



City of Puyallup
Planning Division
333 S. Meridian, Puyallup, WA 98371
(253) 864-4165
www.cityofpuyallup.org

Downtown Design Review Decision	CITY USE ONLY Case Number: PLDDG20240023 DRHPB Meeting Date: April 04, 2024
	NAME OF PROJECT: 43rd AVE SW DUPLEXES
PROJECT DESCRIPTION: Design Review two duplexes on abutting lots at 409 and 433 43 rd Ave SW	

- APPROVED.** Issue the building permit as proposed.
- APPROVED WITH CONDITIONS.** Issue the building permit in accordance with conditions.
- DENIED. Do not** issue the building permit or allow work.

DRHPB Representative Signature

4/9/2024

Date

EXPIRATION: In accordance with PMC 20.26.050, any design review decision granted by the DRHPB shall become null and void if not exercised within one year of the date of approval: 09 Apr 2025. If such design review decision is associated with a land use application, the one-year approval timeframe shall start from the date of land use permit approval. A design review decision shall be deemed exercised and remain in full force and effect when a complete building permit application, which is related to the board's decision, has been submitted.

APPEALS: In accordance with PMC 2.29.080, appeals of board decisions shall be to the hearing examiner. Appeals shall be filed with the city clerk within 10 calendar days after the date of the board's decision. A notice of appeal shall be in writing, signed by the appellant, accompanied by the required appeal fee (\$570), and shall contain the following information:

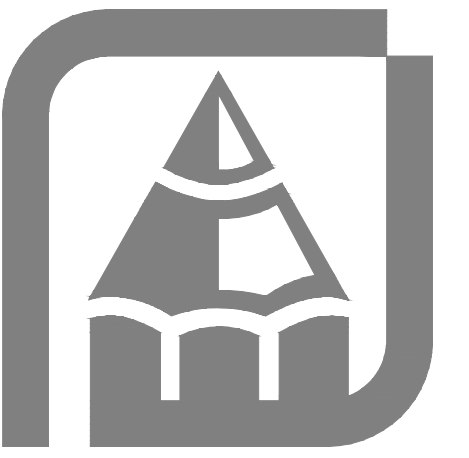
- (a) Appellant's name, address and phone number;
- (b) A description of standing, as the applicant or applicant's representative authorized to appeal;
- (c) Identification of the application and decision which is the subject of the appeal;
- (d) A brief statement of grounds for appeal; and
- (e) A statement of the relief sought.

ATTACHMENT(S):

- **Appendix A: Architectural Elevations for both duplexes**
- **Appendix B: Site Plan**

FINDINGS OF FACT:

- 1) The proposal is subject to Design Review and Historic Preservation Board (DRHPB) review due to the age of the building (constructed prior to 1949) and the CBD-Core zoning designation, consistent with 2.29.070 (1)(a)(ii).
- 2) The project is subject to the following sections of the City of Puyallup Downtown Design Guidelines, as applicable to the proposal:
 - Part 1: Introduction
 - Part 2: Significant Buildings
 - Part 3: Building Design – Form & Massing
 - Part 4: Building Design – Façade
 - Part 5: Pedestrian Experience
- 3) The DRHPB hereby finds the proposal consistent with the Downtown Design Guidelines regarding the applicable sections as outlined in the staff report to the Board, ~~given the following conditions, if any:~~
 - a. ~~No Conditions; Approved as proposed~~



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES.

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Rueppell Home Design

Plan: 1864-1864
 HC HOMES DUPLEX
 Date: 04/11/23
 Revision Date: 09/20/23
 Drawn by: SM/BP
 Phone: (253) 297-8040

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ANY WINDOW THAT OPENS MORE THAN 4', THAT IS INSTALLED LESS THAN 24" ABOVE THE FLOOR AND THAT HAS GREATER THAN 12" DROP OUTSIDE MUST HAVE FALL PROTECTION PER R302.2.

SEE ATTACHED ENERGY CODE SHEET FOR CHOSEN ENERGY MEASURE, INSULATION REQ., VENTILATION OPTION CHOSEN AND OTHER ENERGY CODE COMPLIANCE NOTES.

CRAWL AND ATTIC ACCESS SHALL BE SEALED IN ACCORDANCE WITH WSEC 402.2.4 - LOCATE ACCESS BTWN JOISTS/TRUSSES.

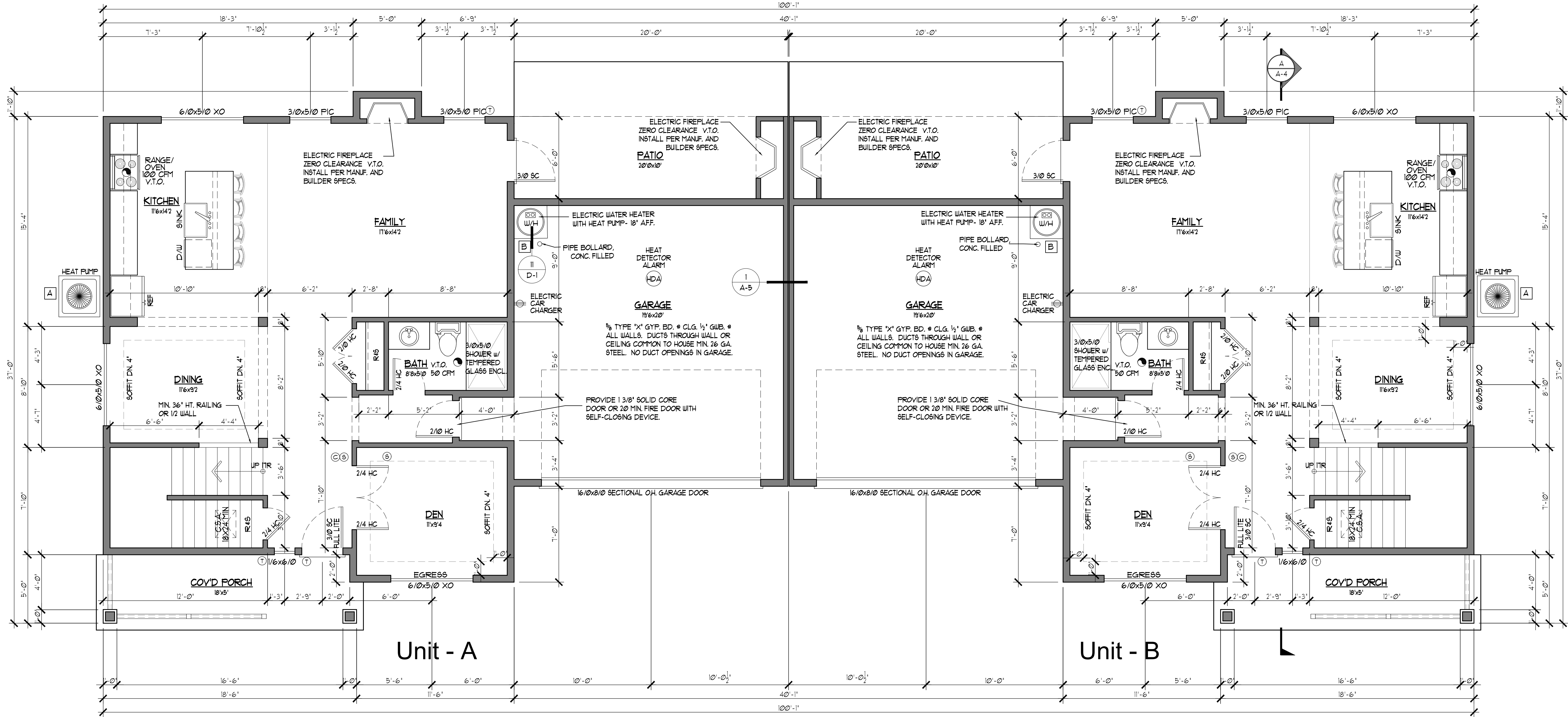
HANDRAIL: CONTINUOUS FULL LENGTH FLIGHT OF STAIR. HANDGRIP PORTION TO BE NOT LESS THAN 1 1/4" OR MORE THAN 2" IN CROSS SECTION. HANDRAIL TO BE NOT LESS THAN 1 1/2" FROM WALL.

PROVIDE STAIRWAY ILLUMINATION PER SECTION R303.1 IRC

ENCLOSED USABLE SPACE BELOW STAIRS MUST HAVE 1/2" GUEB. ON ENCLOSED SIDE

OPENINGS SUCH AS DOORS AND ATTIC ACCESSES SHALL BE 1-3/8" SOLID CORE DOORS, OR A 20-MINUTE RATED ASSEMBLY AND SHALL BE SELF-CLOSING AND SELF-LATCHING.

HVAC AND DUCTING TO BE ENCLOSED IN INSULATED SPACE- NO DUCTING IN FOUNDATION CRAWLSPACE



MAIN FLOOR PLAN

1/4" = 1'-0"

UNITS A

FLOOR PLAN CALCULATIONS	
MAIN FLOOR:	971 SF.
UPPER FLOOR:	893 SF.
TOTAL # FTG (HEATED):	1,864 SF.
GARAGE:	420 SF.

MAXIMUM TESTED BUILDING AIR LEAKAGE TO 3.0 AIR PER HOUR.
 ALL SHOWERS REQUIRE SHOWER PAN INSPECTION.

Parcel number: 0419095022
 Site Address:
 409 43rd Ave. SW Puyallup, WA. 98373

- HVAC AND WATER HEATER
- [A] HVAC UNIT TO BE MODEL XXXX, MIN. H8FF OF 35. HEAT PUMP TO BE MODEL XXXX
 - [B] ELECTRIC WATER HEATER WITH INTEGRATED HEAT PUMP, TIER III NEAA SPEC, MODEL XXXXXX

UNITS B

FLOOR PLAN CALCULATIONS	
MAIN FLOOR:	971 SF.
UPPER FLOOR:	893 SF.
TOTAL # FTG (HEATED):	1,864 SF.
GARAGE:	420 SF.

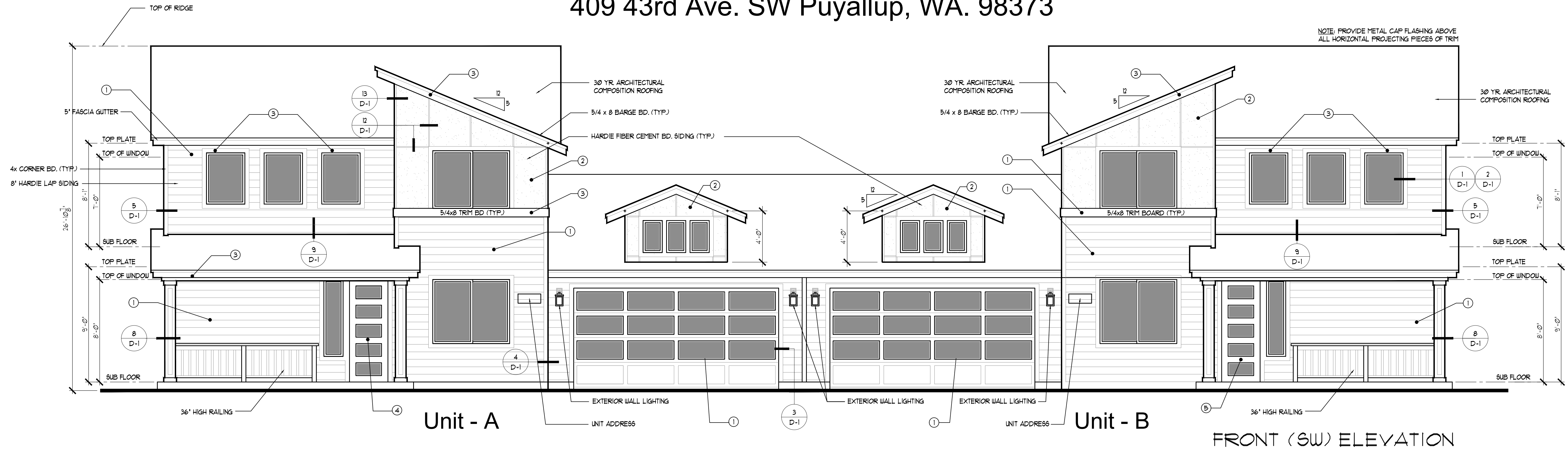


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 Site Address:
 409 43rd Ave. SW Puyallup, WA. 98373



CONTRACTOR SHALL VERIFY THE EXISTING USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER AND REPORT TO THE CUSTOMER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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FRONT (SW) ELEVATION

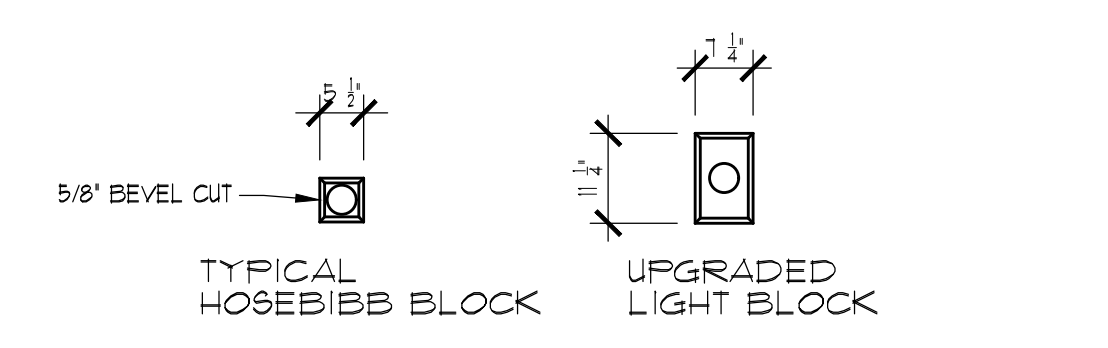
GARAGE DOOR AREA: 124 SQ. FT.
 FRONT WINDOWS AREA PER UNIT: 123.25 SQ. FT.

