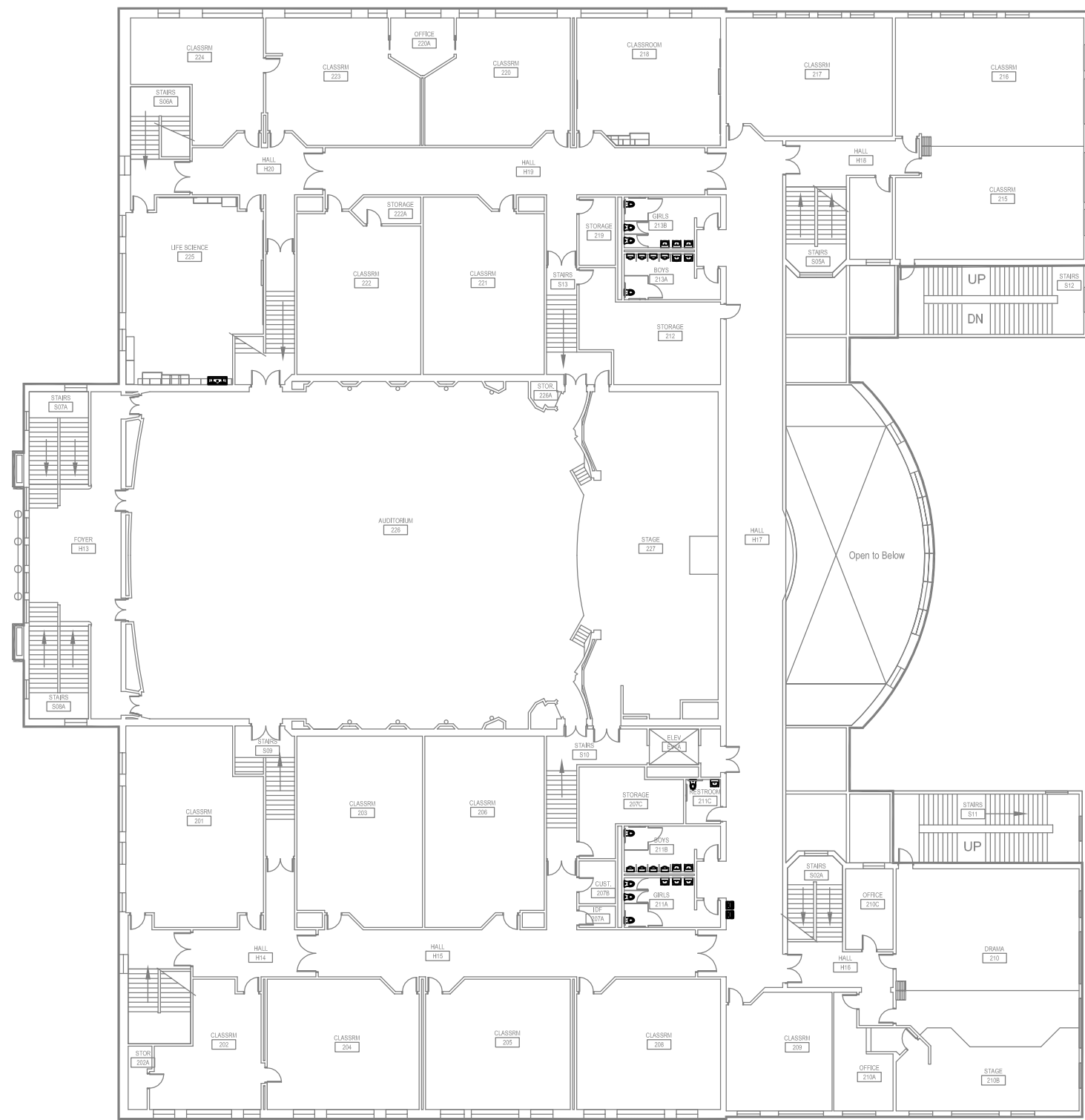
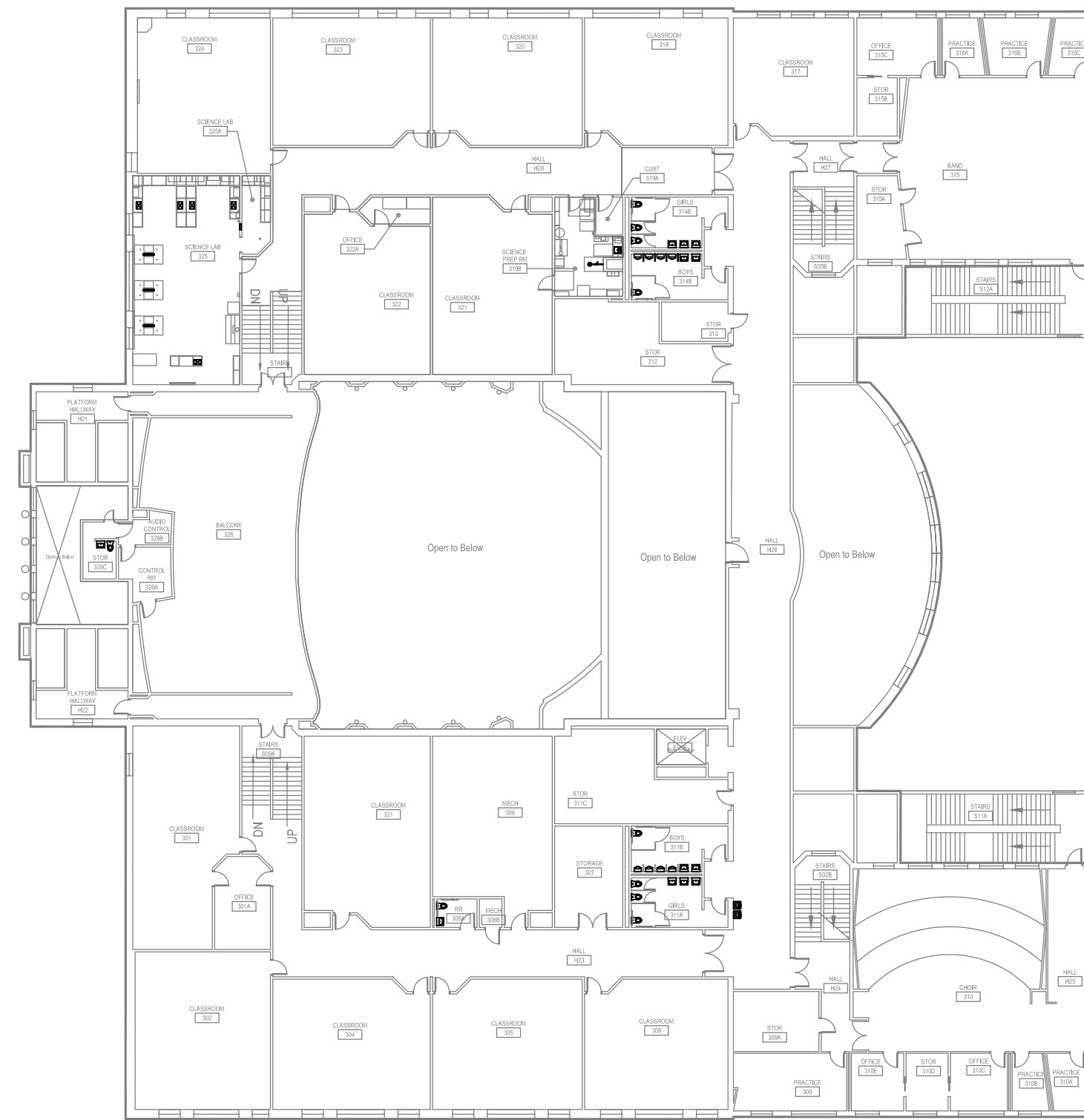


