR CONTOUR INTERVAL
EXISTING WATER METER	EASEMENT 1 FOOT MINOR CONTOUR INTERVAL
EXISTING WATER VALVE	EXISTING STORMDRAIN LINE
EXISTING FIRE HYDRANT	EXISTING SANITARY SEWER LINE
EXISTING UTILITY JUNCTION BOX	EXISTING CONCRETE SURFACE
EXISTING TRAFFIC SIGNAL CONTROL CABINET	EXISTING RIP RAP SURFACE
EXISTING UTILITY POLE	EXISTING DIRT ACCESS ROAD
EXISTING LUMINAIRE	
EXISTING FENCE GATE POST	
EXISTING BOLLARD	
EXISTING SIGN	
EXISTING MONITORING WELL	
EXISTING SURFACE SPOT GRADE	



JOB NO. 03-143-6
SHEET 4 OF 5

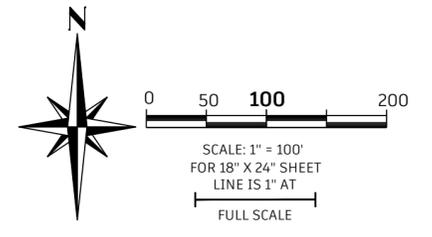
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CASCADE SHAW SHORT PLAT

LOT CONFIGURATION AND FLOOD PLAIN/WETLANDS MAP

A PORTION OF THE NW 1/4 OF THE NE 1/4, SEC. 35,
TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON



City will require applicant to provide on-site pedestrian access to 25th St SE. This improvement will include pedestrian enhancements on 25th St SE.
[Short Plat; Sheet 5]

City may require applicant to pursue pedestrian access to Pioneer Crossing. Peds are unlikely to walk all the way to the existing Shaw Rd traffic signal to enter the adjacent development.
[Short Plat; Sheet 5]

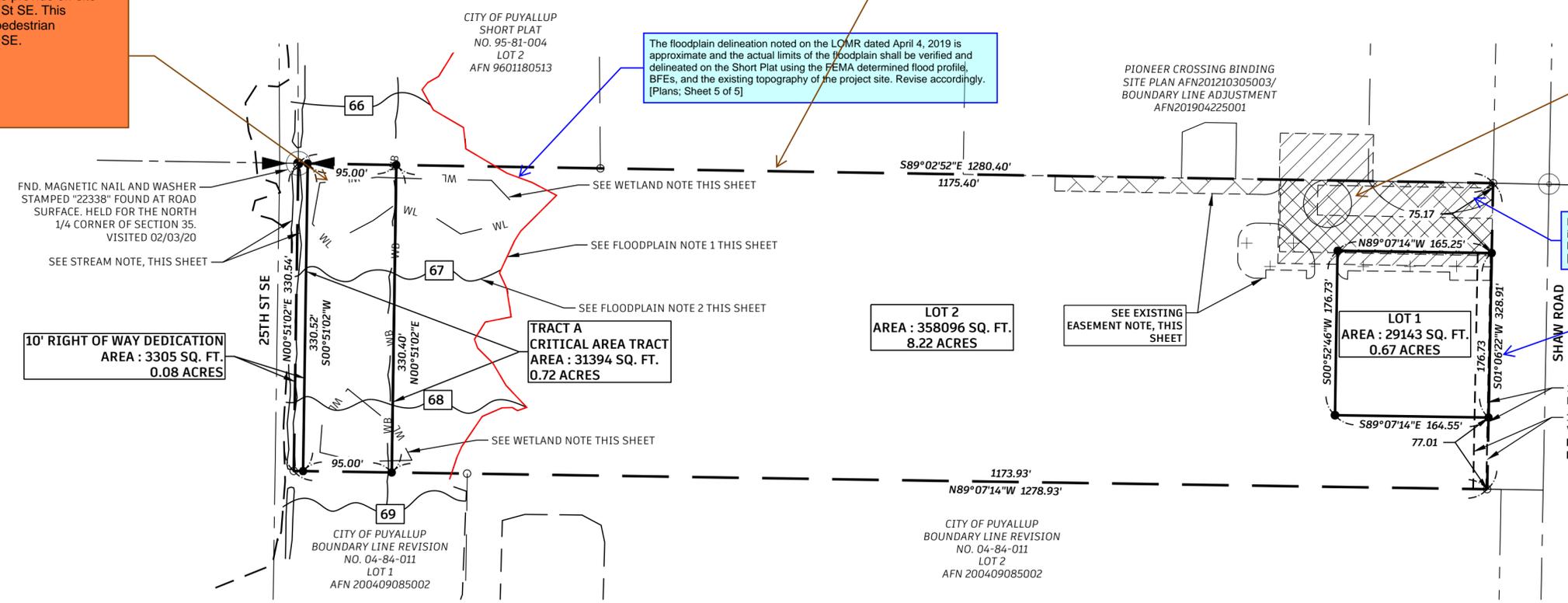
The floodplain delineation noted on the LOMR dated April 4, 2019 is approximate and the actual limits of the floodplain shall be verified and delineated on the Short Plat using the FEMA determined flood profile, BFEs, and the existing topography of the project site. Revise accordingly.
[Plans; Sheet 5 of 5]