PER PLDDG 5.B.3.5
 30% TRANSPARENCY WITHIN THE PEDESTRIAN VIEW PLANE
 SHOULD BE ACHIEVED FOR GROUND FLOOR RESIDENTIAL BLDGS.
 TOTAL AREA PER UNIT: 350 SF.
 TOTAL GLAZING AREA: 123.25 SF.
 GLAZING PERCENTAGE = 31% PER UNIT

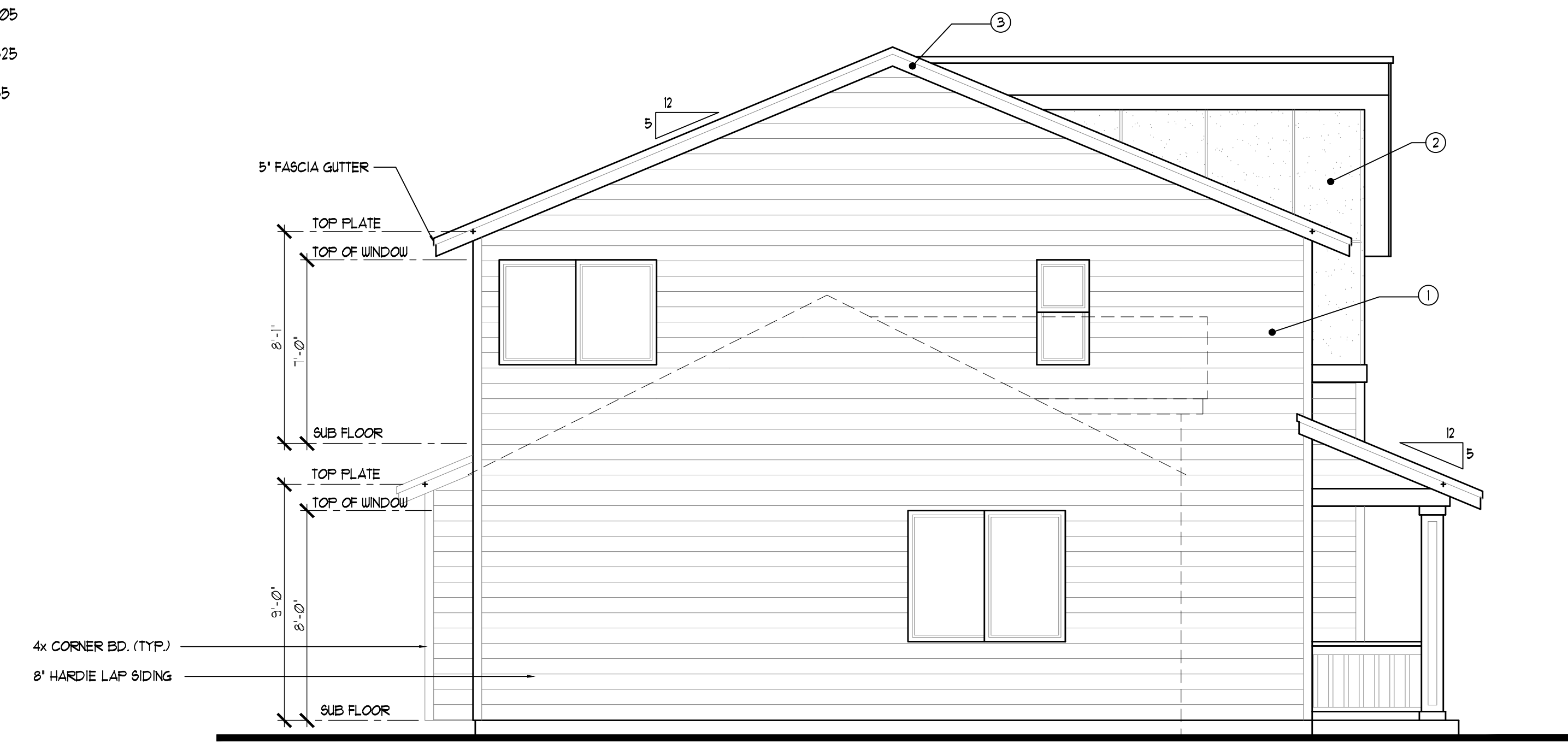
BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4 INCHES HIGH WITH A MIN. STROKE WIDTH OF 1/2 INCH PER IRC R319.1

- EXTERIOR PAINT COLOR LEGEND:
- ① DORIAN GREY SW 1011
 - ② IRON ORE SW 1069
 - ③ PURE WHITE SW 1005
 - ④ MOUNT ETNA SW 1625
 - ⑤ PALM LEAF SW 1135

R909.2.2.5 DRIP EDGE:
 A DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES OF SHINGLE ROOFS. ADJACENT PIECES OF DRIP EDGE SHALL BE OVERLAPPED A MINIMUM OF 2 INCHES (51 mm). DRIP EDGES SHALL EXTEND A MINIMUM OF 0.25 INCH (6.4 mm) BELOW THE ROOF SHEATHING AND EXTEND UP THE ROOF DECK A MINIMUM OF 2 INCHES (51 mm). DRIP EDGES SHALL BE MECHANICALLY FASTENED TO THE ROOF DECK AT A MAXIMUM OF 12 INCHES (305 mm) O.C. WITH FASTENERS AS SPECIFIED IN SECTION R909.2.5. UNDERLAYMENT SHALL BE INSTALLED OVER THE DRIP EDGE ALONG EAVES AND UNDER THE UNDERLAYMENT ON GABLES. UNLESS SPECIFIED DIFFERENTLY BY THE SHINGLE MANUFACTURER, SHINGLES ARE PERMITTED TO BE FLUSH WITH THE DRIP EDGE.



TYPICAL BLOCKING DETAIL
 SCALE: 1/2" = 1'



RIGHT (SE) ELEVATION

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 Home Design

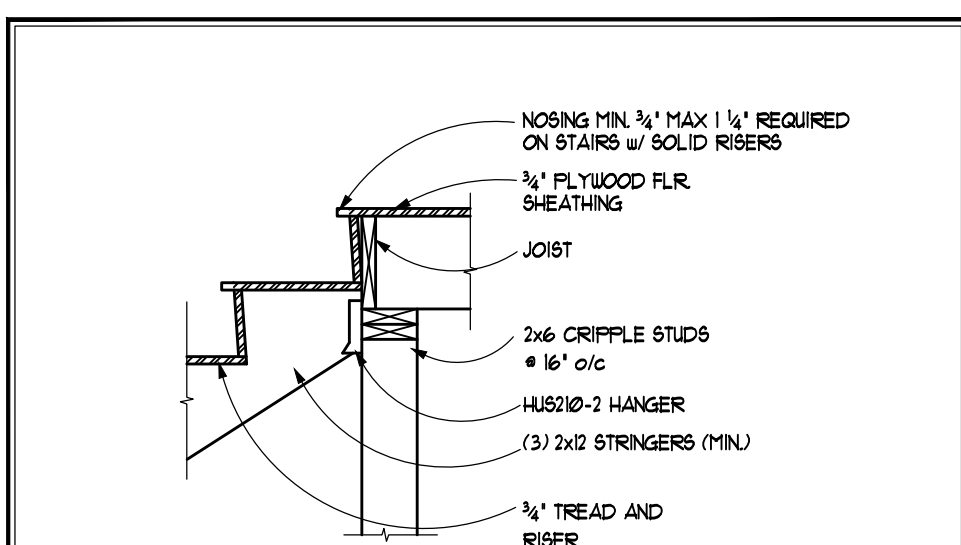
Plan: 1864-1864
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 Date: 04/11/23
 Revision Date: 03/25/24
 Drawn by: SM/BP
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[A-3]

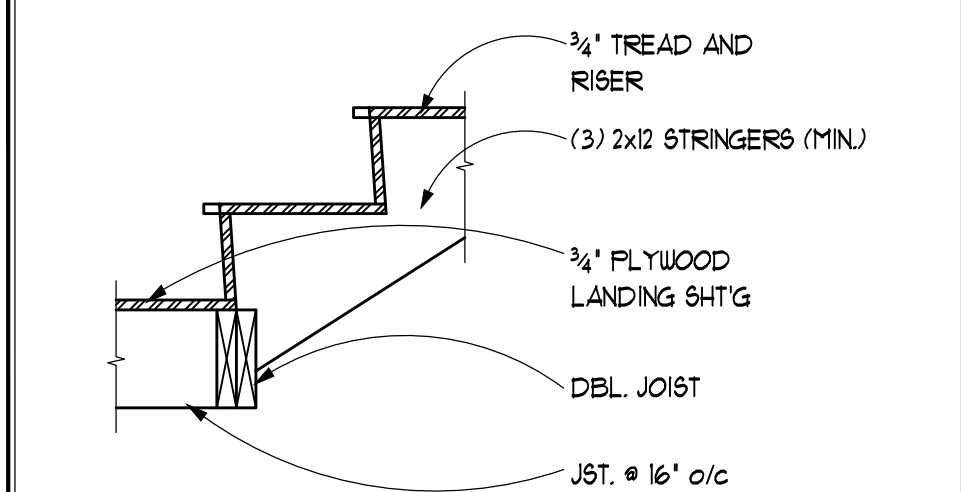
STAIR AND GUARDRAIL NOTES:

ILLUMINATION NOTES: PER IRC SECTION 303.6, R315.1 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP OF THE LANDING OF THE STAIRWAY. LIGHTING CONTROLS SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS.

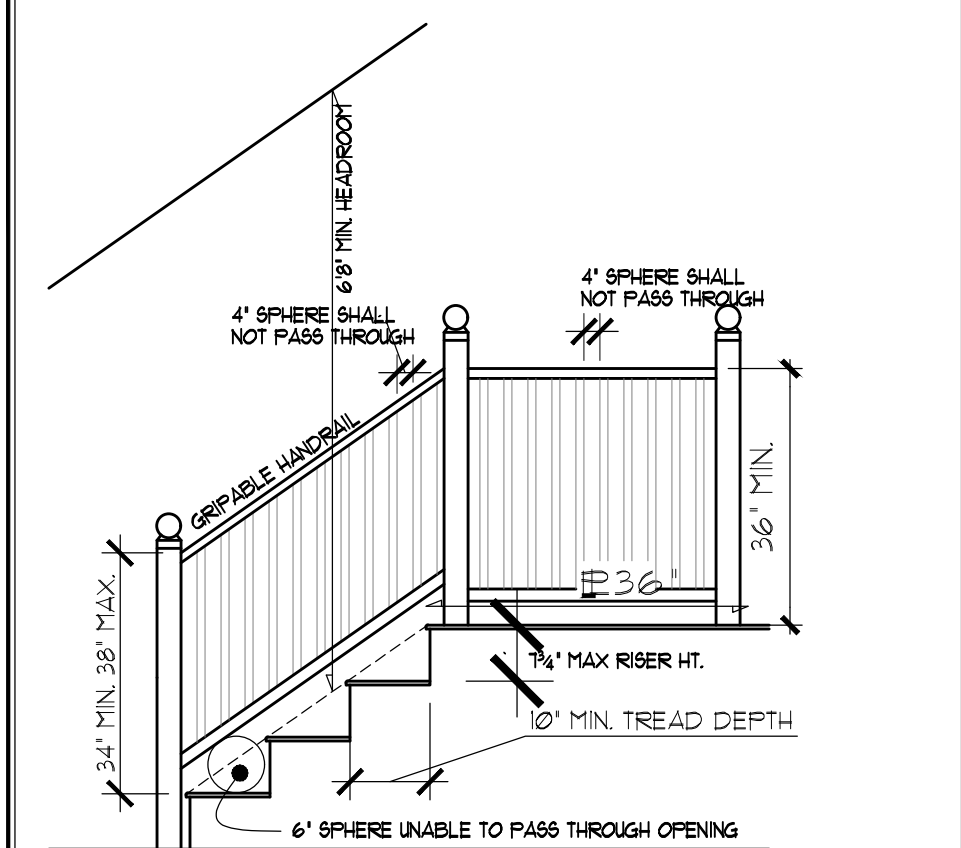
4 OR MORE RISERS TO HAVE AT LEAST ONE HANDRAIL RUNNING CONTINUOUSLY THROUGH THE FULL LENGTH OF STAIR. 34" MIN. HT., 38" MAX. HT. END SHALL RETURN TO WALL OR NEUL POST OR VOLUTE. HANDRAIL MUST BE STRONG ENOUGH TO RESIST A 200 LB. FT. LOAD IN ANY DIRECTION. HANDRAIL TO BE PRESENT ON AT LEAST ONE SIDE OF STAIR. HANDGRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4" MIN. & 2 1/4" MAX. EDGES SHALL HAVE A MIN. RADIUS OF 1/8". ALL REQ. GUARDRAILS TO BE 36" MIN. IN HEIGHT. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND NOT GREATER THAN 6 1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (51 MM).



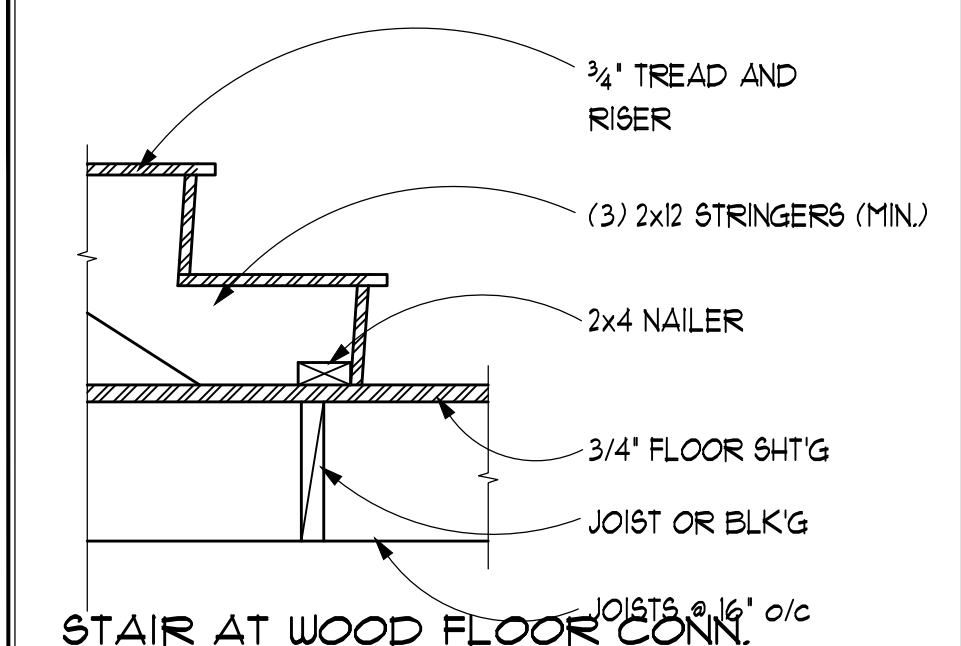
STAIR AT FLOOR CONNECTIONS



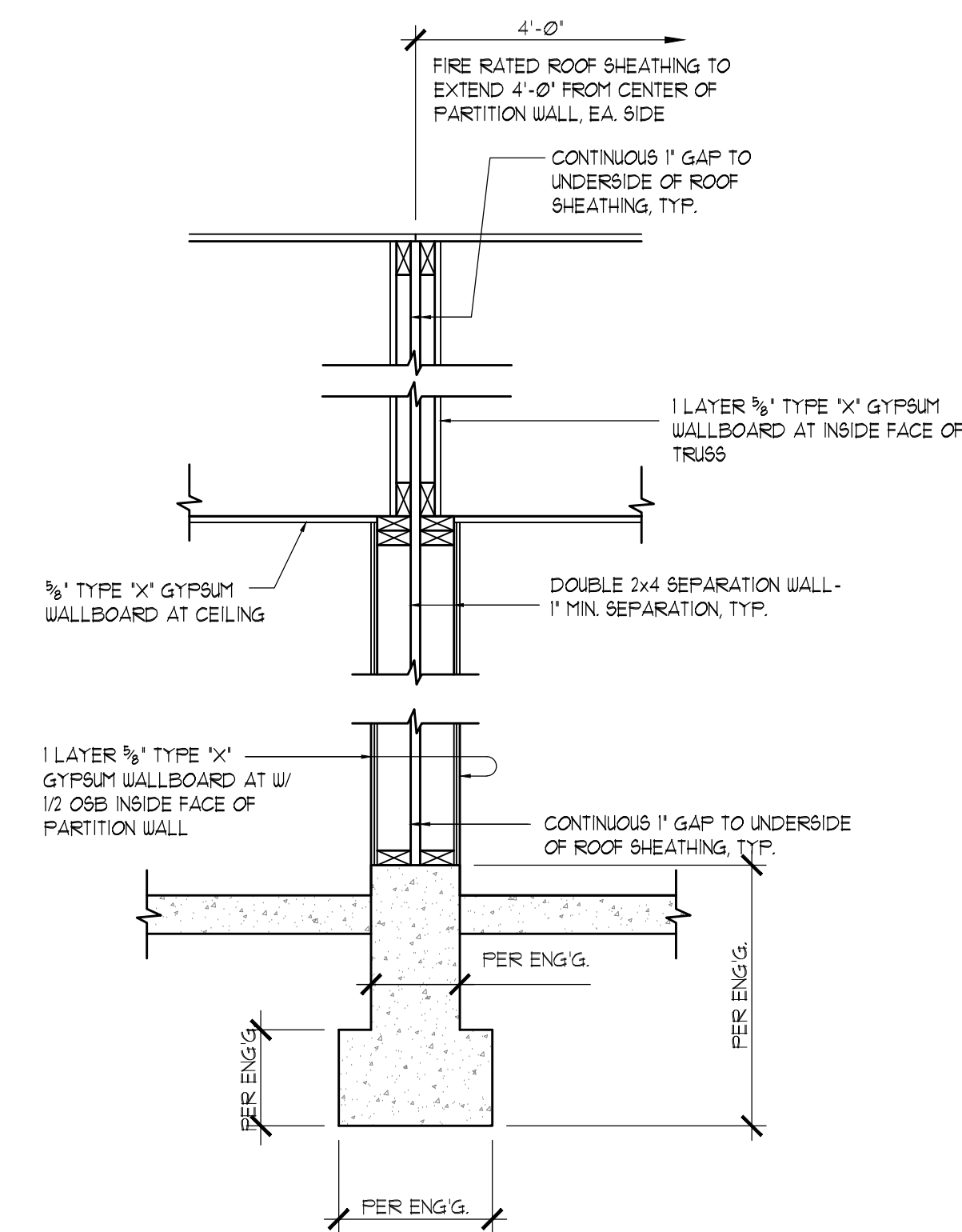
STAIR AT LANDING CONN.