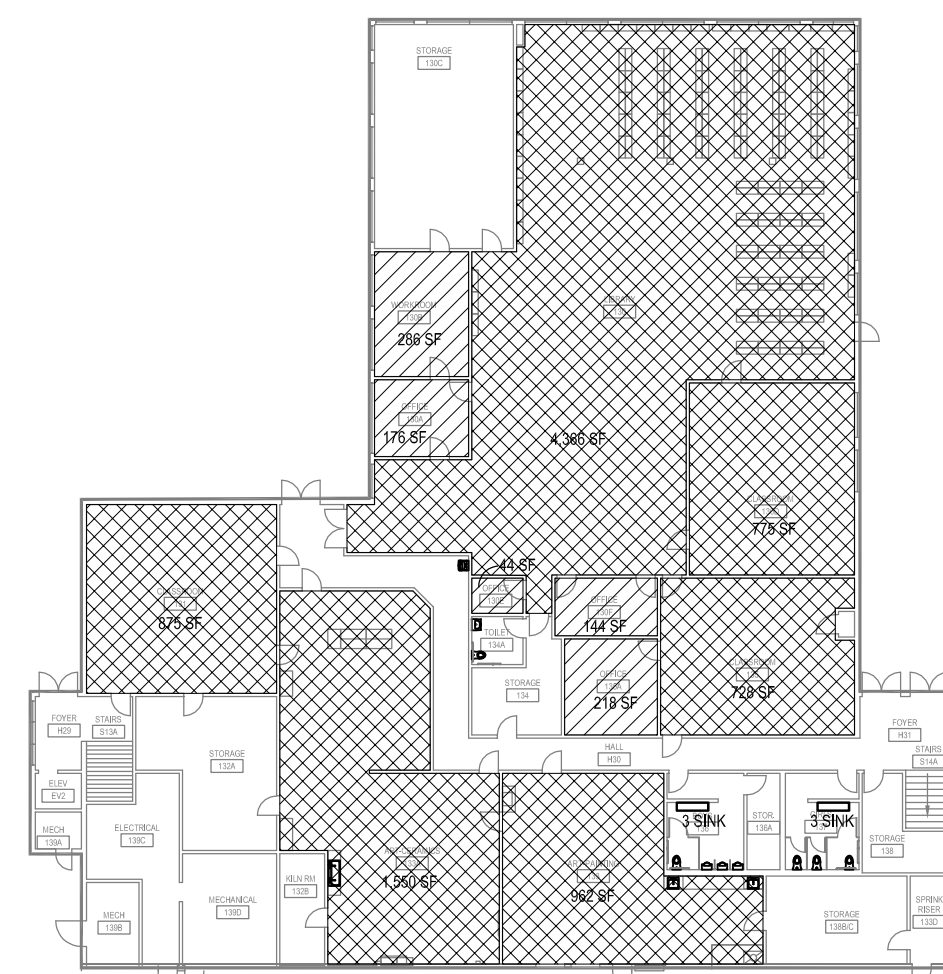
1 BLDG 50-01 1ST FLOOR
SCALE: 1" = 30'
BLDG 50-01 1ST FLOOR
FLOOR SF = 47,270 SF
FEMALE TOILETS COUNT = 16
MALE TOILETS COUNT = 9
URINALS COUNT = 14
FEMALE LAVATORY COUNT = 16
MALE LAVATORY COUNT = 11



