

SITE ADDRESS

409 AND 433 43RD AVE SW
PUYALLUP, WA 98373

PARCEL NUMBER

0419095003
0419095022

LEGAL DESCRIPTION

LOT 3 OF SHORT PLAT 79-557
EASE OF RECORD OUT OF 1-900
& 1-053 SEG M-1448

OWNER

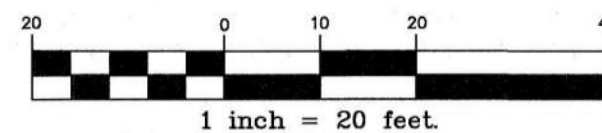
HC HOMES INC.
20921 SNAG ISLAND DR.
LAKE TAPPS, WA. 98391

UTILITIES

WATER: FRUITLAND WATER
SEWER: SEPTIC
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY
COMMUNICATIONS: COMCAST / LUMEN

PUYALLUP DUPLEX

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 20 N., RGE. 4 E.,
WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON



APPROVED

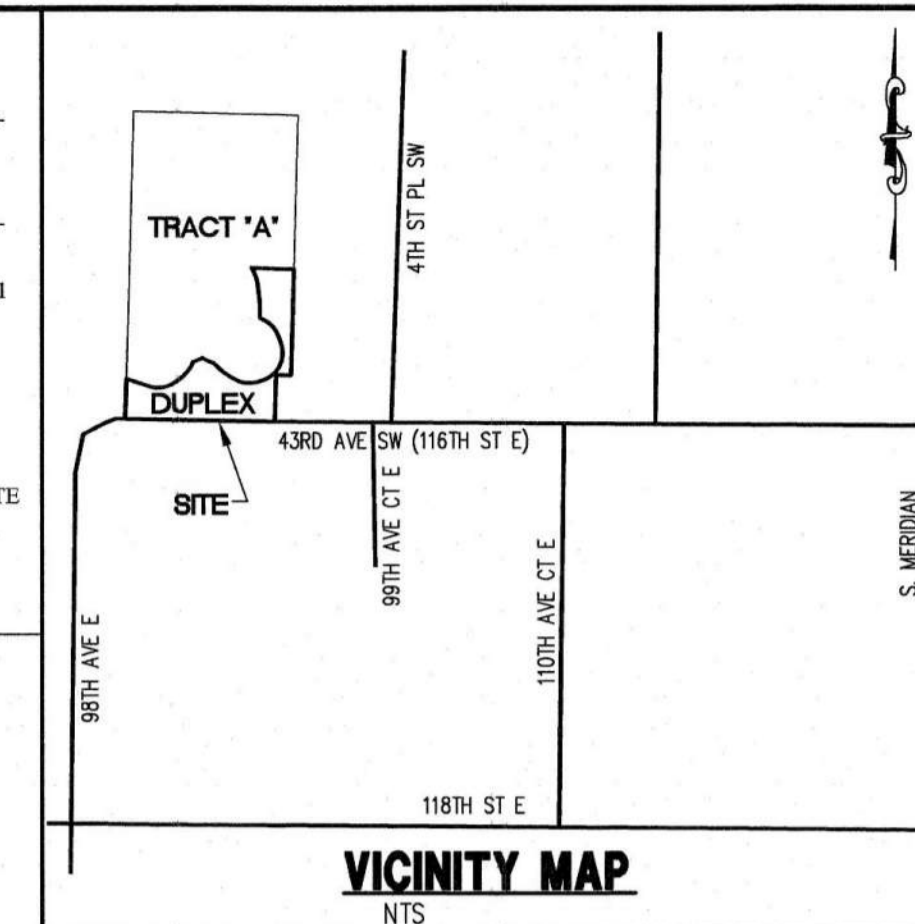
BY: CITY OF PUYALLUP
ENGINEERING SERVICES

DATE:

NOTE:
THIS APPROVAL IS VOID AFTER 1
YEAR FROM APPROVAL DATE.