GUARD & STAIR REQUIREMENTS



STAIR AT WOOD FLOOR CONN.



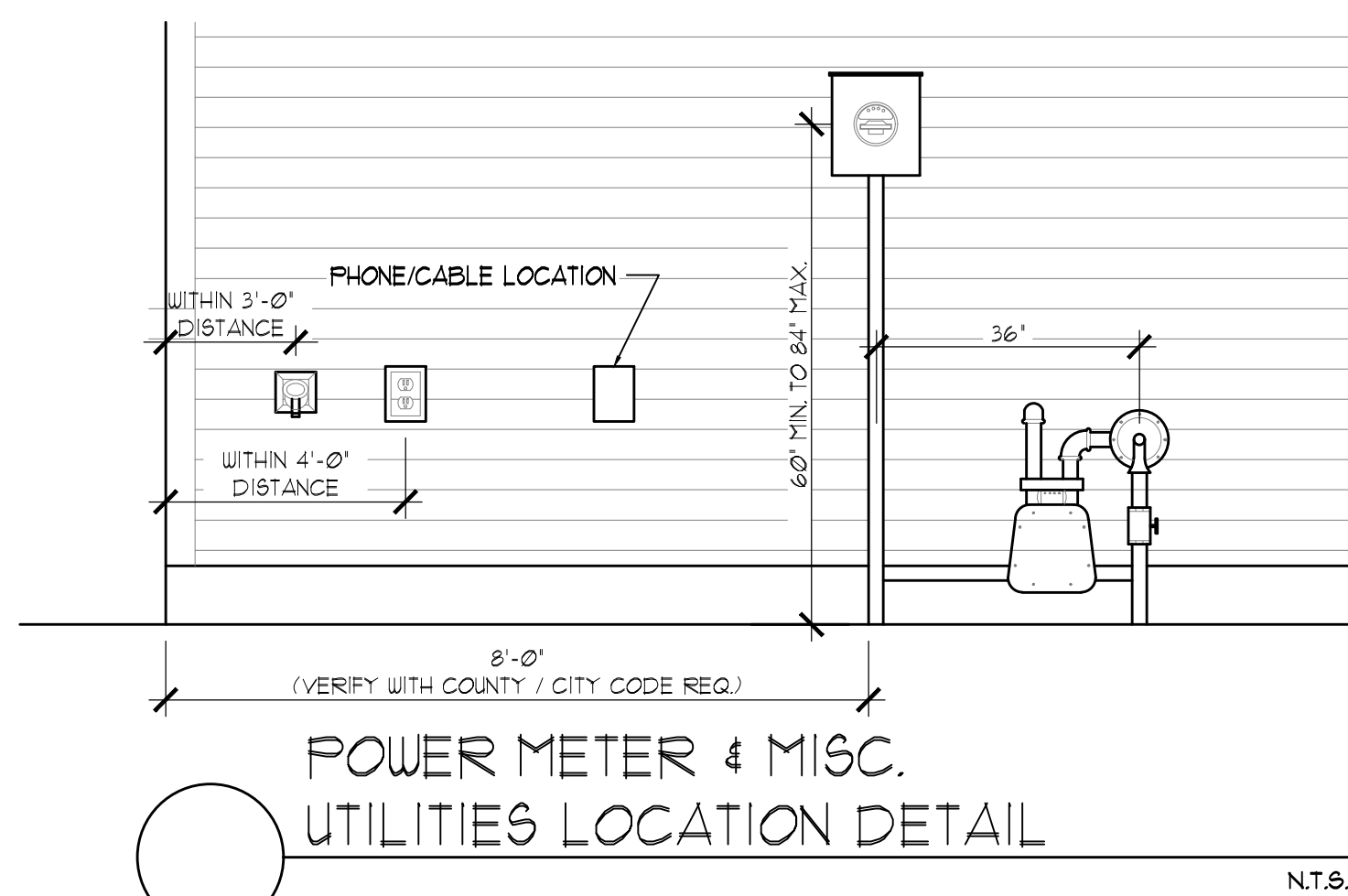
1 HOUR RATED PARTITION WALL ASSEMBLY

SCALE: N.T.S.

GA FILE NO. UP 5512

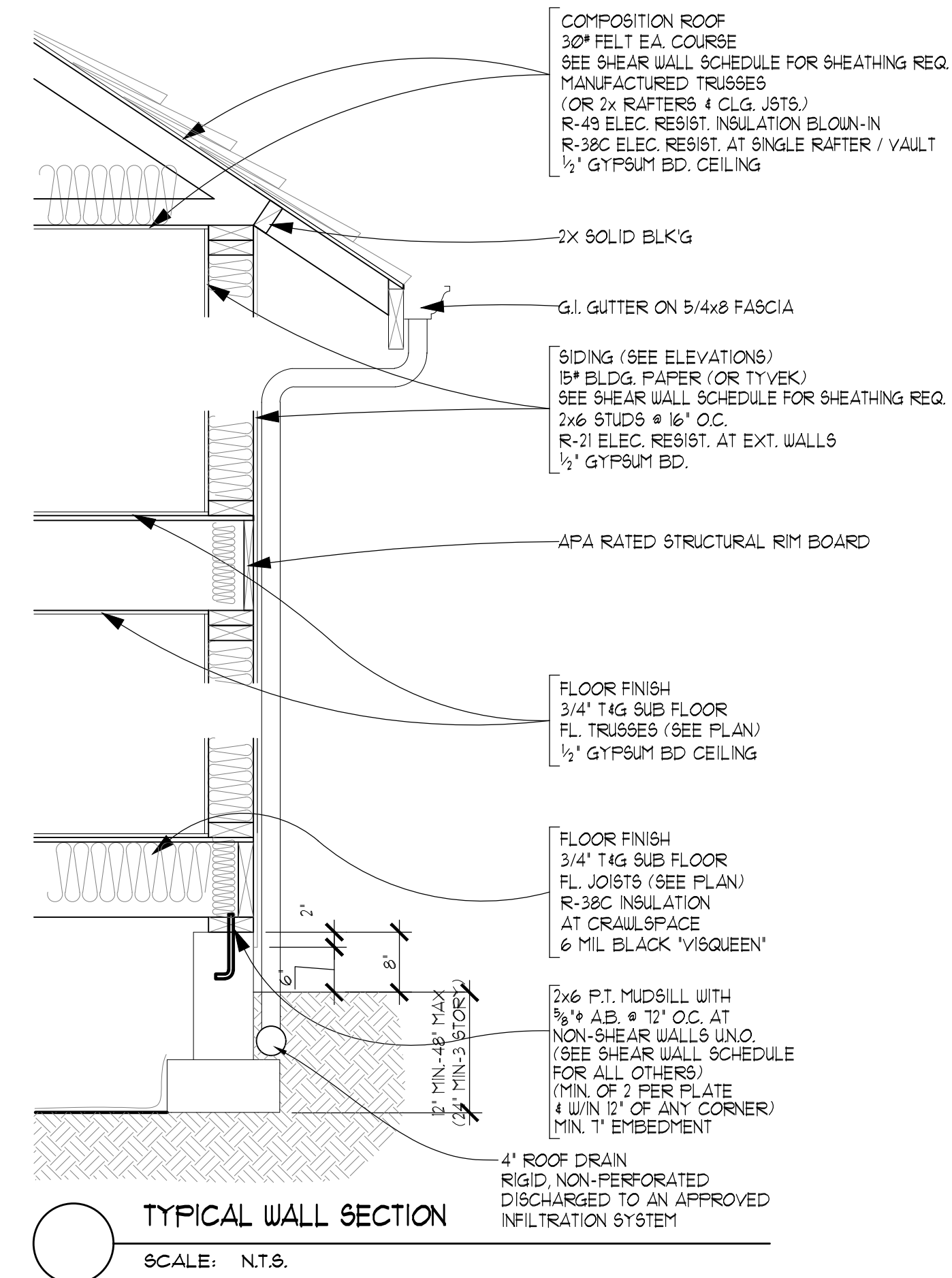
*NOTE: HORIZONTAL BRACING REQUIRED AT WALL MID-HEIGHT, TYP.

GA FILE NO. UP 5512	GENERIC	1 HOUR FIRE	45 TO 49 STC SOUND
GYPSUM WALLBOARD, WOOD STUDS			
ONE LAYER 5/8" TYPE 'X' GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF DOUBLE ROW OF 2x4 WOOD STUDS 16" O.C. ON SEPARATE PLATES 1" APART WITH 6d COATED NAILS, 1 1/2" LONG, 0.0935" SHANK, 1/4" HEADS, 1" O.C.			
JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT. (LOAD BEARING)		THICKNESS: 5/8"	APPROX. WEIGHT: 8 PSF
		FIRE TEST: SEE UP 3605	SOUND TEST: NRCC TL-93-261 IRC-IR-161, 3/98



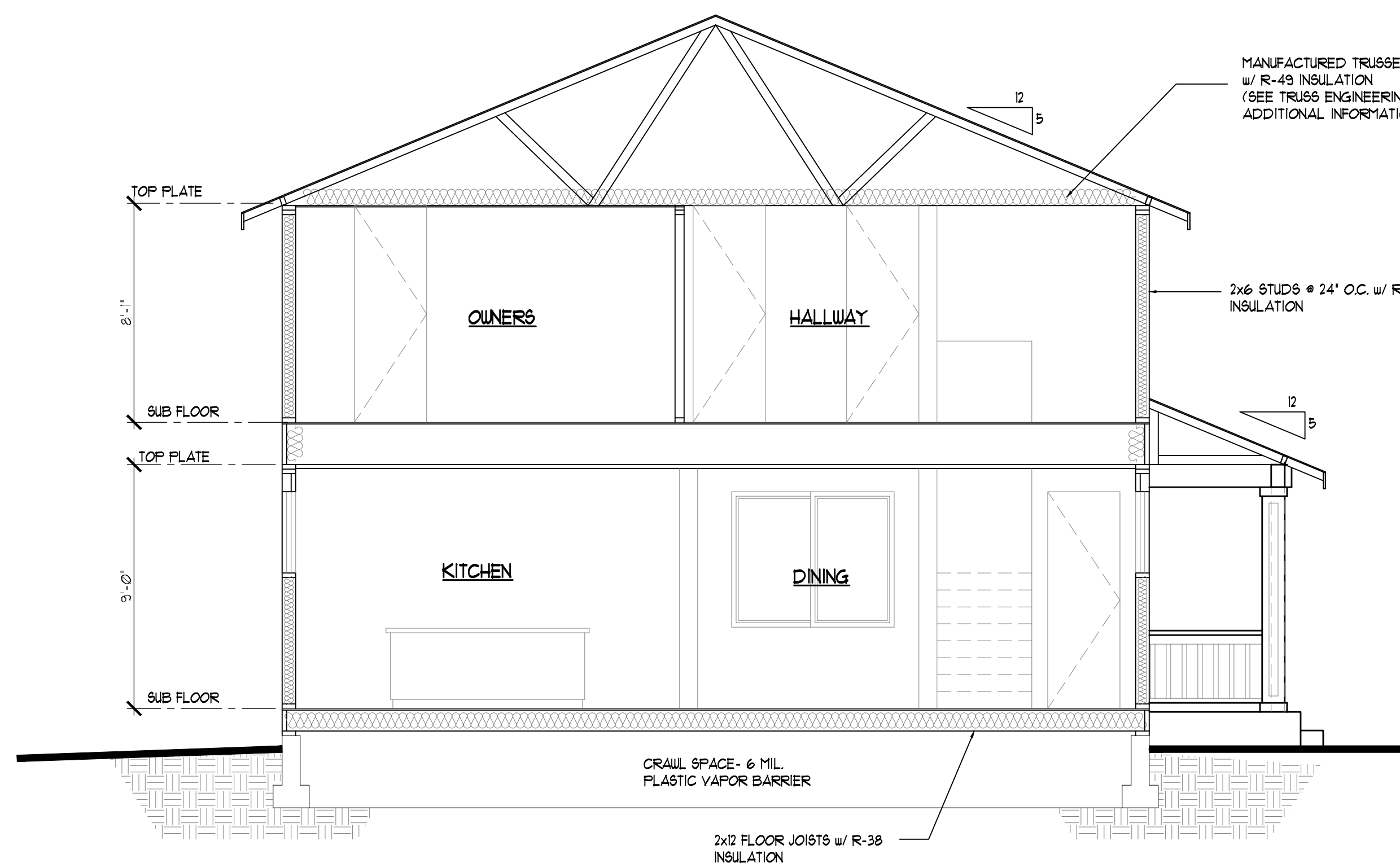
POWER METER & MISC. UTILITIES LOCATION DETAIL

N.T.S.



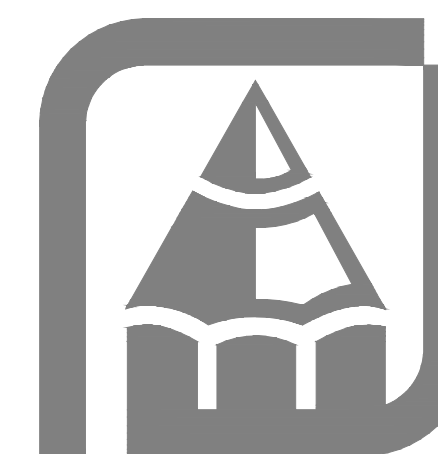
TYPICAL WALL SECTION

SCALE: N.T.S.



SECTION A

1/4"=1'-0"



CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND TO VERIFY THE CUSTOMER'S REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE SITE.

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Rueppell
Home Design

Plan: 1864-1864

HC HOMES DUPLEX

Date: 04/11/23

Revision Date: 09/20/23

Drawn by: SM/BP

Phone: (253) 297-8040

Parcel number: 0419095022
Site Address:
409 43rd Ave. SW Puyallup, WA. 98373

[A-5]

ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES, AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE POWER SERVING AND TELEPHONE COMPANIES.

ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF.

RECEPTACLES IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE COUNTER TOP UNO. IN THE DRAWINGS.

PROVIDE MINIMUM TWO (2) 20 AMPERE SMALL APPLIANCE CIRCUITS AT THE KITCHEN, DINING ROOM AND/OR BREAKFAST AREAS.

PROVIDE GFI PROTECTION AT BATHROOMS, POWDER ROOMS, OUTDOOR RECEPTACLES, GARAGES AND WITHIN 6 FEET OF THE KITCHEN SINK.

RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY UNBROKEN WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET IN THAT SPACE. A WALL SPACE SHALL INCLUDE ANY SPACE 2 FEET OR MORE IN WIDTH (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES, AND SIMILAR OPENINGS.

IN KITCHEN AND DINING AREAS AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12 INCHES.

A RECEPTACLE SHALL BE INSTALLED IN USABLE WALL SPACE 2 FEET OR MORE IN WIDTH.

RECEPTACLES AND SWITCHES BACK TO BACK IN FIRE SEPARATION WALLS MUST MAINTAIN SEPARATE BAYS.

ALL EQUIPMENT AND MATERIALS FURNISHED AND INSTALLED UNDER THIS SECTION, SHALL BE GUARANTEED BY THE TRADE PARTNER FOR A PERIOD OF TWO YEARS FROM THE DATE OF ACCEPTANCE OF THE WORK.

PROVIDE TWO METHODS OF GROUNDING CLAMP AT HOSEBIBB

ONE ADDITIONAL #4 BAR 20-FOOT LONG IN FOOTING AT ELECTRICAL METER LOCATION FOR UFFER GROUND.

RECEPTACLE OUTLETS FOR RANGES AND CLOTHES DRYERS SHALL BE A 3-POLE WITH GROUND TYPE. FOURWIRE, GROUNDING-TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES AND CLOTHES DRYERS. THE BONDING JUMPER SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL AND THE FRAME OF THE APPLIANCE.

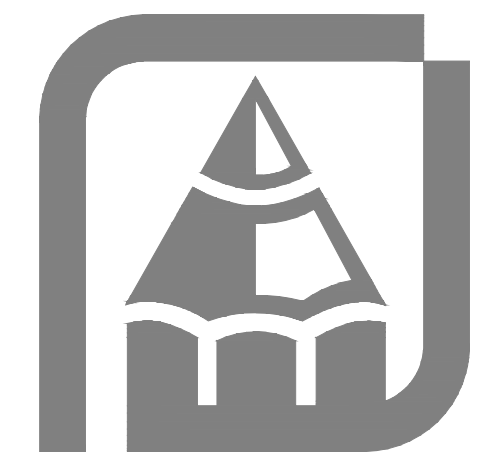
PROVIDE A MIN. OF TWO 20-AMPERE-RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST, AND DINING AREAS, A SEPARATE 20-AMPERE-RATED BRANCH CIRCUIT TO THE LAUNDRY, AND A SEPARATE 20-AMPERE-RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLE(S).

PER IRC E3902.1, ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 OR 20 AMPERE OUTLETS INSTALLED IN DWELLING SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

PANEL AND CIRCUIT BREAKERS SHALL BE INSPECTED, 2-5 NEC 210-12, (a) AND (b), ARC-FAULT CIRCUIT INTERRUPTER PROTECTION.

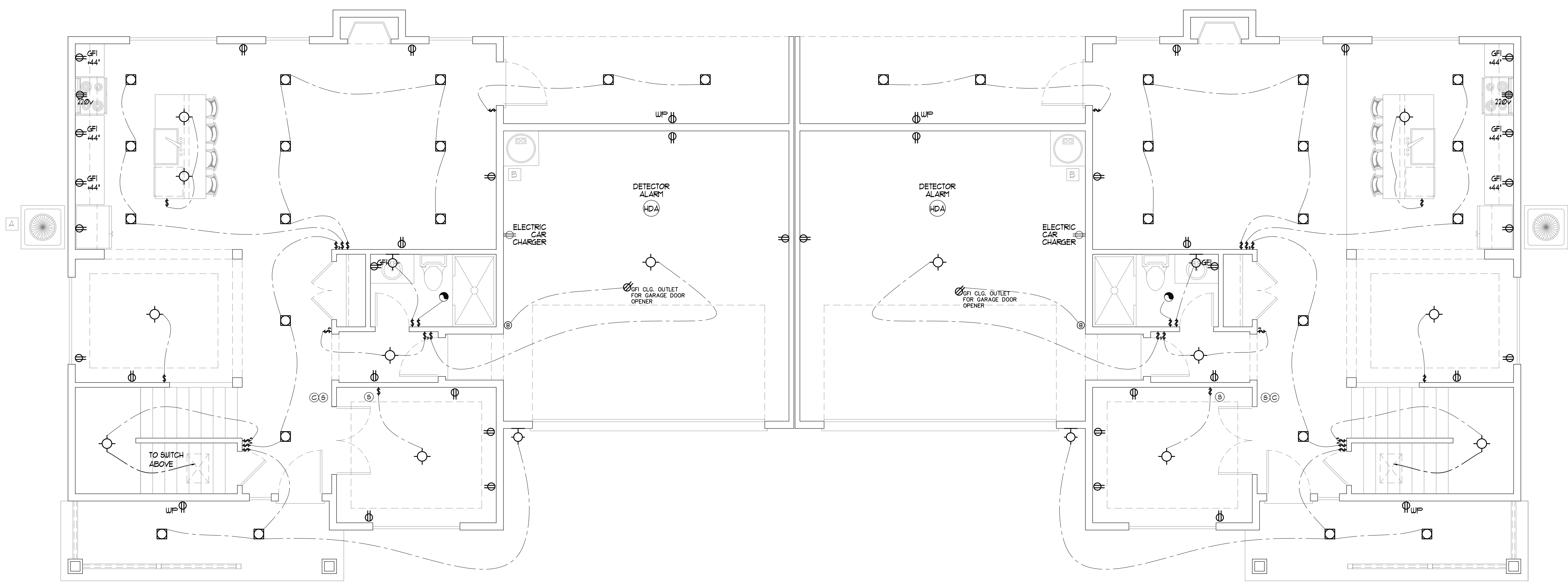
ELECTRICAL LEGEND			
Ⓢ	SINGLE POLE SWITCH	⊙	STANDARD CEILING MOUNT LIGHT OUTLET
Ⓢ₃	3 POLE SWITCH	⊙ _{RL}	PORCELAIN SOCKET FIXTURE
Ⓢ₄	4 POLE SWITCH	⊙ _{FL}	FLUORESCENT CEILING MOUNT LIGHT OUTLET
Ⓢₒₛ	SINGLE POLE OCCUPANCY SENSOR	⊙ _{HS}	WALL MOUNTED STANDARD LIGHT FIXTURE
Ⓢₘ	SINGLE POLE SWITCH W/ MOTION SENSOR	⊙ _{HO}	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
Ⓢₜ	TIMER SWITCH	⊙ _{RCFL}	RECESSED CFL CAN LIGHT
Ⓢ _v	LOW VOLTAGE SWITCH	⊙ _{RF}	RECESSED FLUORESCENT CAN LIGHT
Ⓢ _{DU}	DUPLEX RECEPTACLE OUTLET	⊙ _{RD}	RECESSED DIRECTIONAL CAN LIGHT
Ⓢ _{SW}	SPLIT WIRE DUPLEX OUTLET	⊙ _K	KICK LIGHT
Ⓢ _{GFI}	GROUND FAULT INTERCEPT OUTLET	⊙ _{EF}	EXHAUST FAN
Ⓢ ₃₀	30 AMP 220 VOLT ELECTRIC CAR OUTLET	⊙ _{CR4}	COMBINATION RECESSED CAN 4 EXHAUST FAN
Ⓢ _{220v}	220v OUTLET	⊙ _T	THERMOSTAT
Ⓢ _{AVC}	AVC DISCONNECT	⊙ _J	JUNCTION BOX
Ⓢ _F	FLOOR RECEPTACLE	⊙ _{LVAL}	LOW VOLTAGE ADDRESS LIGHT
Ⓢ _{FB}	FUSH BUTTON	⊙ _{BF}	BOX FLUORESCENT, REFER TO PLAN FOR SIZE
Ⓢ _C	CHIMES	⊙ _{GD}	GARAGE DOOR OUTLET
Ⓢ _T	TELEPHONE	⊙ _{GFI}	GFI CLG. OUTLET FOR GARAGE DOOR OPENER
Ⓢ _{TA}	TELEVISION ANTENNA (STRUCTURED WIRING INSTALLED AT TELEVISION LOCATION)	⊙ _{CF}	CEILING FAN OUTLET (BLOCKED)
Ⓢ _{SD}	SMOKE DETECTOR - PERMANENTLY WIRED AND INTERCONNECTED		
Ⓢ _{CCO}	COMBO CARBON MONOXIDE / SMOKE DETECTOR		

V.T.O. = VENT TO OUTSIDE; W.H.F. = WHOLE HOUSE FAN; VP = VAPOR PROOF; WP = WATER PROOF; CH = CHANDELIER; P = PENDANT



DRAWINGS OF CONTRACTORS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABORERS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABORERS AND SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES.

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MAIN FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

5 MIN. AIR EXCHANGE CEILING FANS PER PLAN
 110 VOLT SMOKE DETECTOR HARD WIRED INTERCONNECTED WITH BATTERY BACK-UP

Plan: 1864-1864
 HC HOMES DUPLEX
 Date: 04/11/23
 Revision Date: 09/20/23
 Drawn by: SM/BP
 Phone: (253) 297-8040

[A-6]

Rueppell
 Home Design

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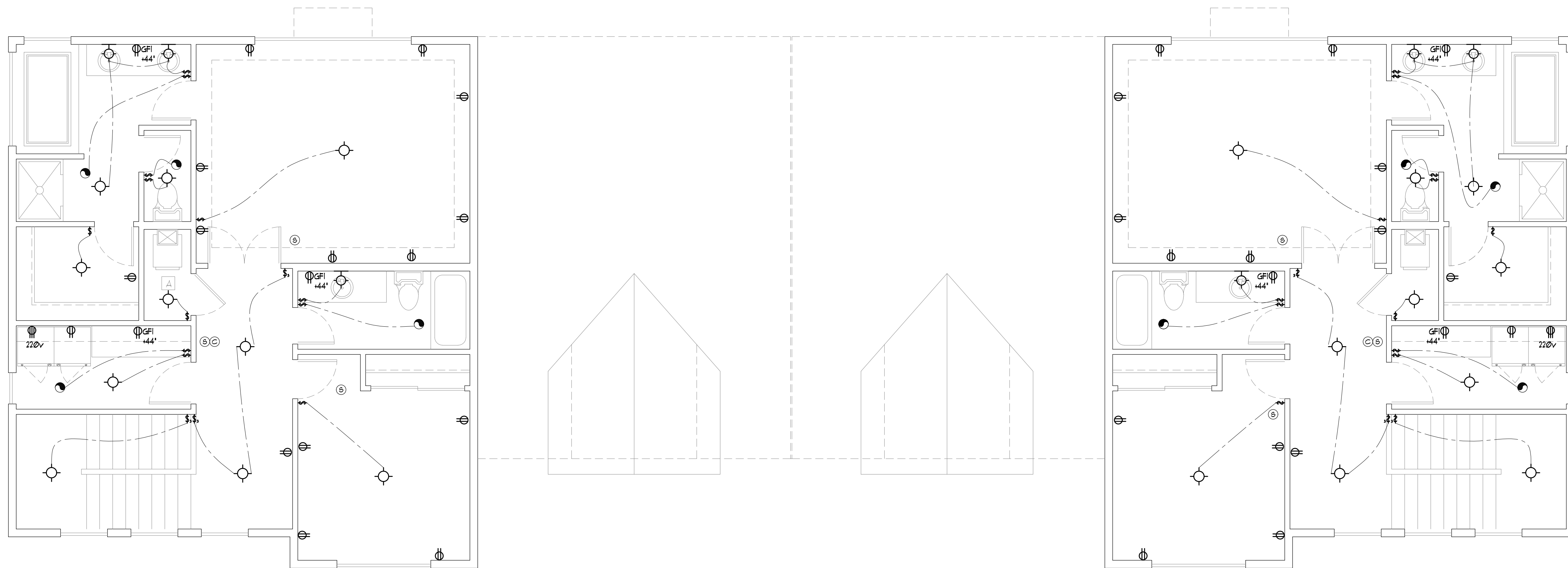
PROVIDE A MIN. OF TWO 20-AMPERE-RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST, AND DINING AREAS, A SEPARATE 20-AMPERE-RATED BRANCH CIRCUIT TO THE LAUNDRY, AND A SEPARATE 20-AMPERE-RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLE(S).

PER IRC E390216, ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE 15 OR 20 AMPERE OUTLETS INSTALLED IN DWELLING SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.

PANEL AND CIRCUIT BREAKERS SHALL BE INSPECTED. 2-5 NEC 210-12, (a) AND (c), ARC-FAULT CIRCUIT INTERRUPTER PROTECTION.

ELECTRICAL LEGEND			
⌚	SINGLE POLE SWITCH	⊙	STANDARD CEILING MOUNT LIGHT OUTLET
⌚	3 POLE SWITCH	⊙ _{RL}	PORCELAIN SOCKET FIXTURE
⌚	4 POLE SWITCH	⊙ _{FL}	FLUORESCENT CEILING MOUNT LIGHT OUTLET
⌚	SINGLE POLE OCCUPANCY SENSOR	⊙ _{WM}	WALL MOUNTED STANDARD LIGHT FIXTURE
⌚	SINGLE POLE SWITCH W/ MOTION SENSOR	⊙ _{FL}	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
⌚	TIMER SWITCH	⊙ _{RF}	RECESSED CFL CAN LIGHT
⌚	LOW VOLTAGE SWITCH	⊙ _{FL}	RECESSED FLUORESCENT CAN LIGHT
⊙	DUPLEX RECEPTACLE OUTLET	⊙ _{RD}	RECESSED DIRECTIONAL CAN LIGHT
⊙	SPLIT WIRE DUPLEX OUTLET	⊙	KICK LIGHT
⊙	GROUND FAULT INTERCEPT OUTLET	⊙	EXHAUST FAN
⊙	30 AMP 220 VOLT ELECTRIC CAR OUTLET	⊙	COMBINATION RECESSED CAN 4 EXHAUST FAN
⊙	220v OUTLET	⊙	THERMOSTAT
⊙	A/C DISCONNECT	⊙	JUNCTION BOX
⊙	FLOOR RECEPTACLE	⊙	LOW VOLTAGE ADDRESS LIGHT
⊙	PUSH BUTTON	⊙	BOX FLUORESCENT, REFER TO PLAN FOR SIZE
⊙	CHIMES	⊙	GARAGE DOOR OUTLET
⊙	TELEPHONE	⊙	CEILING FAN OUTLET (BLOCKED)
⊙	TELEVISION ANTENNA (STRUCTURED WIRING INSTALLED AT TELEVISION LOCATION)		
⊙	SMOKE DETECTOR - PERMANENTLY WIRED AND INTERCONNECTED		
⊙	COMBO CARBON MONOXIDE / SMOKE DETECTOR		

V.T.O. = VENT TO OUTSIDE; W.H.F. = WHOLE HOUSE FAN; VP = VAPOR PROOF; W.P. = WATER PROOF; CH = CHANDELIER; P = PENDANT



UPPER FLOOR ELECTRICAL PLAN

1/4"=1'-0"

5 MIN. AIR EXCHANGE CEILING FANS PER PLAN
110 VOLT SMOKE DETECTOR HARD WIRED INTERCONNECTED WITH BATTERY BACK-UP



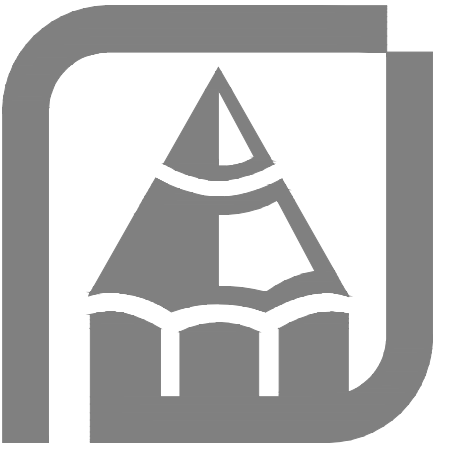
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE CORRECT USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CONTRACTOR.