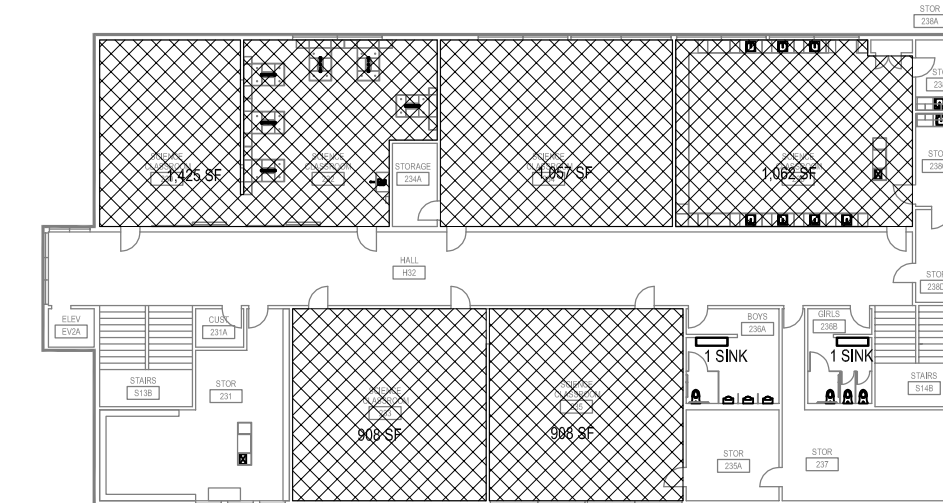
2 BLDG 50-01 2ND FLOOR
SCALE: 1" = 30'
BLDG 50-01 2ND FLOOR
FLOOR SF = 40,046 SF
FEMALE TOILETS COUNT = 7
MALE TOILETS COUNT = 2
URINALS COUNT = 8
FEMALE LAVATORY COUNT = 7
MALE LAVATORY COUNT = 4



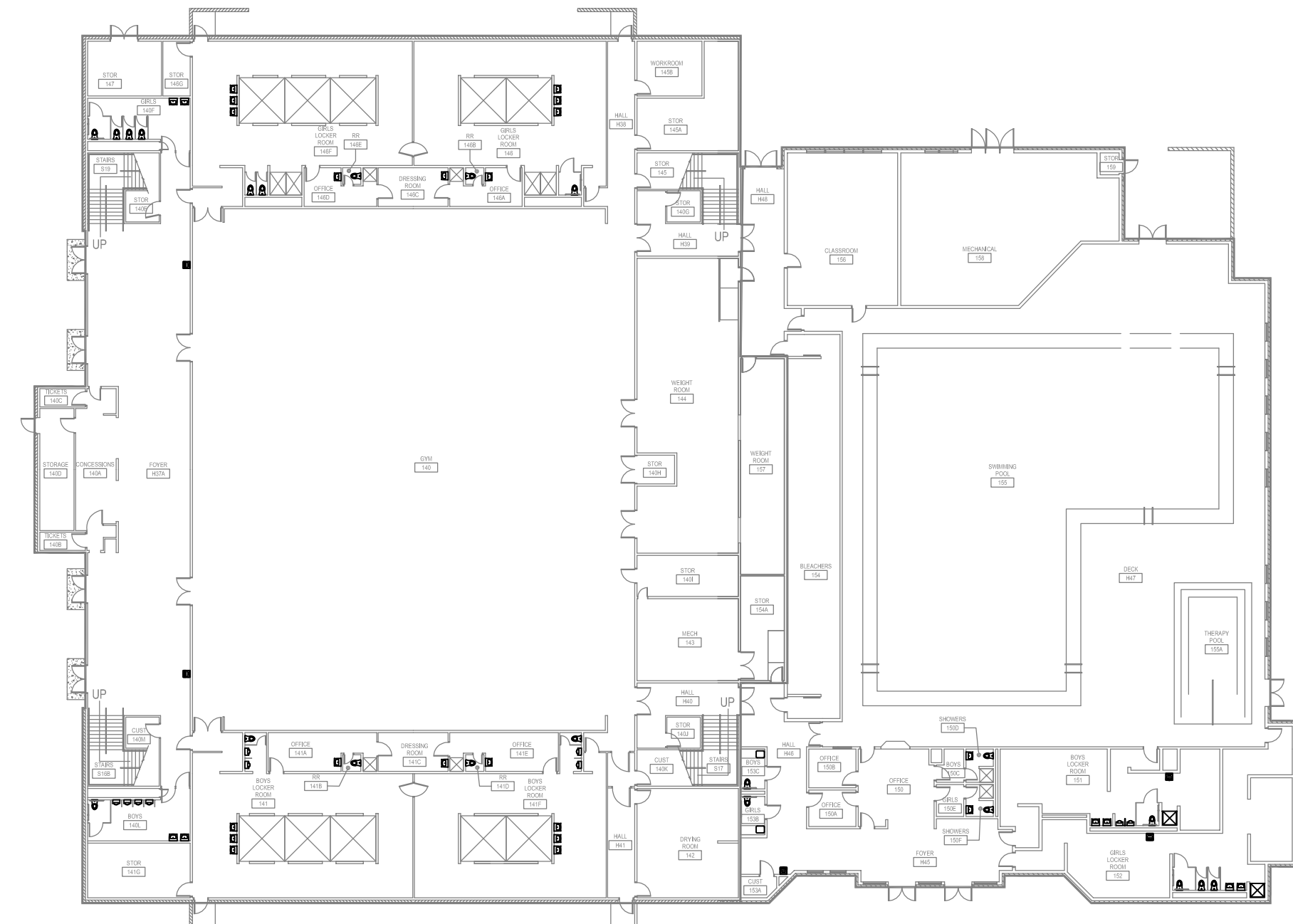
2 BLDG 50-01 3RD FLOOR
SCALE: 1" = 30'
BLDG 50-01 3RD FLOOR
FLOOR SF = 34,092 SF
FEMALE TOILETS COUNT = 7
MALE TOILETS COUNT = 3
URINALS COUNT = 8
FEMALE LAVATORY COUNT = 7
MALE LAVATORY COUNT = 5