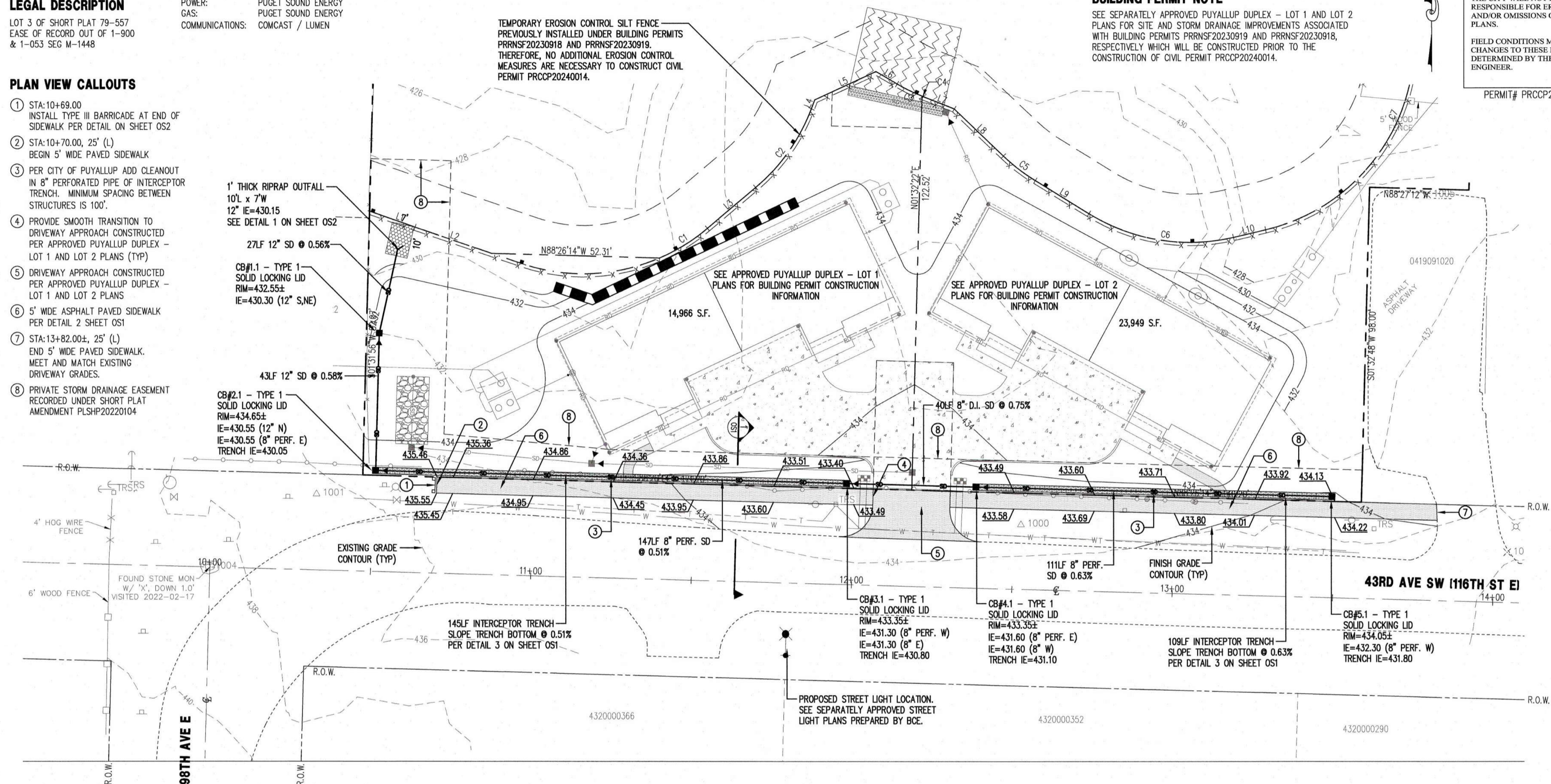
THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS
AND/OR OMISSIONS ON THESE
PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE CITY
ENGINEER.

PERMIT# PRCCP20240014



PLAN VIEW CALLOUTS

- STA:10+69.00
INSTALL TYPE III BARRICADE AT END OF
SIDEWALK PER DETAIL ON SHEET OS2
- STA:10+70.00, 25' (L)
BEGIN 5' WIDE PAVED SIDEWALK
- PER CITY OF PUYALLUP ADD CLEANOUT
IN 8" PERFORATED PIPE OF INTERCEPTOR
TRENCH. MINIMUM SPACING BETWEEN
STRUCTURES IS 100'.
- PROVIDE SMOOTH TRANSITION TO
DRIVEWAY APPROACH CONSTRUCTED
PER APPROVED PUYALLUP DUPLEX -
LOT 1 AND LOT 2 PLANS (TYP)
- DRIVEWAY APPROACH CONSTRUCTED
PER APPROVED PUYALLUP DUPLEX -
LOT 1 AND LOT 2 PLANS
- 5' WIDE ASPHALT PAVED SIDEWALK
PER DETAIL 2 SHEET OS1
- STA:13+82.00±, 25' (L)
END 5' WIDE PAVED SIDEWALK.
MEET AND MATCH EXISTING
DRIVEWAY GRADES.
- PRIVATE STORM DRAINAGE EASEMENT
RECORDED UNDER SHORT PLAT
AMENDMENT PLSPH20220104