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OF THE LICENSEE AND FOR THEIR USE. THE CONTRACTOR, THEREFORE, MUST CAREFULLY INSPECT ALL DIMENSIONS AND DETAILS IN THE PLANS FOR UNAUTHORIZED USE OR COPYING OF THESE PLANS. OF THE DESIGNER'S WORK. ANY REVISIONS SHOULD BE MADE UNDER THE CONTRACTOR'S ACT. DIMENSIONS FACE UNLESS NOTED OTHERWISE. DIMENSIONS UP TO 10'00" PER WORK SHALL BE FULLY. A GENERAL NOTE AND SPECIFICATIONS SHEET IS ALWAYS AN INTEGRAL PART OF THESE DRAWINGS AND GENERALLY THE LAST SHEET OF THE SET.

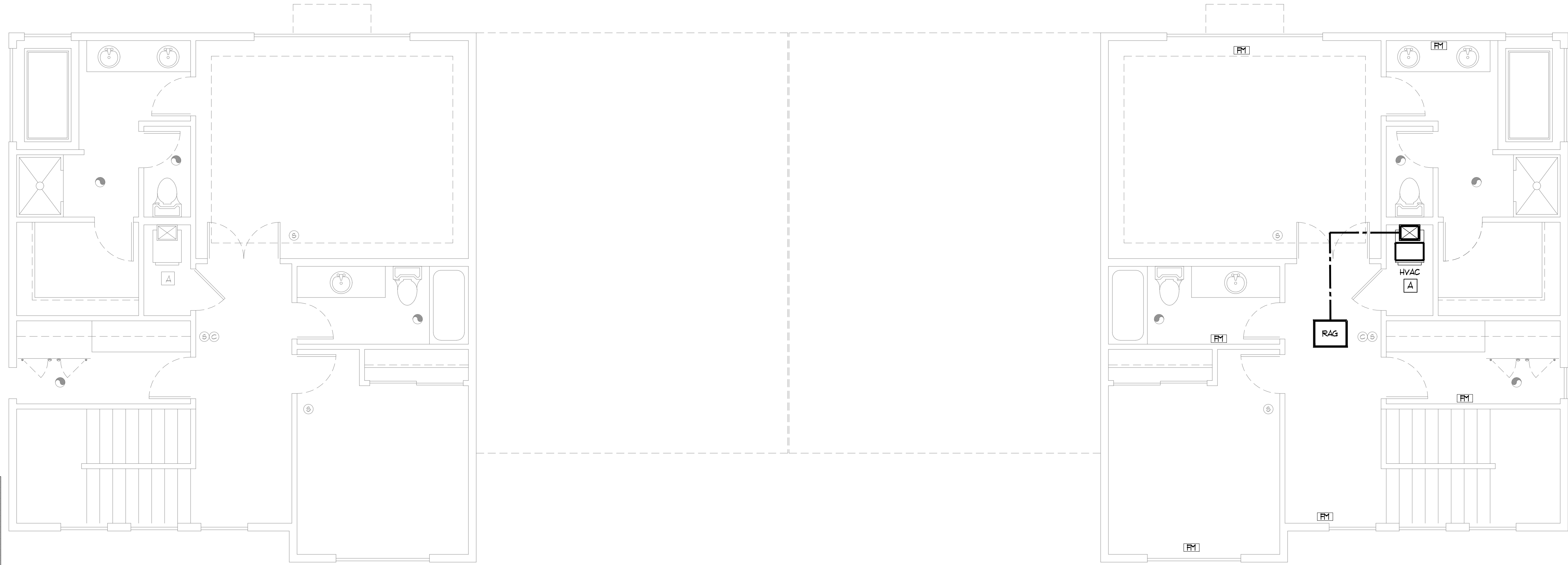
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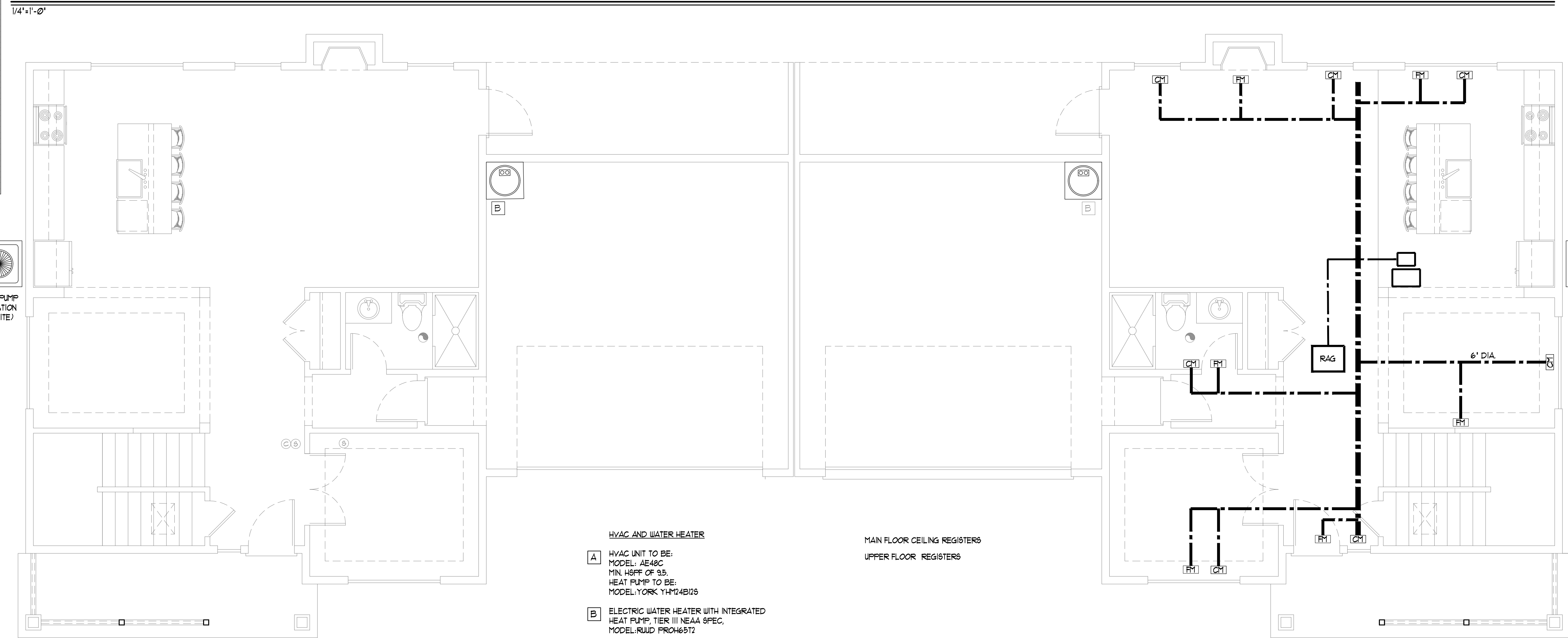
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UPPER FLOOR HVAC PLAN



MAIN FLOOR HVAC PLAN

HVAC LEGEND

- HEAT PUMP
- HVAC/ FURNACE
- FLOOR MOUNTED REGISTER
- CEILING MOUNTED REGISTER
- DUCTING RUN
- PLENUM/ CONDUCTOR BOX

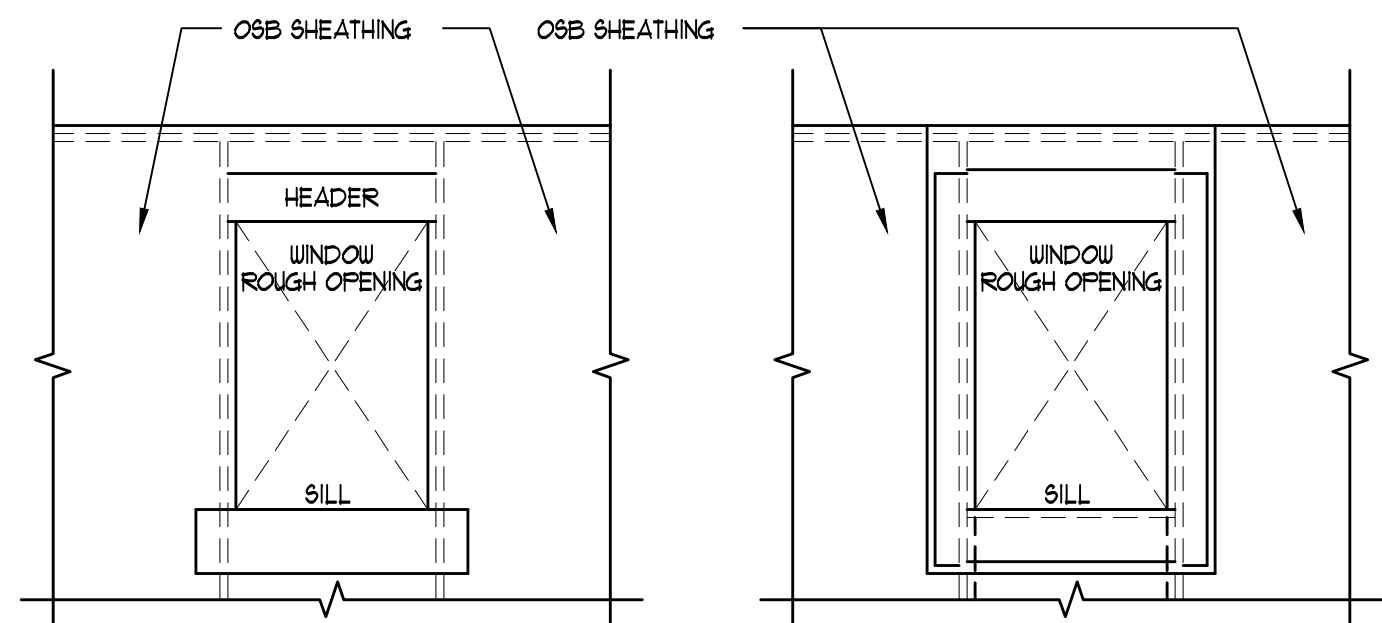
A
HEAT PUMP
(LOCATION
PER SITE)

HEAT PUMP
(LOCATION
PER SITE)

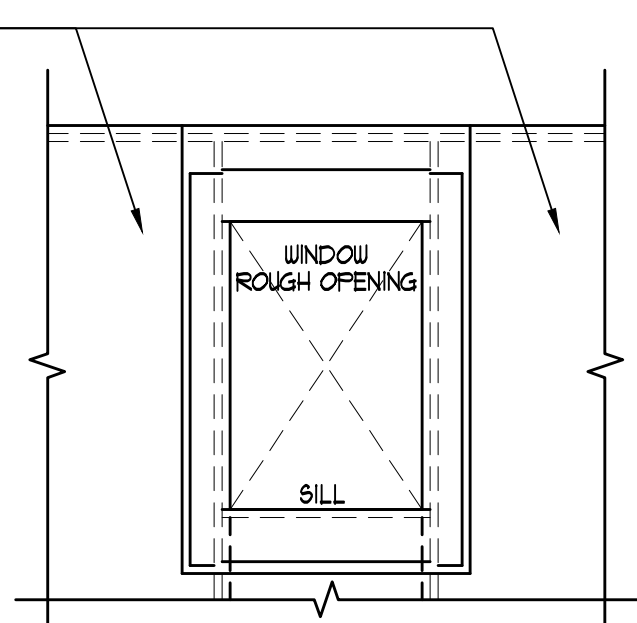
- HVAC AND WATER HEATER**
- A HVAC UNIT TO BE:
MODEL: AE48C
MIN. HSPF OF 9.5
HEAT PUMP TO BE:
MODEL: YORK YH124B126
 - B ELECTRIC WATER HEATER WITH INTEGRATED
HEAT PUMP, TIER III NEAA 9FEC,
MODEL: RUAID PRO46912

MAN FLOOR CEILING REGISTERS
UPPER FLOOR REGISTERS

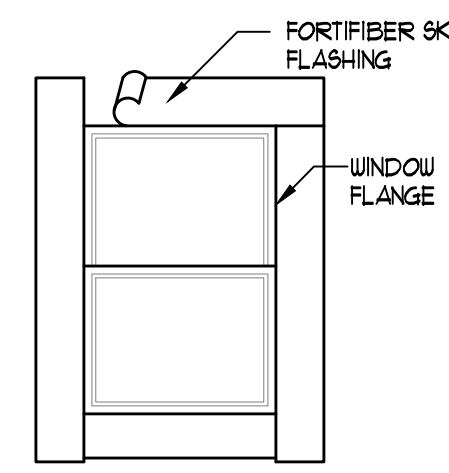
1/4"=1'-0"



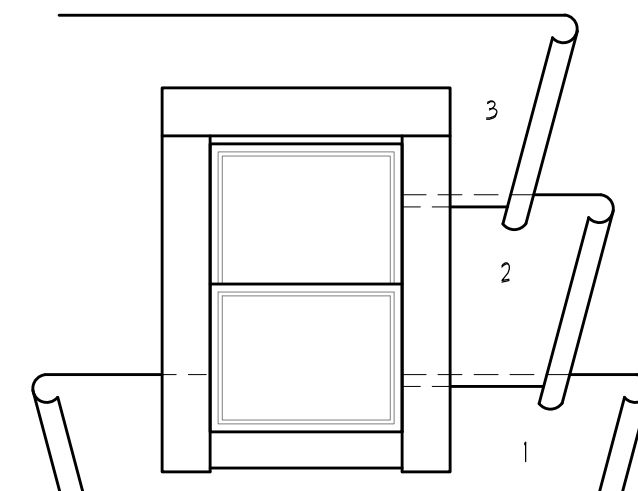
ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 1" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 1" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS INSIDE OF OPENING AT LEAST 1" WIDE WITH INSIDE EDGE OF FLASHING EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 6" ABOVE THE LOWER EDGE OF THE HEADER TOP OF WINDOW OPENINGS.