3 BLDG 50-02 1ST FLOOR
SCALE: 1" = 30'
NOTE: BUILDING 50-02 TO BE DEMOLISHED AS PART OF CUP

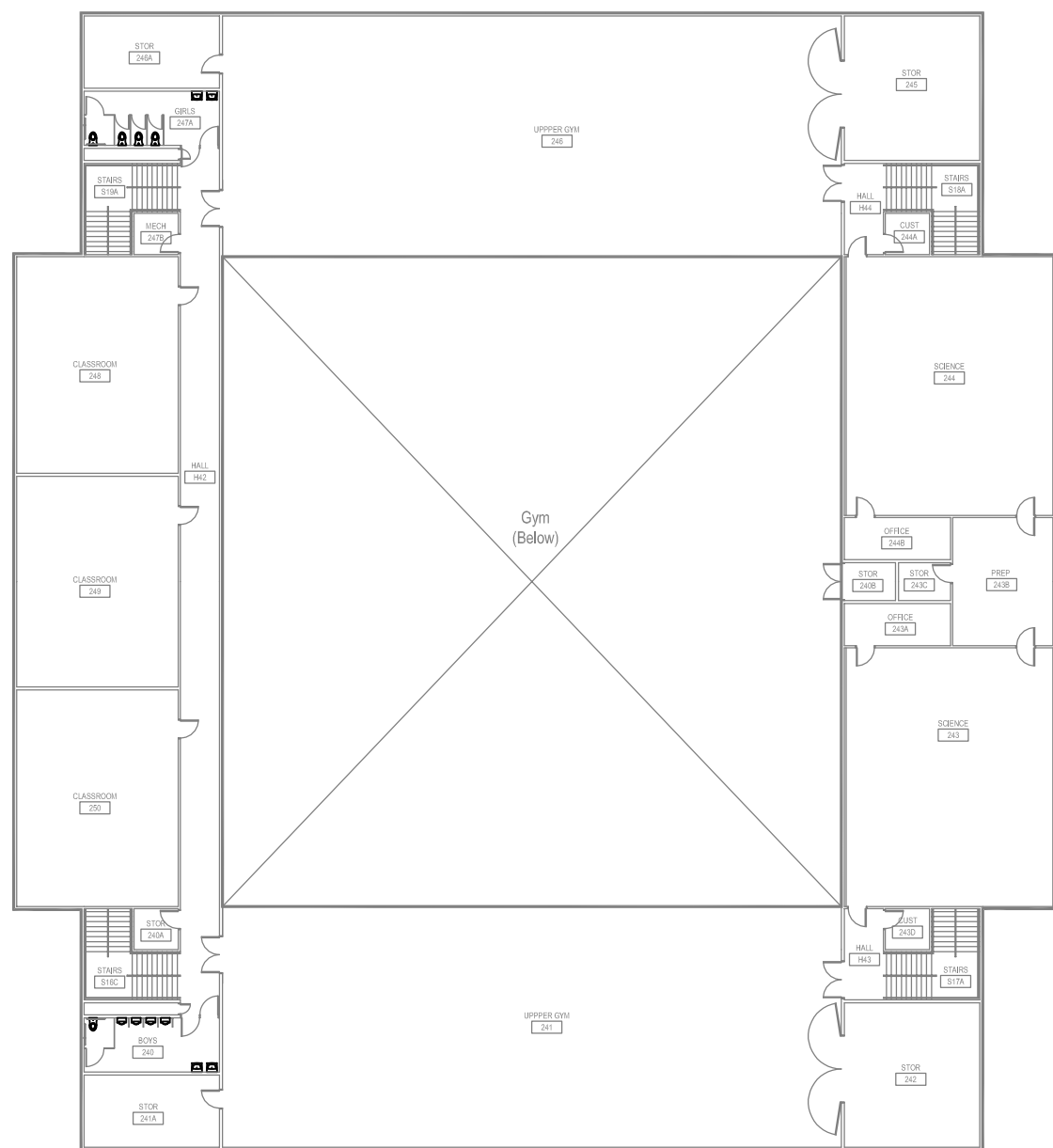


5 BLDG 50-02 2ND FLOOR
SCALE: 1" = 30'
NOTE: BUILDING 50-02 TO BE DEMOLISHED AS PART OF CUP



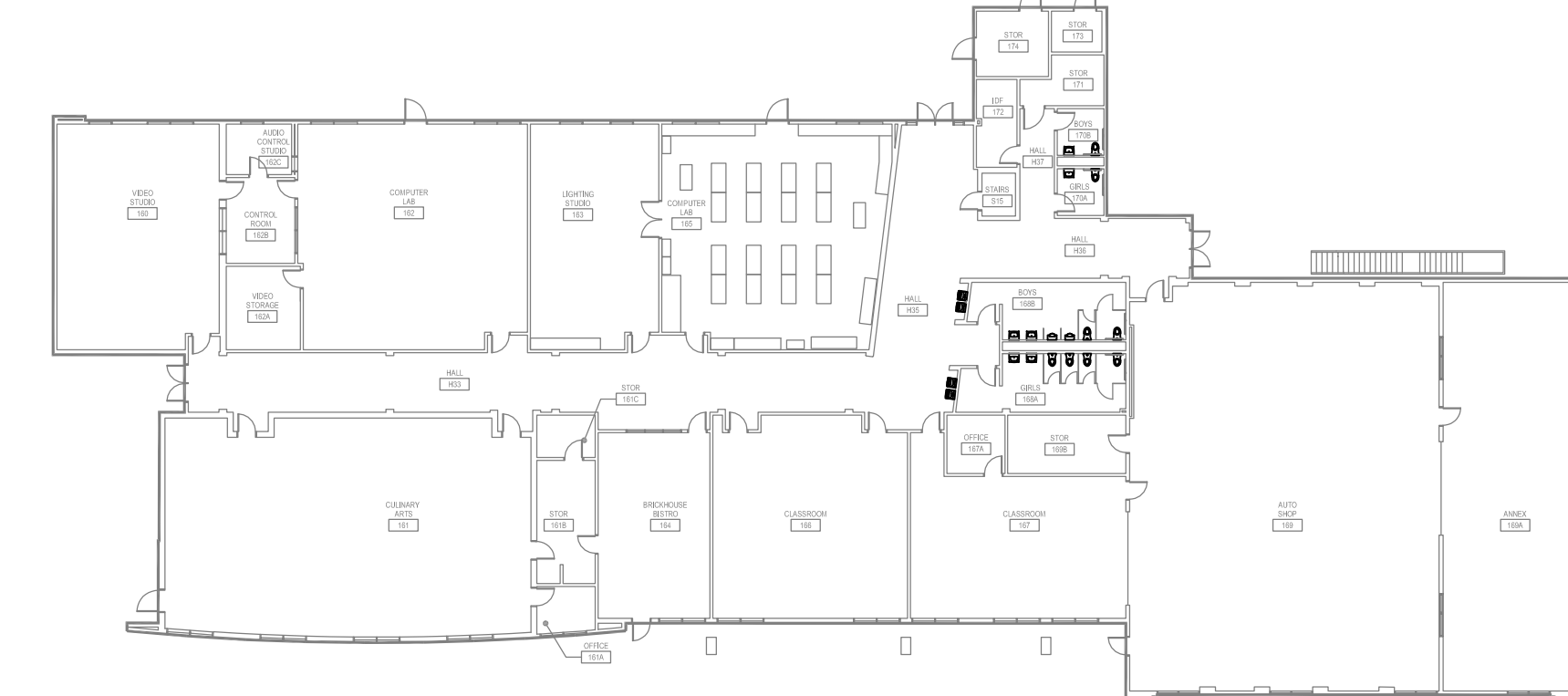
1 BLDG 50-05 & 62-01 1ST FLOOR
SCALE: 1" = 30'