BUILDING PERMIT NOTE

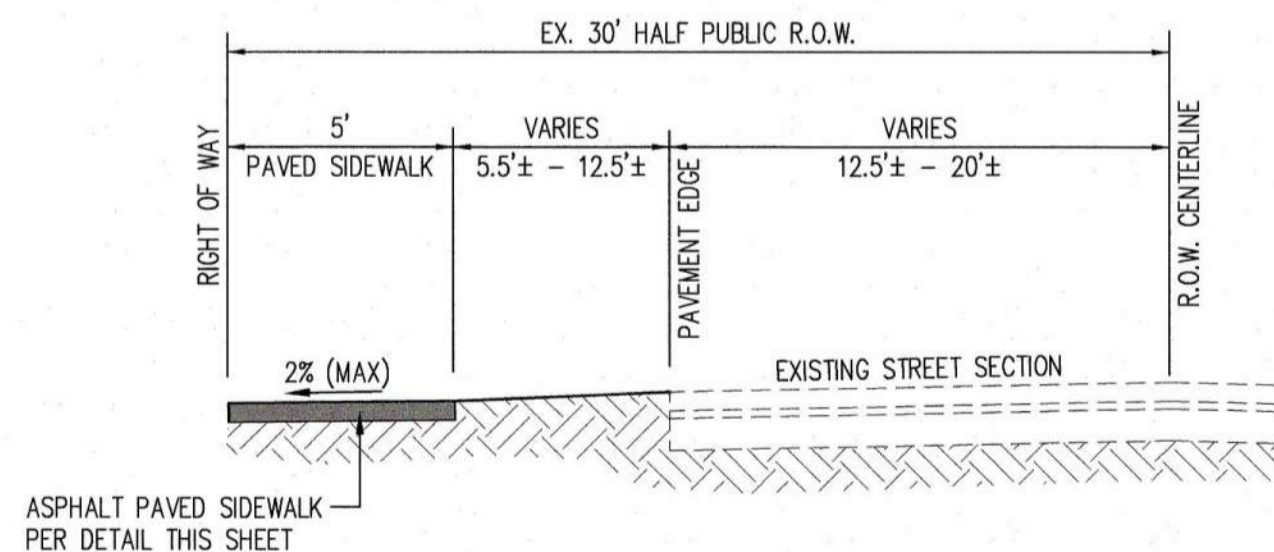
SEE SEPARATELY APPROVED PUYALLUP DUPLEX - LOT 1 AND LOT 2
PLANS FOR SITE AND STORM DRAINAGE IMPROVEMENTS ASSOCIATED
WITH BUILDING PERMITS PRRNSF20230918 AND PRRNSF20230918,
RESPECTIVELY WHICH WILL BE CONSTRUCTED PRIOR TO THE
CONSTRUCTION OF CIVIL PERMIT PRCCP20240014.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	CENTER LINE	---
---	PROPERTY LINE	---
---	RIGHT OF WAY LINE	---
---	EASEMENT LINE	---
---	BUILDING SETBACK LINE	---
---	CHAIN LINK FENCE	---
---	WOOD FENCE	---
---	EDGE OF PAVEMENT	---
---	CONTOURS	---
---	STREET SIGN	---
---	STORM DRAIN CATCH BASIN	---
---	STORM DRAIN CLEANOUT	---
---	STORM DRAIN LINE	---
---	ROOF DRAIN LINE	---
---	FIRE HYDRANT	---
---	WATER VALVE	---
---	WATER METER	---
---	THRUST BLOCKING	---
---	WATER MAIN	---
---	LUMINAIRE	---
---	OVER HEAD POWER	---
---	POWER/UTILITY POLE	---
---	GUY WIRE	---
---	POWER VAULT	---
---	GAS MAIN	---
---	GAS VALVE	---
---	TELEPHONE LINE	---
---	TELEPHONE RISER	---
---	MAIL BOX	---
---	ASPHALT CONCRETE	---
---	CEMENT CONCRETE	---