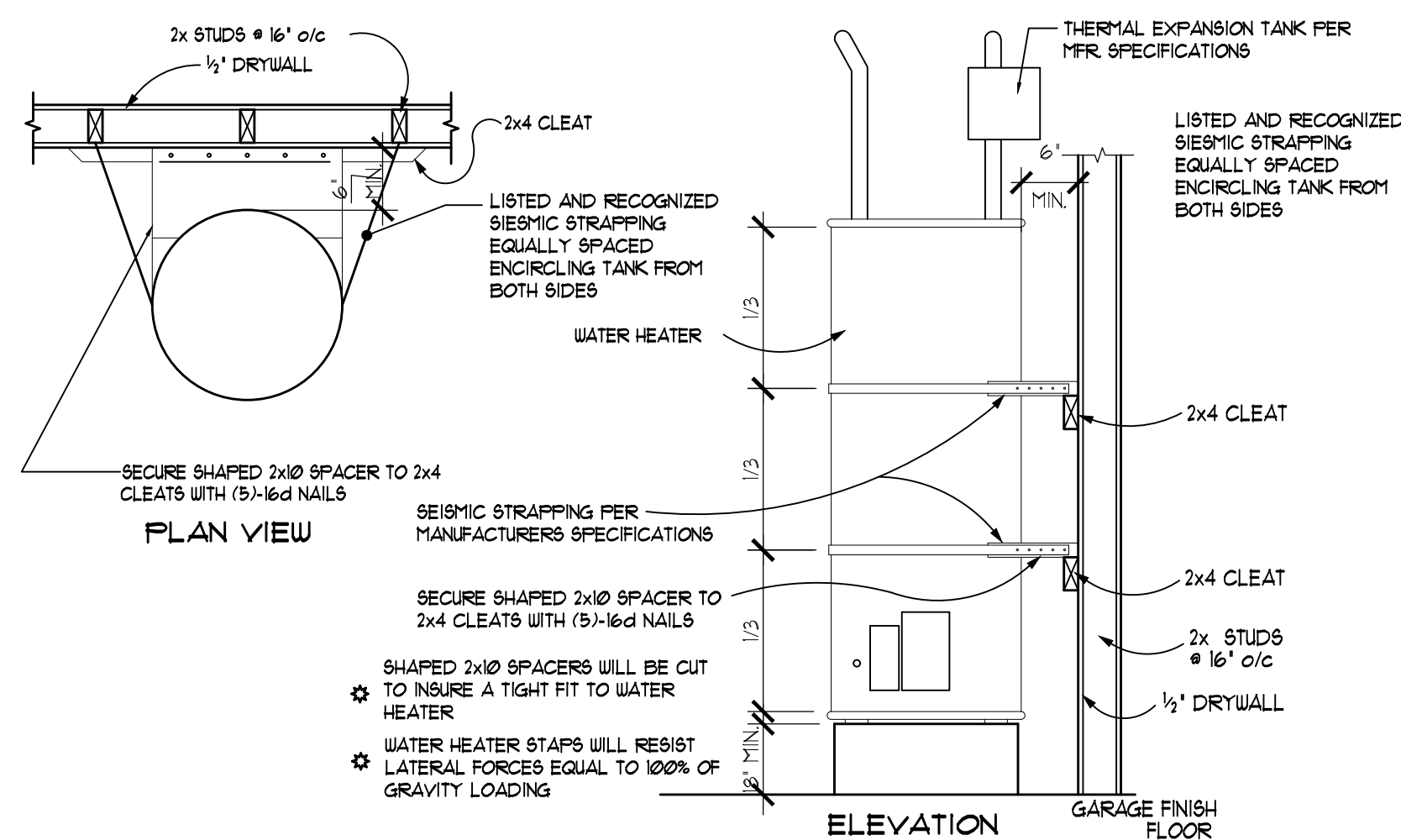
APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 1" WIDE.



STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM AS SHORT DASHED LINES). INSTALL SUCCEEDING COURSES OF WATER RESISTANT PAPER OVER JAMB AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

1 WINDOW FLASHING DETAIL

N.T.S.



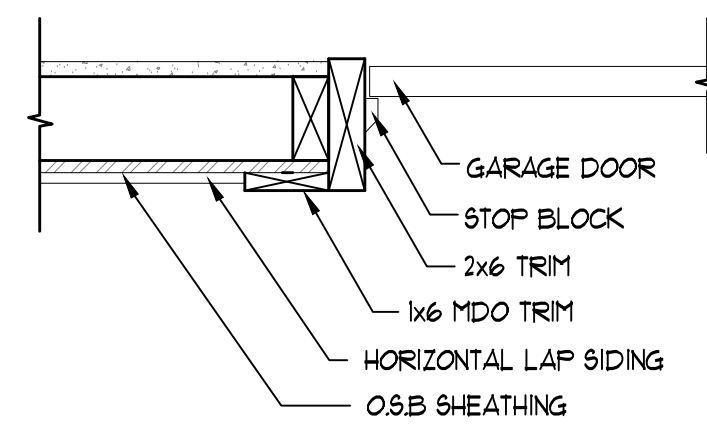
PLAN VIEW

ELEVATION

GARAGE FINISH FLOOR

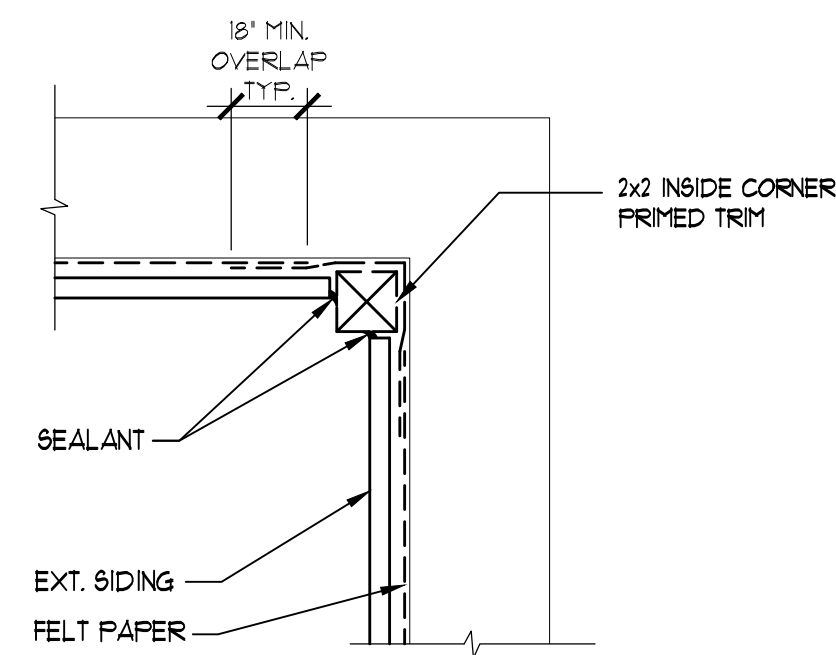
11 WATER HEATER SEISMIC STRAPPING

N.T.S.



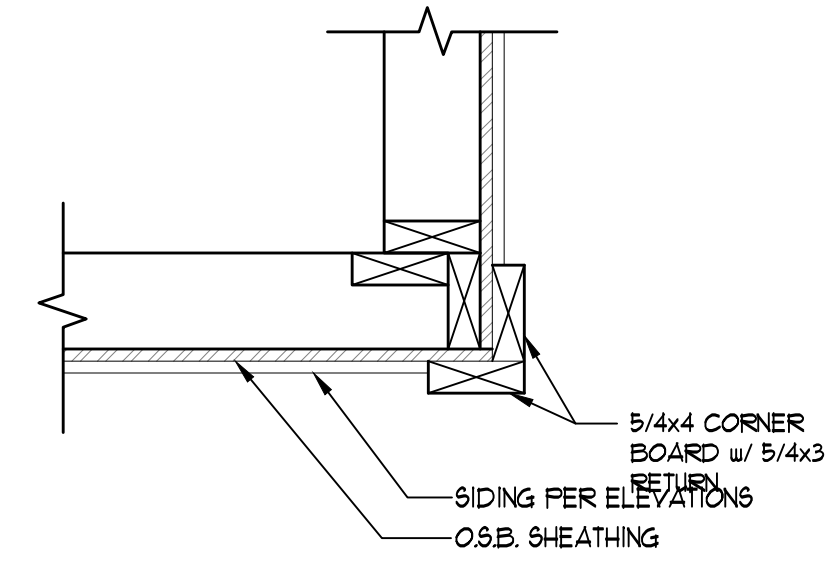
3 GARAGE DOOR TRIM DETAIL

N.T.S.



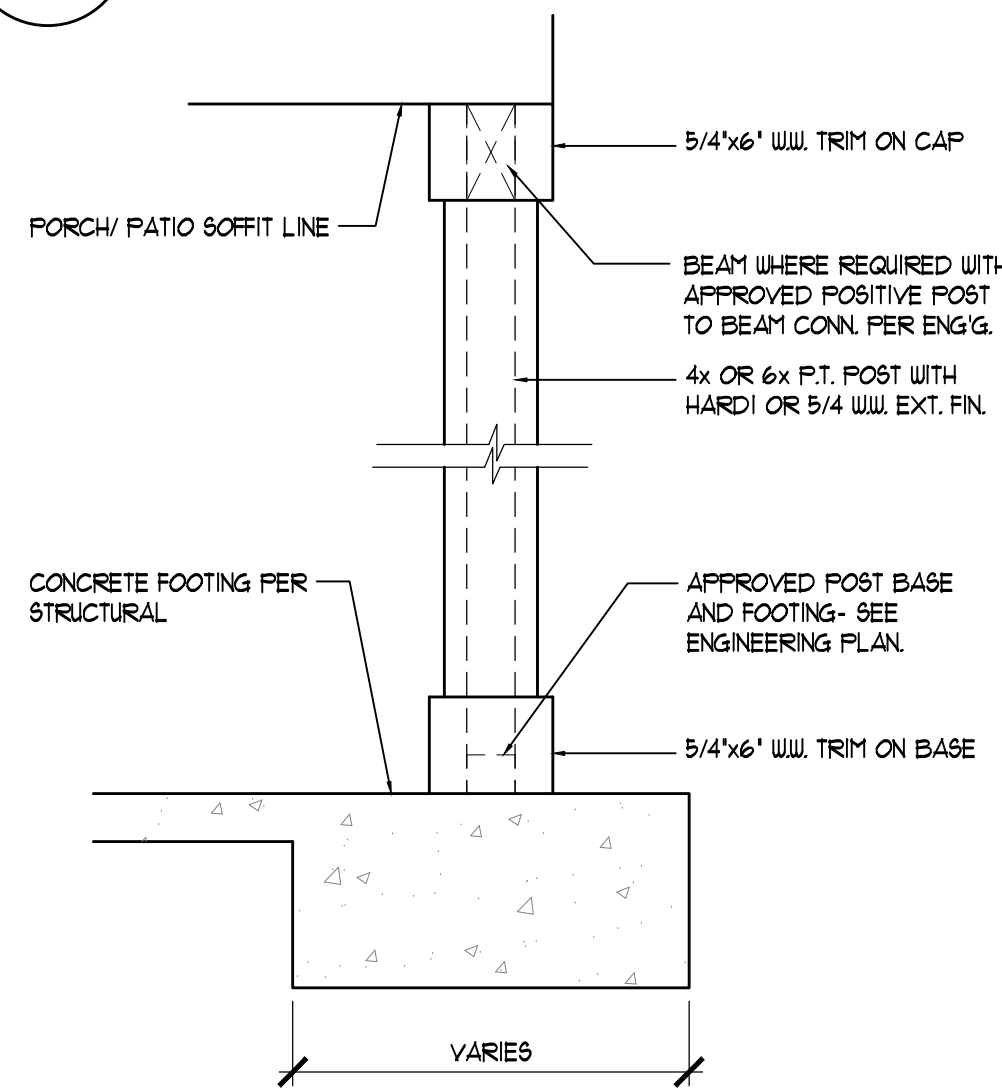
4 INSIDE CORNER TRIM DETAIL

N.T.S.



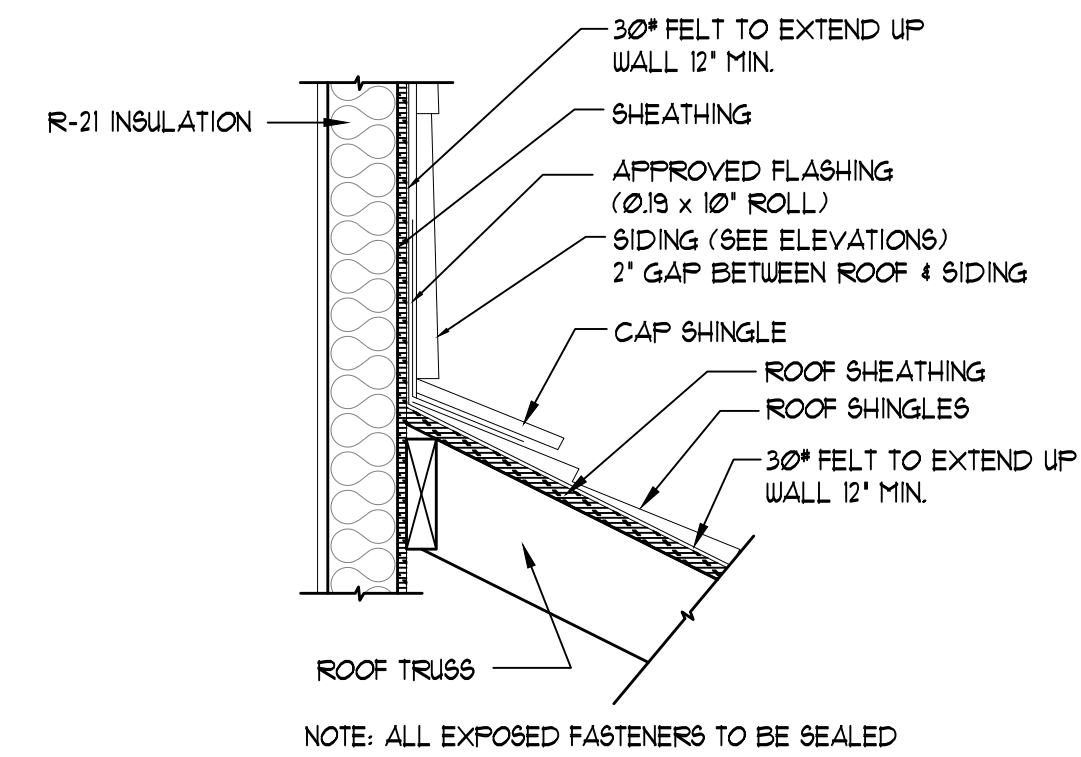
5 CORNER TRIM DETAIL

N.T.S.



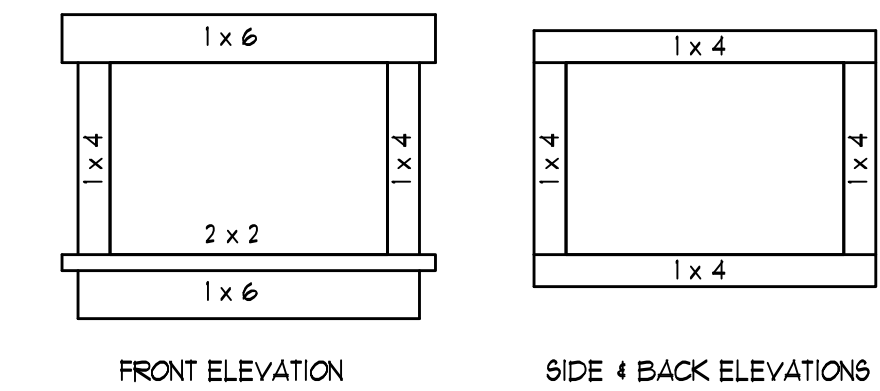
8 WRAP POST DETAIL

N.T.S.