BLDG 50-05 1ST FLOOR (GYM) + 62-01 1ST FLOOR (POOL BLDG)
FLOOR SF = 28,969 SF + 17,272 SF = 46,241 SF
FEMALE TOILETS COUNT = 14
MALE TOILETS COUNT = 8
URINALS COUNT = 10
FEMALE LAVATORY COUNT = 15
MALE LAVATORY COUNT = 15



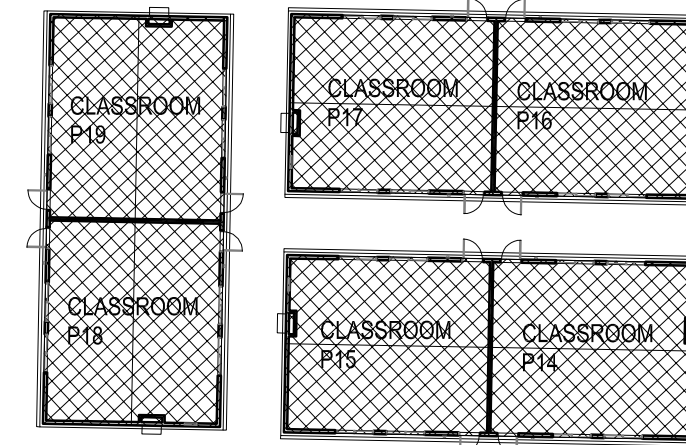
7 BLDG 50-05 1ST FLOOR
SCALE: 1" = 30'