Existing roundabout may require pedestrian improvements that may require larger easement.
[Short Plat; Sheet 5]

Leader should intersect property corner. Also, it is difficult to see the dimensional leaders due to being placed on top of the easement hatching.
[Plans; Sheet 5 of 5]

See comment Sht. 3 of 5.
[Plans; Sheet 5 of 5]

No details provided for 1ft no access easement required along lot 1 & 2 frontage. The length (253.76ft) and placement must be clearly identified on sheet 5 and described on sheet 2.
[Short Plat; Sheet 5]



EXISTING EASEMENT NOTE

- THE AREA DEPICTED HEREON CONTAINS THE FOLLOWING EASEMENTS AND AGREEMENT AREAS AS FOLLOWS:
1. GRANTS OF EASEMENT AFN 201106420404 AS AMENDED BY AGREEMENT REGARDING USE OF SEWER EASEMENT AFN 20170500235
 2. UTILITIES EASEMENT AFN 201912100283
 3. PERPETUAL AND LICENSED LANDSCAPE EASEMENTS PER AFN 201705300235
 4. PRIVATE STREET MAINTENANCE AGREEMENT AFN 201911270861

WETLAND NOTE

WETLAND 'A' (CATEGORY IV, NO ASSOCIATED BUFFER) AS DELINEATED BY HABITAT TECHNOLOGIES ON APRIL 16, 2020 AND FIELD LOCATED BY ABBEY ROAD GROUP ON APRIL 28, 2020.
CITY OF PUYALLUP NOTES REGARDING THESE WETLANDS MAY BE FOUND ON SHEET 2 OF 5.

FLOODPLAIN NOTES

1. FEMA FLOOD PLAIN ZONE AE LIMITS AND BASE FLOOD CONTOUR ELEVATIONS AS PER FEMA MAP NO. 53053C0342E PANEL 342 OF 1375 WITH AN EFFECTIVE DATE OF MARCH 7, 2017 AND REVISED TO REFLECT LOMR WITH AN EFFECTIVE DATE OF APRIL 4, 2019. DATA SHOWN WAS DERIVED FROM SHAPE FILE OBTAINED BY PIERCE COUNTY GIS.
 2. SCALED BASE FLOOD ELEVATION CONTOUR AFTER FLOOD (TYPICAL)
- CITY OF PUYALLUP NOTES REGARDING THE FLOODPLAIN MAY BE FOUND ON SHEET 2 OF 5.

STREAM NOTE

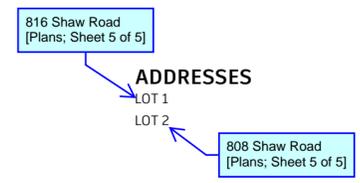
DEER CREEK, CITY OF PUYALLUP TYPE II STREAM
CITY OF PUYALLUP NOTES REGARDING THE STREAM MAY BE FOUND ON SHEET 2 OF 5.

Verify-201705300235
[Plans; Sheet 5 of 5]

Delete "after flood"
[Plans; Sheet 5 of 5]

LEGEND

	FOUND MONUMENT AS NOTED
	FOUND REBAR AND CAP AS NOTED
	SET 5/8" REBAR AND CAP STAMPED "ARG 49921"
	CALCULATED MONUMENT AS NOTED
	SECTIONAL SUBDIVISIONAL LINE
	RIGHT OF WAY CENTERLINE
	RIGHT OF WAY MARGIN
	PARENT PARCEL DEED LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT MARGIN
	PROPOSED EASEMENT MARGIN AS NOTED
	100 FOOT DEER CREEK CITY OF PUYALLUP TYPE II STREAM BUFFER MARGIN



02/23/2023
JOB NO. 03-143-6
SHEET 5 OF 5

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