9 ROOF/WALL FLASHING DETAIL

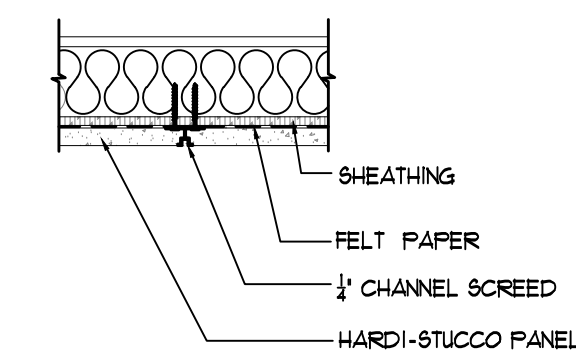
N.T.S.



10 WINDOW TRIM DETAIL

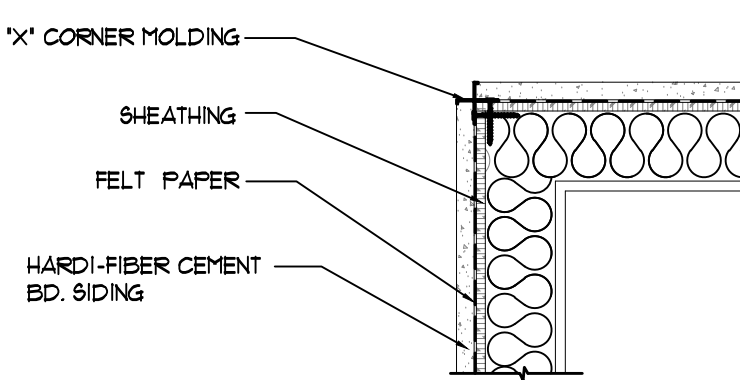
N.T.S.

NOTE: ALL FRONT EXTERIOR TRIM FIN. ARE TO BE MDO (MEDIUM DENSITY OVERLAY).



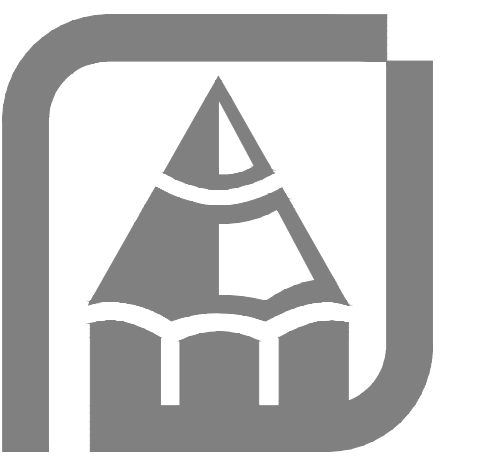
12 1/4 CHANNEL SCREED

N.T.S.



13 "X" CORNER MOLDING DETAIL

N.T.S.



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GENERAL NOTES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:

- 2018 WASHINGTON STATE AMENDMENTS INCLUSIVE OF:
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMFC)
- 2018 UNIFORM PLUMBING CODE (UPFC)
- 2020 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 WASHINGTON STATE ENERGY CODE (WSEC), RESIDENTIAL PROVISIONS

REQUIRED ADDITIONAL SUBMITTAL FROM MANUFACTURERS AT TIME OF PERMIT SUBMITTAL:

1. MANUFACTURED FLOOR JOIST TRUSS DESIGN AND LAYOUT
2. MANUFACTURED ROOF TRUSS DESIGN AND LAYOUT.

SITE WORK:

1. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 1500 PSF, UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED.
2. EXTERIOR FOOTING SHALL BEAR 18" (MIN) BELOW FINISHED GRADE.
3. FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS.
4. BACKFILL MATERIALS TO BE THOROUGHLY COMPACTED.

INSULATION AND MOISTURE PROTECTION

R302.10 FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX FOR INSULATION
 FLAME SPREAD AND SMOKE-DEVELOPED INDEX FOR INSULATION SHALL BE IN ACCORDANCE WITH SECTIONS R302.101 THROUGH R302.105.
R302.101 INSULATION
 INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPO-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHERE TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723, EXCEPT AS NOTED.

1. WHERE SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH.
2. CELLULOSE FIBER LOOSE-FILL INSULATION THAT IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF SECTION R302.103, SHALL NOT BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN ACCORDANCE WITH CANULC 9102.2.
3. FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION R316.

R302.102 LOOSE-FILL INSULATION
 LOOSE-FILL INSULATION MATERIALS THAT CANNOT BE MOUNTED IN THE ASTM E 84 OR UL 723 APPARATUS WITHOUT A SCREEN OR ARTIFICIAL SUPPORTS SHALL COMPLY WITH THE FLAME SPREAD AND SMOKE-DEVELOPED LIMITS OF SECTION R302.101 WHERE TESTED IN ACCORDANCE WITH CANULC 9102.2.
 EXCEPTION: CELLULOSE FIBER LOOSE-FILL INSULATION SHALL NOT BE REQUIRED TO BE TESTED IN ACCORDANCE WITH CANULC 9102.2 PROVIDED SUCH INSULATION COMPLIES WITH THE REQUIREMENTS OF SECTIONS R302.101 AND R302.103.

R302.103 CELLULOSE FIBER LOOSE-FILL INSULATION
 CELLULOSE FIBER LOOSE-FILL INSULATION SHALL COMPLY WITH CPSC 16 CFR, PARTS 1209 AND 1404. EACH PACKAGE OF SUCH INSULATING MATERIAL SHALL BE CLEARLY LABELED IN ACCORDANCE WITH CPSC 16 CFR, PARTS 1209 AND 1404.

R302.104 EXPOSED ATTIC INSULATION
 EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.

R302.105 TESTING
 TESTS FOR CRITICAL RADIANT FLUX SHALL BE MADE IN ACCORDANCE WITH ASTM E 910. INFILTRATION:
 CONTROL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, PENETRATIONS IN FLOORS, ROOFS AND WALLS AND ALL SIMILAR OPENINGS SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.

R102.1 VAPOR RETARDERS
 CL.A65 I OR II VAPOR RETARDERS ARE REQUIRED ON THE INTERIOR SIDE OF FRAME WALLS IN CLIMATE ZONES 5, 6, 7, 8, AND MARINE 4.
 EXCEPTIONS:
 1. BASEMENT WALLS
 2. BELOW-GRADE PORTION OF ANY WALL
 3. CONSTRUCTION WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS.
 R102.11 CL.A65 III VAPOR RETARDER CL.A65
 CL.A65 III VAPOR RETARDERS SHALL BE PERMITTED WHERE ANY ONE OF THE CONDITIONS IN TABLE R102.11 IS MET
 R102.12 MATERIAL VAPOR RETARDER CL.A65
 THE VAPOR RETARDER CL.A65 SHALL BE BASED ON THE MANUFACTURER'S CERTIFIED TESTING OR TESTED ASSEMBLY. THE FOLLOWING SHALL BE DEEMED TO MEET THE CL.A65 SPECIFIED:

- CL.A65 I: SHEET POLYETHYLENE, UNPERFORATED ALUMINUM FOIL
 - CL.A65 II: KRAFT-FACED FIBERGLASS BATTS
 - CL.A65 III: LATEX OR ENAMEL PAINT
- R102.13 MINIMUM CLEAR AIRSPACES AND VENTED OPENINGS FOR VENTED CLADDING FOR THE PURPOSES OF THIS SECTION, VENTED CLADDING SHALL INCLUDE THE FOLLOWING MINIMUM CLEAR AIRSPACES. OTHER OPENING WITH THE EQUIVALENT VENT AREA SHALL BE PERMITTED.
1. VINYL LAP OR HORIZONTAL ALUMINUM SIDING APPLIED OVER A WEATHER-RESISTIVE BARRIER AS SPECIFIED IN TABLE R102.3(1).
 2. BRICK VENEER WITH A CLEAR AIRSPACE AS SPECIFIED IN TABLE R102.3.4
 3. OTHER APPROVED VENTED CLADDINGS.

WSEC R402.4 AIR LEAKAGE (MANDATORY)
 THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS OF R402.4(1) THROUGH R402.4.4.

R402.4.12 TESTING
 THE BUILDING OR DUELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR EXCHANGES PER HOUR.

DRAFTSTOPPING:

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW.
 DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

R302.121 MATERIALS DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBER UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED.

FIREBLOCKING:

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROUS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 11. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 12. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.1(1)(2) GUB.)
 4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
 5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.13.
 6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION. FIREBLOCKING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R 302.1(1).
- LOOSE FILL INSULATION MATERIAL SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED.

FLASHING:

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED T MEMBRANES USED AS FLASHING SHALL COMPLY WITH AAMA 711. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING: I) THE PENETRATION MANUFACTURER'S INSTALLATION AND FLASHING INSTRUCTIONS, OR FOR APPLICATIONS NOT ADDRESSED IN THE PENETRATION MANUFACTURER'S INSTRUCTIONS, WHERE FLASHING INSTRUCTIONS OR DETAILS ARE NOT PROVIDED, PAN FLASHING SHALL BE INSTALLED AT THE STILL OF EXTERIOR WINDOW AND DOOR OPENINGS. PAN FLASHING SHALL BE SEALED OR SLOPED IN SUCH A MANNER AS TO DIRECT WATER TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE. OPENINGS USING PAN FLASHING SHALL ALSO INCORPORATE FLASHING OR PROTECTION AT THE HEAD AND SIDES. II) IN ACCORDANCE WITH THE FLASHING DESIGN OR METHOD OF A REGISTERED DESIGN PROFESSIONAL. III) IN ACCORDANCE WITH OTHER APPROVED METHODS.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS.
7. AT BUILT-IN GUTTERS.

WEATHER RESISTIVE SHEATHING PAPER: R1022 WATER-RESISTIVE BARRIER ONE LAYER OF NO. 15 ASPHALT FELT OR FIBER FELT FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE I FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES (51 MM). WHERE JOINTS OCCUR, FELT SHALL BE LAPPED NOT LESS THAN 6 INCHES (152 MM). THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOP OF WALLS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE AS DESCRIBED IN SECTION R103.11

EXTERIOR DOORS, WINDOWS AND SKYLIGHTS PER 2018 WASHINGTON STATE ENERGY CODE

WINDOWS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. UNLESS OTHERWISE NOTED, WATER-RESISTIVE BARRIER SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH WINDOW. ALL SKYLIGHTS AND SKY WALLS TO BE LAMINATED GLASS UNLESS NOTED OTHERWISE.
 SECTION R310-EMERGENCY ESCAPE AND RESCUE OPENINGS
R3101 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING, WHERE BASEMENTS CONTAIN MORE THAN ONE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY TO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
 EXCEPTION: STORM SHELTERS OR BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT NOT EXCEEDING A TOTAL FLOOR AREA OF 200 SQ. FT.

MINIMUM OPENING AREA: ALL THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT.
 EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MIN. 5.0 SQ. FT.
 MINIMUM OPENING HEIGHT: THE MIN. NET CLEAR OPENINGS HEIGHT SHALL BE 24 INCHES.
 MINIMUM OPENING WIDTH : THE MIN NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.½
 MAXIMUM SILL HEIGHT: WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH HA WINDOW WELL IN ACCORDANCE WITH SEC. R3102.3.
 SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS OR AS OTHERWISE REQUIRED PER IRC SECTION R308.4

1. GLAZING IN DOORS - SIDING UNDER DOORS, SLIDING GLASS DOORS AND PANELS IN SLIDING & FOLD DOOR ASSEMBLIES PER IRC SECTION R308.4.1.
2. GLAZING ADJACENT TO DOORS - PANELS WITHIN THE 24" OF EITHER SIDE OF THE DOOR IN CLOSED POSITION PER IRC SECTION R308.4.2.
3. GLAZING IN WINDOWS - THE PANE IS LARGER THAN 9 SQ. FT., THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR, THE TOP EDGE IS MORE THAN 36" ABOVE THE FLOOR, AND ONE OR MORE WALKING SURFACES, ARE WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE OF THE GLAZING PER IRC SECTION R308.4.4.
4. GLAZING IN GUARDS AND RAILS PER IRC SECTION R308.4.4.
5. GLAZING IN WET SURFACES- WALLS ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPA'S, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE PER IRC SECTION R308.4.5.
6. GLAZING ADJACENT TO STAIRS AND RAMPS - WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDING BETWEEN FLIGHTS OF STAIRS AND RAMPS PER IRC SECTION R308.4.6.
7. GLAZING ADJACENT TO THE BOTTOM STAIR LANDINGS - WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN A 60° HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING PER IRC SECTION R308.4.1.

INSPECTIONS AND ENFORCEMENT

POSTING OF CERTIFICATE WSEC R401.3

A PERMANENT CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING, WHEN LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, SERVICE DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SILAS, BELOW-GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR PENETRATION AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF PENETRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATES SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATES SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER," "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER," AS APPROPRIATE AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

DUCT LEAKAGE TESTING:
 DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH USG R5-33, USING THE MAXIMUM DUCT LEAKAGE RATE AS DESCRIBED IN 2018 USEC SEC. R4033.3. A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

BUILDING AIR LEAKAGE TESTING 2018 USEC SEC. R402.4
 THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4(1) THROUGH R402.4.4.

ROOF GENERAL NOTES:

- A. CONTRACTOR SHALL PROVIDE ATTIC VENTILATION AS PER CODE.
- B. PROVIDE FLASHING AT ALL VALLEYS, FLITCH CHANGES, AND AT VERTICAL PLANES.
- C. PROVIDE FLASHING AND COUNTER FLASHING AT CHIMNEYS A MIN. OF 8" ABOVE ROOF SHEATHING AND CRICKETS AS SHOWN.
- D. RAFTERS WILL BEAR DIRECTLY ON TRUSSES OR BLOCKING BETWEEN THE TRUSSES.
- E. HEADERS TO BE A MIN. 4x8 DFP, UNLO.
- F. PROVIDE DOUBLE FELT UNDERLAYMENT FOR COMPOSITION ROOFING (TYP.) FOR SLOPES UNDER 4:12.
- G. UNDERLAYMENT SHALL BE APPLIED IN SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2"; FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6 FEET.

VENTILATION CALCULATIONS AND REQUIREMENTS

R206.2: THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 50% OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 300% IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

VENTILATION GENERAL NOTES:

- A. ROOFS TALLER THAN 3' WILL USE BIRD BLOCKING AND AF50 VENTS.
 - B. ROOFS SHORTER THAN 3' WILL USE BIRD BLOCKING AS REQUIRED.
- NOTE:
 RAKES ON GABLE ENDS MUST EXTEND A MIN. OF 2 INCHES (2") FROM THE SURFACE OF EXTERIOR SIDING MATERIALS.

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES OVER ENCLOSED AREAS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/200 PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

BAFFLES ARE INSTALLED BEHIND EAVE VENTS TO PROVIDE A MINIMUM 1" AIRSPACE, IN INSULATED AREAS PROVIDE ATTIC VENTILATION FOR ALL ATTIC AREAS EXCEEDING 24 INCHES IN HEIGHT FROM TOP OF INSULATION TO ROOF SHEATHING.