BLDG 50-05 2ND FLOOR (GYM)
FLOOR SF = 18,973 SF
FEMALE TOILETS COUNT = 4
MALE TOILETS COUNT = 1
URINALS COUNT = 4
FEMALE LAVATORY COUNT = 2
MALE LAVATORY COUNT = 2



8 BLDG-04 1ST FLOOR
SCALE: 1" = 30'

BLDG 50-04 1ST FLOOR
FLOOR SF = 21,264 SF
FEMALE TOILETS COUNT = 5
MALE TOILETS COUNT = 3
URINALS COUNT = 2
FEMALE LAVATORY COUNT = 3
MALE LAVATORY COUNT = 3



9 NEW PORTABLES P14-P19
SCALE: 1" = 30'

▨ TOTAL OFFICE SF = 868 SF
▨ TOTAL CLASSROOM SF = 9,256 SF

BLDG 50-02 1ST FLOOR
FLOOR SF = 15,571 SF
FEMALE TOILETS COUNT = 4
MALE TOILETS COUNT = 1
URINALS COUNT = 3
FEMALE LAVATORY COUNT = 4
MALE LAVATORY COUNT = 3

▨ TOTAL CLASSROOM SF = 5,360 SF

BLDG 50-02 2ND FLOOR
FLOOR SF = 9,753 SF
FEMALE TOILETS COUNT = 3
MALE TOILETS COUNT = 1
URINALS COUNT = 3
FEMALE LAVATORY COUNT = 1
MALE LAVATORY COUNT = 1

▨ TOTAL CLASSROOM SF = 5,360 SF
NEW PORTABLES P14-19
FLOOR SF = 5,376 SF
FEMALE TOILETS COUNT = 0
MALE TOILETS COUNT = 0
URINALS COUNT = 0
FEMALE LAVATORY COUNT = 0
MALE LAVATORY COUNT = 0

DEVELOPMENT / PLANNING NOTES

- ZONING (PMC 20.44.005): PF (PUBLIC FACILITY)
- USE (PMC 20.44.010, (7)): PUBLIC HIGH SCHOOL IN PUBLIC FACILITY ZONE
- SCOPE (PMC 20.44.010, (7)): ADDITION TO EXISTING EXISTING HIGH SCHOOL
- CUP REQUIREMENT (PMC 20.44.017): HIGH SCHOOLS SHALL BE APPROVED BY EITHER (1) THE SUBMITTAL AND APPROVAL OF A CONDITIONAL USE PERMIT OR (2) THE SUBMITTAL AND APPROVAL OF A MASTER PLAN.
-CUP PROCESS SELECTED.
- REQUIRED SETBACKS (PMC 20.44.020):
 - (1) MINIMUM LOT SIZE: NONE - OK
 - (2) MINIMUM LOT WIDTH: NONE - OK
 - (3) MINIMUM LOT DEPTH: NONE - OK
 - (4) 20 FT AT FRONTAGE - OK
 - (5) 20 AT REAR SETBACKS - OK
 - (6) 20 AT SIDE SETBACKS - WEST SIDE SETBACK PROPOSED TO BE REDUCED TO 14' SETBACK, EAST SIDE SETBACK IS COMPLIANT. DUE TO BUILDING WIDTHS AND REQUIRED BUILDING SEPARATIONS AND PATHWAYS, IT'S NOT POSSIBLE TO FIT LAYOUT IN PARCEL WITHOUT ENCRoACHING INTO THE SETBACK. ADJACENT PARCEL AT WEST SETBACK IS PF ZONED AND ALSO OWNED BY PUYALLUP SCHOOL DISTRICT, WHO HAS NO OBJECTION TO THIS ENCRoACHMENT.
 - (7) MINIMUM LANDSCAPED SETBACK ALONG COMMON BOUNDARY WITH ANY R ZONE.

PARKING CALCULATION

BUILDING 50-02 LEVEL 1 CLASSROOM SF = -9,256 SF/65 = -142 STALLS
BUILDING 50-02 LEVEL 1 OFFICE SF = -868 SF/300 = -3 STALLS
BUILDING 50-02 LEVEL 2 CLASSROOM SF = -5,360 SF/65 = -82 STALLS
(3) ADDED DOUBLE PORTABLE SF = 1,792SFx3 = 5,376 SF/65 = 83 STALLS
TOTAL CHANGE IN PARKING 144 FEWER PARKING STALLS NEEDED

7. BICYCLE PARKING (PMC 20.55.016, (2)): ALL INSTITUTIONAL USES WHICH REQUIRE 25 OR MORE PARKING SPACES PURSUANT TO THIS TITLE SHALL PROVIDE A DESIGNATED BICYCLE PARKING AREA TO ACCOMMODATE A MINIMUM OF FIVE BICYCLE SPACES. PRIOR TO ISSUING PERMITS FOR FACILITIES REQUIRING 100 OR MORE PARKING SPACES PURSUANT TO THIS TITLE AND/OR USES WITH HIGH EXPECTED BICYCLE TRAFFIC (E.G., SCHOOLS) THE CITY MAY REQUIRE REASONABLE ADDITIONAL BICYCLE PARKING CAPACITY OVER AND ABOVE THE MINIMUM FIVE SPACES.

BASED ON THE DECREASED PARKING CAPACITY CALCULATED FOR THE DEMOLITION OF BUILDING 50-02 AND PROPOSED ADDITION OF PORTABLE CLASSROOMS, NO VEHICLE PARKING IS REQUIRED, THEREFORE NO ADDITIONAL BICYCLE PARKING IS REQUIRED.