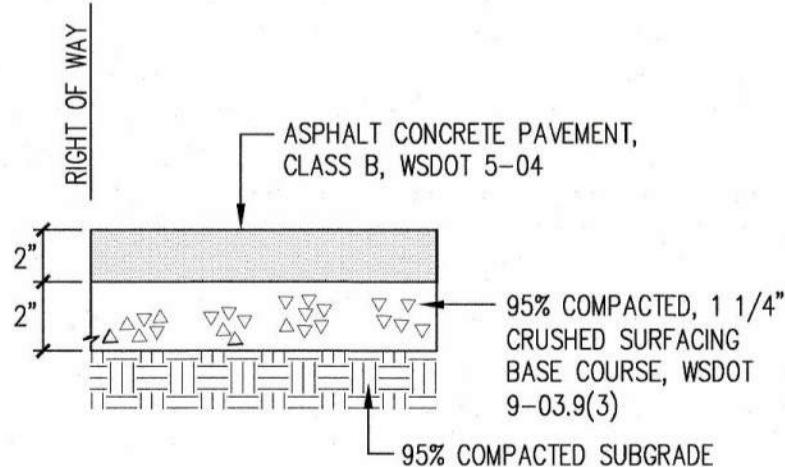
CONSTRUCTION SEQUENCE

- THE CONTRACTOR IS TO REQUEST A PRE-CONSTRUCTION MEETING WITH THE CITY'S INSPECTOR.
- CLEARLY STAKE, FLAG OR FENCE CLEARING LIMITS/WORK AREA. NO WORK SHALL BE PERFORMED OUTSIDE THESE LIMITS WITHOUT PRIOR APPROVAL FROM THE CITY OF PUYALLUP.
- PRIOR TO STARTING SITE WORK, REQUEST AN INSPECTION FOR EROSION AND SEDIMENT CONTROL, BY USING THE CITYVIEW ONLINE PERMIT PORTAL FOR SCHEDULING. CONTRACTOR MUST BE A PORTAL USER TO REQUEST INSPECTIONS.
- PROVIDE SILT FENCING AS SHOWN ON THE APPROVED LOT 1 AND LOT 2 BUILDING PERMIT PLANS.
- CONSTRUCT INTERCEPTOR TRENCH AS SHOWN ON APPROVED PLANS.
- CONSTRUCT SIDEWALK AS SHOWN ON THE APPROVED PLANS.
- STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- REQUEST FINAL INSPECTIONS ONLINE. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs IF APPROPRIATE.



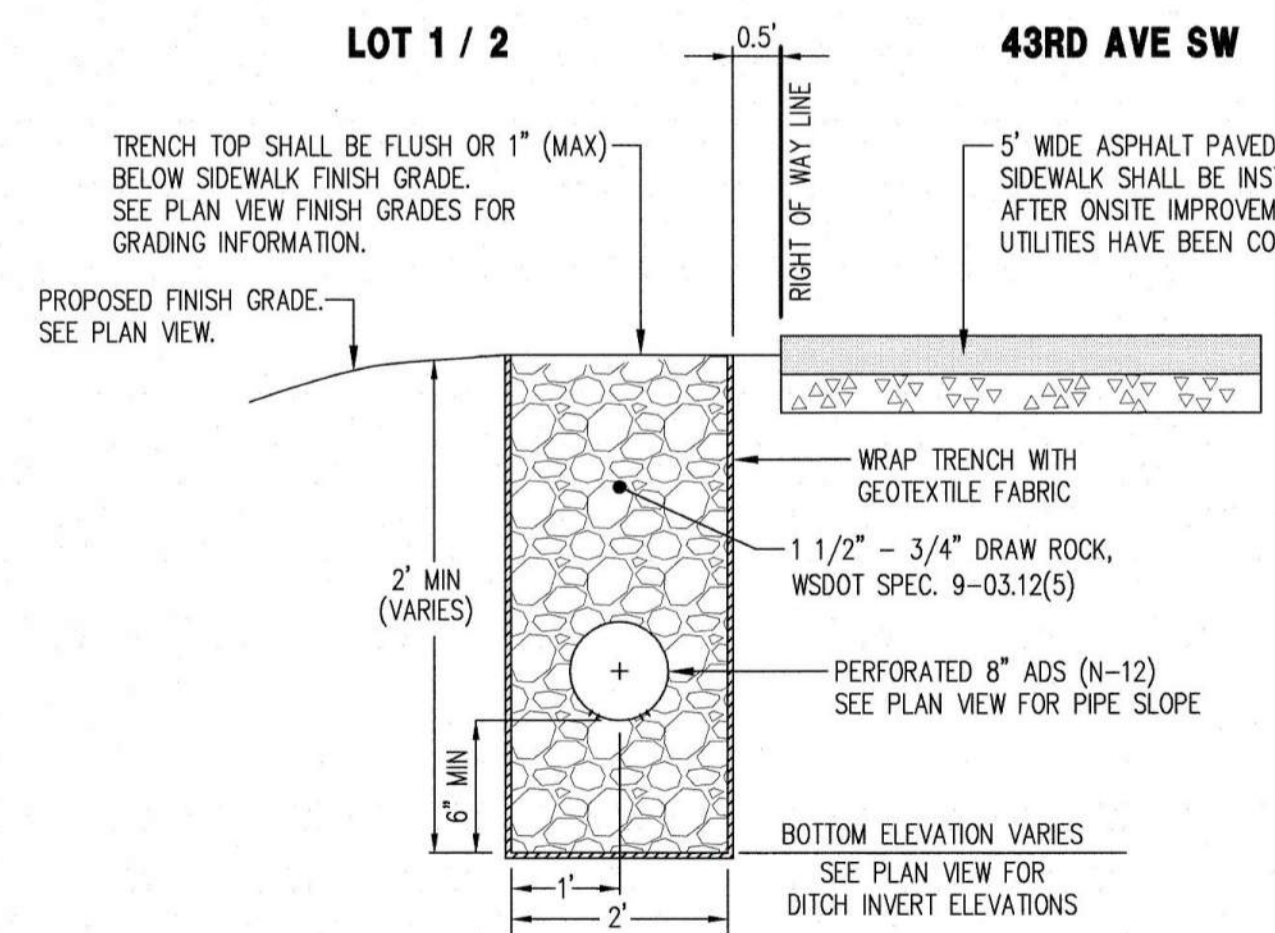
NOTE
INSTALL ASPHALT PAVED SIDEWALK PER PLAN VIEW FINISH GRADES.
RE-GRADE EXISTING SHOULDER TO PROVIDE SMOOTH TRANSITION FROM EXISTING PAVEMENT EDGE TO FRONT OF PROPOSED SIDEWALK.
SIDEWALK SHALL BE INSTALLED AFTER ONSITE IMPROVEMENTS AND UTILITIES HAVE BEEN CONSTRUCTED. SEE APPROVED PUYALLUP DUPLEX - LOT 1 AND LOT 2 PLANS.