8. BUS / TRUCK LOADING / UNLOADING:
NO PROPOSED CHANGES TO EXISTING BUSING CAPACITY OR LOCATION.

9. OUTDOOR LIGHTING (PMC 20.44.045, (3)): BUILDING MOUNTED LIGHTING IS PROPOSED AT NEW PORTABLE CLASSROOMS, LIGHT SHIELDING WILL BE INCLUDED TO LIMIT TO WITHIN PROPERTY BOUNDARIES.

9. TRASH/RECYCLING FACILITIES (PMC 20.44.045, (5)): NO CHANGES PROPOSED TO EXISTING ONSITE TRASH/RECYCLING FACILITIES. EXISTING FACILITIES SUFFICIENT TO SERVE NEW PORTABLES.

10. TREE RETENTION & PROTECTION: ONE INSIGNIFICANT TREE WILL BE REMOVED AS PART OF THIS PROJECT THAT IS IN CONFLICT WITH THE PROPOSED PORTABLES WALKWAY.

11. CRITICAL AREAS (PMC 21.06): PROJECT IS NOT LOCATED WITHIN CRITICAL AREA BASED ON PIERCE COUNTY GIS AND EVALUATION OF SURVEY INFORMATION.

12. SEPA: A SEPA IS IN PROCESS. PUYALLUP SCHOOL DISTRICT IS THE LEAD AGENCY.

13. ACCESS: NONE WILL BE AFFECTED

14. SURFACE WATER MANAGEMENT: REFER TO CIVIL PLANS FOR STORMWATER CONTROL.

15. PLUMBING FIXTURE COUNT: REFER TO PLUMBING FIXTURE CALCULATION AND FLOOR PLANS ON THIS SHEET. BASED ON THE CALCULATIONS, THE MINIMUM PLUMBING FIXTURES ARE ALREADY PRESENT ON SITE TO MEET CODE REQUIREMENTS.

16. BASED ON CUP COMMENTS, A LOT COMBINATION IS REQUIRED FOR TWO PARCELS WHERE PORTABLE BUILDINGS WILL BE PLACED. PUYALLUP SCHOOL DISTRICT WILL COMPLETE LOT COMBINATION PROCESS.

- PARKING (PMC 20.55.010, (27), (b)): HIGH SCHOOLS SHALL PROVIDE ONE SPACE FOR EACH 65 SQUARE FEET OF CLASSROOM SPACE, PLUS ONE SPACE FOR EACH 300 SQUARE FEET OF OFFICE SPACE. NO ADDITIONAL PARKING PROPOSED. EXISTING PARKING IS AVAILABLE ON PUYALLUP HIGH SCHOOL CAMPUS. PER CUP MEETING 3/12/2024, IF IT CAN BE DEMONSTRATED THAT AN OVERALL PARKING REDUCTION WILL OCCUR FROM THE DEMOLITION OF BUILDING 50-02 AND ADDITION OF PORTABLES, NO NEW PARKING WILL BE REQUIRED. REFER TO PLANS ABOVE FOR SF CALCULATIONS AT BUILDING 50-02 LEVELS 1&2 AND PROPOSED NEW PORTABLES. THE CALCULATIONS ARE LIMITED TO VERIFYING A DECREASE IN REQUIRED PARKING BETWEEN DEMOLITION OF BUILDING 50-02 AND ADDITION OF PORTABLES, NOT A CALCULATION OF OVERALL HIGH SCHOOL CAMPUS PARKING REQUIREMENTS.

CODE NOTES

- DRAWINGS AND STRUCTURAL CALCULATION FOR EXTERIOR STAIR RAMP AND LANDING HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WINDOW (110 MPH EXPOSURE) REQUIREMENTS
- PORTABLE BUILDING FOUNDATION DRAWINGS AND STRUCTURAL CALCULATIONS HAVE BEEN INCLUDED TO SHOW COMPLIANCE WITH SEISMIC (D) AND WIND (110 MPH EXPOSURE) REQUIREMENTS.
- ACCESSIBLE ROUTE OF TRAVEL FROM THE PORTABLE BUILDING TO THE PUBLIC WAY COMPLES WITH IBC2016 AND ACCESSIBILITY STANDARDS. ILLUMINATION OF THE EXTERIOR MEANS OF EGRESS WILL BE ACHIEVED BY BATTERY BACK UP ON EXTERIOR LIGHTS OF THE PORTABLE.
- PER IBC CHAPTER 29 - DISTANCE TO RESTROOM FACILITIES & DRINKING FOUNTAIN MAY NOT EXCEED 500 LF. DISTANCE FROM BACK CORNER OF FURTHEST CLASSROOM TO RESTROOM IS LESS THAN 500 LF AND THEREFORE COMPLIES.
- RAMPS SHALL CONFORM WITH THE WASHINGTON STATE BARRIER FREE DESIGN REQUIREMENTS AND APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

RAMP & STAIR SYSTEM

- ALUMINUM MODULAR RAMP AND STAIR SYSTEM BY WELCOME RAMP SYSTEMS, INC. OR APPROVED EQUAL.
- TYPICAL COMPONENT SIZES:
 - a. LANDINGS - 5'X5' or 5'X6'; CAN BE BOLTED TOGETHER FOR LARGER PLATFORMS
 - b. RAMPS - 4', 8', OR 10' LONG SECTIONS X 4' WIDE; CAN BE BOLTED TOGETHER TO FORM A MAXIMUM 30' RAMP RUN, WITH MAX RISE = 1:12
 - c. STAIR - MAX 7" RISER X 12" TREAD X 48" WIDE
- ANSI A117.1 - 2008 COMPLIANT
- DESIGN LOADING:
 - a. DECK/RAMP: 100 PSF
 - b. STAIR TREAD 300 LBS/TREAD
 - c. RAILING 50 PLF/200 LBS CONC.
- DOOR CLEARANCE PER IBC
- STANDARD 3 LINE RAIL FOR COMPONENTS 30" OR LESS FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- 42" VERTICAL PICKET GUARDRAIL FOR COMPONENTS OVER 30" FROM GRADE TO WALKING SURFACE OF RAMP, LANDING, OR STAIR.
- GRASPABLE CONTINUOUS HANDRAIL AT 34" TO 38" OFF RAMP, PLATFORM, OR STAIR NOSING.
- HANDRAILS TO EXTEND 12" HORIZONTALLY OVER WALKING SURFACE AND RETURN TO WALL OR RAIL COLUMN.
- RAMP AND RAILING TO HAVE CURBS WHICH DO NOT ALLOW PASSAGE OF 4" SPHERE WHERE ORIGINAL POSITION OF SPHERE IS WITHIN 4" OF THE WALKING SURFACE.
- FOOTING INFORMATION:
2'X12'X12" P.T. WOOD PAD REQUIRED UNDER ALL ADJUSTABLE LEGS EXCEPT AT THE "U" IN THE SWITCHBACK CONFIGURATION WHERE A 4" X 16" X 16" CONCRETE PAD OR 16" X 16" POLYVOC. PVC PAD IS REQUIRED (SEE CONFIGURATION "F").

PLUMBING FIXTURE COUNT (PER IBC 2018 TABLE 2902.1 & WA STATE AMENDMENTS)

Code Notes:
-Per IBC 2018/WA AMENDMENT TABLE 2902.1, NOTE e. For Group E occupancies: The number of occupants shall be determined by using a calculation of 100 SF gross building area per student for the minimum number of plumbing fixtures.
-Per IBC 2018, 2902.1.1.2 Where urinals in men's facilities are provided, one water closet less than the number specified may be provided for each urinal installed, except in the number of water closets in such cases shall not be reduced to less than one quarter (25%) of the minimum specified. For men's facilities serving 26 or more persons, not less than one urinal shall be provided.
-Count gang lavatories based on faucet count.
-Each new or existing portable classroom calculated as a 28x32' modular size.

GROSS EXISTING BUILDING AREA:		
GROSS EXIST. Bldg 50-01-Level 1	47,270 SF	
GROSS EXIST. Bldg 50-01-Level 2	40,046 SF	
GROSS EXIST. Bldg 50-01-Level 3	34,092 SF	
GROSS DEMO Bldg 50-02-Level 1	-15,571 SF	
GROSS DEMO Bldg 50-02-Level 2	-9,753 SF	
GROSS EXIST. Bldg 50-04-Level 1	21,264 SF	
GROSS EXIST. Bldg 50-05/62-01-Level 1	46,241 SF	
GROSS EXIST. Bldg 50-05-Level 2	18,973 SF	
GROSS EXIST. Portable:	5,376 SF	
GROSS NEW Portable:	199,586 SF	
TOTAL		

# OF OCCUPANTS	
GROSS SF/100	1996

ASSUME: 50% MALE/ 50% FEMALE	
MALE	FEMALE
999	999

	WATER CLOSETS		URINALS		LAVATORIES	
	FEMALE	MALE	MALE	FEMALE	MALE	MALE
	1 PER	25	1 PER	35	1 PER	50
		40		29		20
						12
CODE MINIMUM						
CODE MAXIMUM						
Bldg 50-01-Level 1		16		9	14	11
Bldg 50-01-Level 2		7		2	8	7
Bldg 50-01-Level 3		7		3	8	7
Bldg 50-02-Level 1		-4		-1	-3	-4
Bldg 50-02-Level 2		-3		-1	-3	-1
Bldg 50-04-Level 1		5		3	2	3
Bldg 50-05/62-01-Level 1		14		8	10	15
Bldg 50-05-Level 2		4		1	4	2
Exist. Portables		0		0	0	0
New Portables		0		0	0	0
PROPOSED		46		24	40	36
CODE COMPLIANT:		TRUE		TRUE	TRUE	TRUE

ARCHITECT

studio **MENG**
STRAZZARA

2001 WESTERN AVE. STE 300, SEATTLE, WA 98101
www.studio-meng.com | P: 206.327.3707

CONSULTANT

CLIENT/OWNER

PUYALLUP
SCHOOL DISTRICT
A Tradition of Excellence

TITLE
**PUYALLUP HS NEW
PORTABLES 2023**

STAMP

6181 REGISTERED
ARCHITECT
Charles Strazzara
CHARLES STRAZZARA
STATE OF WASHINGTON

ISSUED: DATE:

CONDITIONAL USE PERMIT OCT, 11 2023
CUP CC#1 RESPONSE APR 5, 2024

ARCHITECTURAL
CODE SHEET

Building Permit #: -

CUP #: PLCUP20230109

Owner's Project #: -

Architect's Project #: 2023106

Drawn By RL

Checked By SL

G001