1 43RD AVENUE SW
HALF-STREET FRONTAGE IMPROVEMENTS N.T.S.



NOTE
1. DEPTHS ARE COMPACTED THICKNESS.

2 5' WIDE SIDEWALK SECTION
N.T.S.



3 INTERCEPTOR TRENCH
N.T.S.

EROSION CONTROL NOTES

THE APPLICANT SHALL REQUEST A SEDIMENT CONTROL AND EROSION INSPECTION WITH A CITY ENGINEERING INSPECTOR THROUGH THE CITYVIEW PORTAL AT LEAST 48 HOURS IN ADVANCE OF JOB START. SEE CITY STANDARDS 02.03.02 & 05.02.01.

ALL METHODS OUTLINED IN THE APPROVED STORMWATER REPORT DATED DECEMBER 2023 MUST BE FOLLOWED IN REGARDS TO EROSION AND SEDIMENTATION CONTROL.

ALL APPROPRIATE TEMPORARY EROSION CONTROL MEASURES WILL BE INSTALLED AS PART OF CONSTRUCTION ASSOCIATED WITH BUILDING PERMITS PRRNSF20230918 AND PRRNSF20230918, RESPECTIVELY. THEREFORE, NO ADDITIONAL EROSION CONTROL MEASURES ARE NECESSARY FOR CONSTRUCTION OF CIVIL PERMIT PRCCP20240014.

STREET LIGHT INSTALLATION NOTE

SEE SEPARATELY APPROVED PUYALLUP DUPLEX STREET LIGHTING PLANS (E1.1-E1.3) PREPARED BY BCE ENGINEERS, INC. FOR STREET LIGHT INSTALLATION INFORMATION.

SHEET INDEX

OS1 PAVED SIDEWALK PLAN
OS2 NOTES & DETAILS

CALL 48 HOURS BEFORE YOU DIG DIAL 811

No.	Revision:	Int.	Date:



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
PH: (253) 848-4282
ceservices@cesnwinc.com

Project: PUYALLUP DUPLEX PAVED SIDEWALK PLAN
Client: HC HOMES INC.
P.O. BOX 7707, BONNEY LAKE, WA 98391
Designed: ENO
Drawn: MRL
Checked: ENO
Scale: 1"=20'
Date: 3/26/2024
Job No.: 20069
Sheet No.: OS1
1 of 2 Sheets