PATIO COVERS CONSTRUCTED OF TRUSSES WILL BE VENTED SIMILAR TO THE ATTIC OVER THE ENCLOSED AREAS.
 PATIO COVERS AND DECKS CONSTRUCTED OF RAFTERS WILL BE VENTED AT THE EXTERIOR END WITH VENTED EAVE BLOCKING, FOR PARAPET CONDITIONS, VENTED EAVE BLOCKING IS NOT POSSIBLE AND THEREFORE A SINGLE LINE OF STRIP SOFFIT VENTING WILL BE USED NEAR THE EXTERIOR END OF THE PATIO COVER OR DECK.

MAIN ROOF CALCULATIONS

984 SQ. FT ATTIC AREA / 300% = 328 SQ. FT.
 OF VENTILATION REQUIRED (41232 SQ. INCHES)

UPPER ROOF VENTING PROVIDED BY AF50 ROOF VENTS (50 SQ. IN PER VENT)
 41232 SQ. IN x 50% = 20616 SQ. IN REQUIRED.
 PROVIDE (6) AF50 ROOF VENTS = 250 SQ. IN.

LOWER ROOF VENTING PROVIDED BY BIRDBLOCKING: (4) 2" DIA HOLES (3/4" EA) x (125 SQ. INCHES) AND WITH AF50 ROOF VENTS (50 SQ. IN PER VENT)
 41232 SQ. IN x 50% = 20616 SQ. IN REQUIRED.
 PROVIDE (8) BIRDBLOCKS + 2315 SQ. IN • FRONT 4 REAR OF HOUSE AND NOT WITHIN 2' OF THE SIDES.

LOW ROOF/ GARAGE ROOF CALCULATIONS

632 SQ. FT ATTIC AREA / 300% = 210 SQ. FT.
 OF VENTILATION REQUIRED (30336 SQ. INCHES)

UPPER ROOF VENTING PROVIDED BY AF50 ROOF VENTS (50 SQ. IN PER VENT)
 30336 SQ. IN x 50% = 15168 SQ. IN REQUIRED.
 PROVIDE (4) AF50 ROOF VENTS = 200 SQ. IN.

LOWER ROOF VENTING PROVIDED BY BIRDBLOCKING: (4) 2" DIA HOLES (3/4" EA) x (125 SQ. INCHES) AND WITH AF50 ROOF VENTS (50 SQ. IN PER VENT)
 30336 SQ. IN x 50% = 15168 SQ. IN REQUIRED.
 PROVIDE (8) BIRDBLOCKS + 1625 SQ. IN • FRONT 4 REAR OF HOUSE AND NOT WITHIN 2' OF THE SIDES OR 3' SETBACKS.

SEE E-1 FOR WSEC CALCULATIONS

HEATING OPTION 2 - 10 CREDITS

HEAT PUMP

EFFICIENT BUILDING ENVELOPE 13 - 05 CREDITS

PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.11 WITH THE FOLLOWING MODIFICATIONS:
 VERTICAL FENESTRATION U = 0.28
 FLOOR R-38

AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 21 - 05 CREDITS

COMPLIANCE BASED ON R402.412; REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR, MAXIMUM AT 50 PASCALS OR:
 FOR R-2 OCCUPANCIES, OPTIONAL COMPLIANCE BASED ON SECTION R402.412; REDUCE THE TESTED AIR LEAKAGE TO 0.3 CFM/5F MAXIMUM AT 50 PASCALS AND ALL WHOLE HOUSE VENTILATION REQUIREMENTS AS DETERMINED BY SECTION M501.3 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 403.8 OF THE INTERNATIONAL MECHANICAL CODE SHALL BE MET WITH A HIGH EFFICIENCY FAN(S) (MAXIMUM 0.35 WATTS/CFM), NOT INTERLOCKED WITH THE FURNACE FAN (IF PRESENT). VENTILATION SYSTEMS USING A FURNACE INCLUDING AN ECM MOTOR ARE ALLOWED, PROVIDED THAT THEY ARE CONTROLLED TO OPERATE AT LOW SPEED IN VENTILATION ONLY MODE.
 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND THE MAXIMUM TESTED BUILDING AIR LEAKAGE, AND SHALL SHOW THE QUALIFYING VENTILATION SYSTEM AND ITS CONTROL SEQUENCE OF OPERATION.

HIGH EFFICIENCY HVAC 32 - 10 CREDITS

AIR-SOURCE CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPFF OF 9.5.
 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY.

HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 42 - 10 CREDITS

HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R403.3.1.
 LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND SHALL SHOW THE LOCATION OF THE HEATING AND COOLING EQUIPMENT AND ALL THE DUCTWORK.

EFFICIENT WATER HEATING 55 - 20 CREDITS

WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION OR FOR R-2 OCCUPANCY, ELECTRIC HEAT PUMP WATER HEATER(S), MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION, SHALL SUPPLY DOMESTIC HOT WATER TO ALL UNITS. IF ONE WATER HEATER IS SERVING MORE THAN ONE DWELLING UNIT, ALL HOT WATER SUPPLY AND RECIRCULATION PIPING SHALL BE INSULATED WITH R-8 MINIMUM PIPE INSULATION.

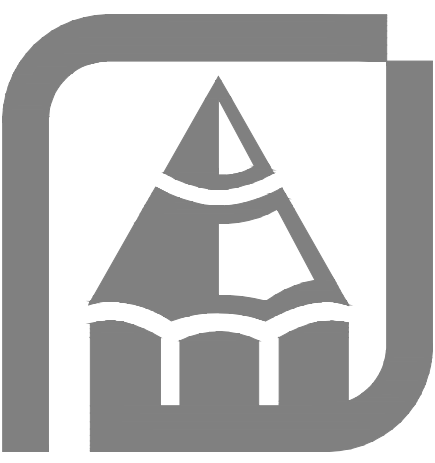
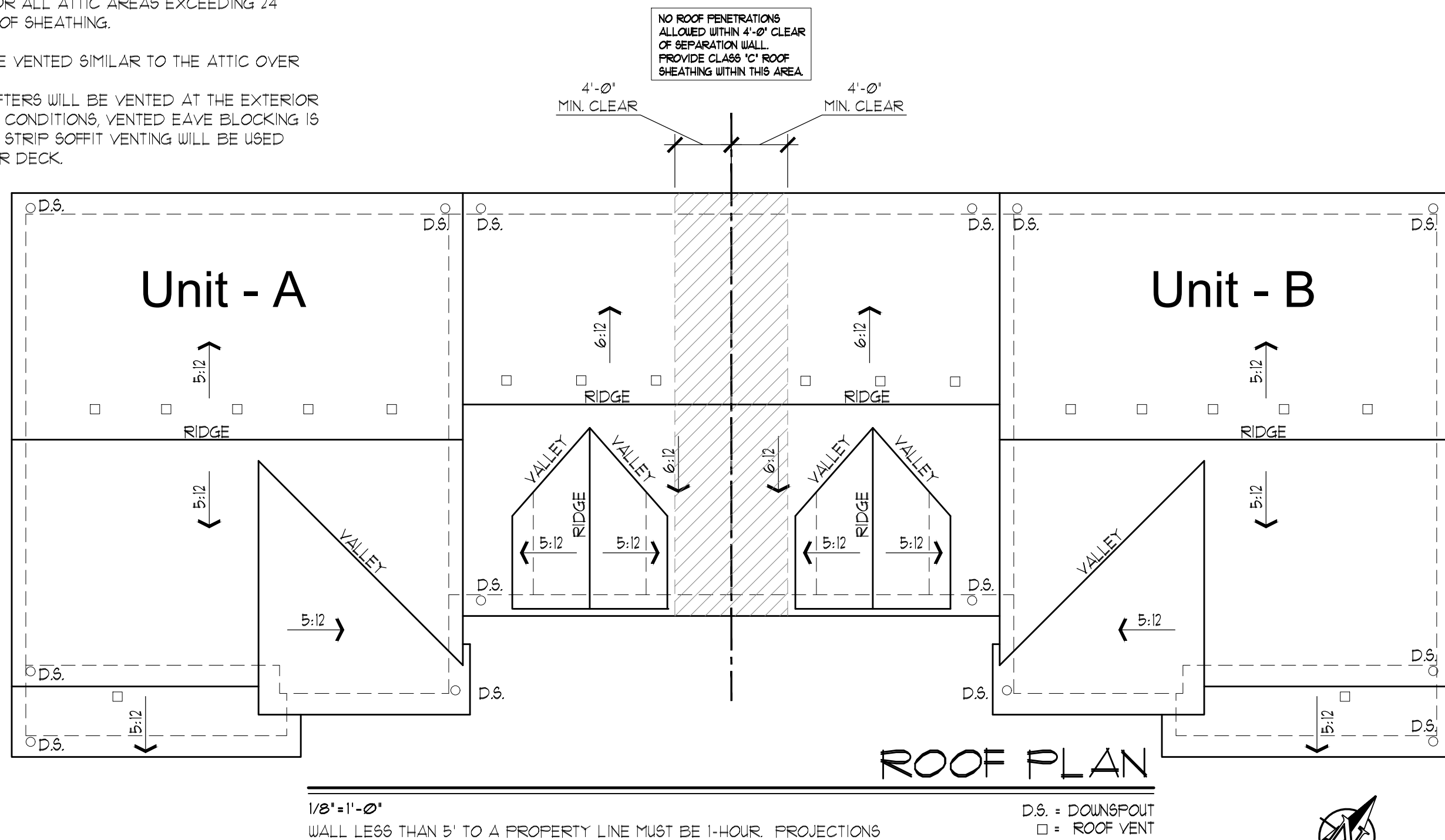
WALL LESS THAN 5' TO A PROPERTY LINE MUST BE 1-HOUR. PROJECTIONS GREATER THAN 2' FEET TO LESS THAN 5' FROM PROPERTY LINE MUST HAVE 1-HOUR FIRE-RESTRICTIVE CONSTRUCTION ON THE UNDERSIDE OR FIRE BLOCKED FROM WALL PLATE TO UNDERSIDE OF ROOF SHEATHING WITH NO VENT OPENINGS.

SETBACKS TO PROPERTY LINES SHALL BE MARKED AT FOOTING INSPECTION. THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR ESTABLISHING THE CORRECT PROPERTY MARKERS AND SETBACKS.

JOB SITE MUST BE POSTED WITH ADDRESSES AND PERMIT NUMBER VISIBLE FROM THE STREET. THE APPROVED PLANS MUST BE KEPT ON THE JOB SITE IN SUCH A WAY THAT THEY ARE EASILY LOCATED AND PROTECTED FROM WATER AND OTHER DAMAGE.

APPROVED PLANS SHALL BE ON SITE AND ACCESSIBLE AT INSPECTION.

Parcel number: 0419095003
 Site Address:
 433 43rd Ave. SW Puyallup, WA. 98373



THESE PLANS HAVE BEEN DELIVERED TO THE CUSTOMER FOR THE USE IN CONSTRUCTION OF ONE BUILDING ONLY AND ARE SUBJECT TO THE REQUIREMENTS OF THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE BUILDING DEPARTMENT.

RUEPPEL
 Home Design

Plan: 1864-1864
 HC HOMES DUPLEX
 Date: 04/11/23
 Revision Date: 09/20/23
 Drawn by: SM/BP
 Phone: (253) 297-8040

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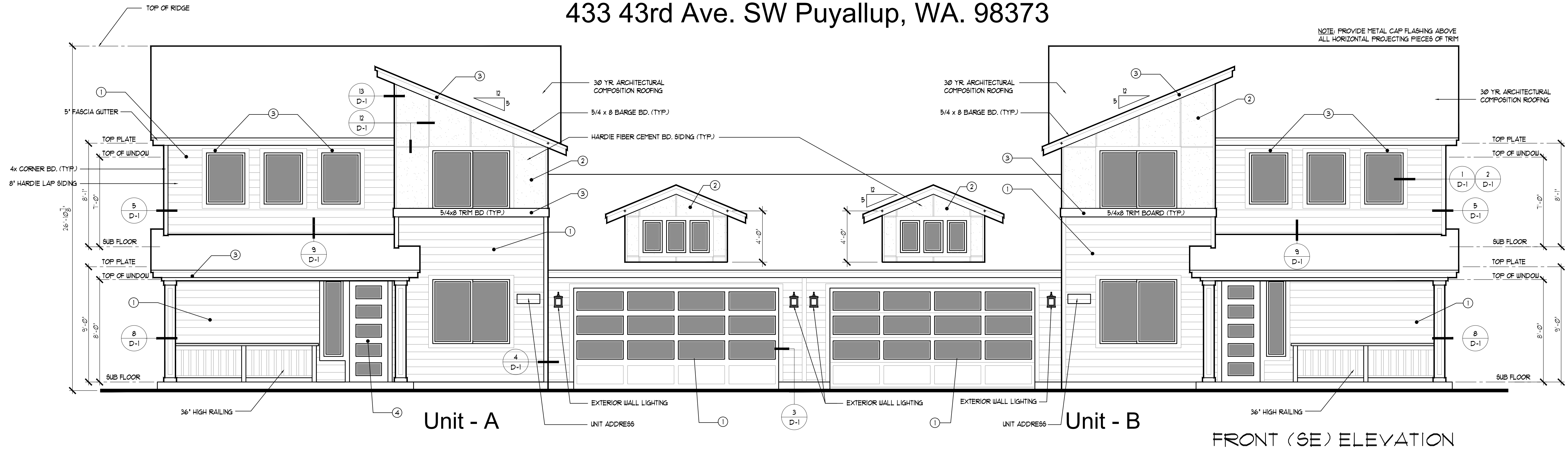
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CONTRACTOR SHALL VERIFY THE EXISTING USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE CUSTOMER AND REPORT TO THE CUSTOMER IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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FRONT (SE) ELEVATION

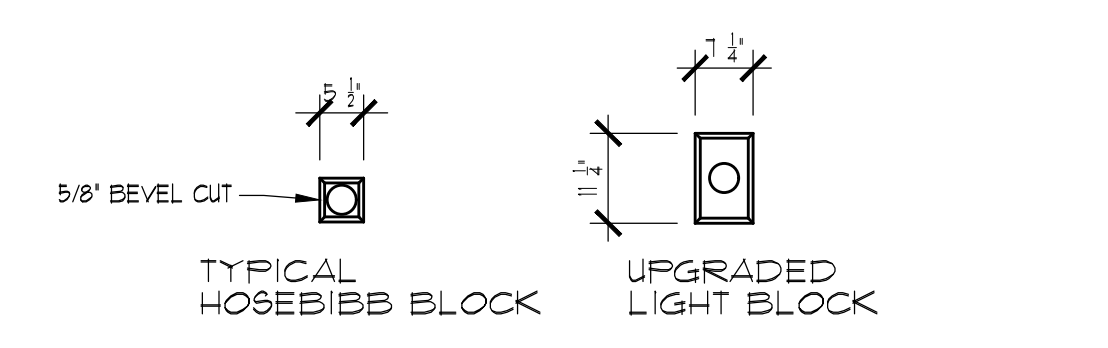
GARAGE DOOR AREA: 124 SQ. FT.
 FRONT WINDOWS AREA PER UNIT: 123.25 SQ. FT.

PER PLDDG 5.B.3.5
 30% TRANSPARENCY WITHIN THE PEDESTRIAN VIEW PLANE
 SHOULD BE ACHIEVED FOR GROUND FLOOR RESIDENTIAL BLDGS.
 TOTAL AREA PER UNIT: 350 SF.
 TOTAL GLAZING AREA: 123.25 SF.
 GLAZING PERCENTAGE = 31% PER UNIT

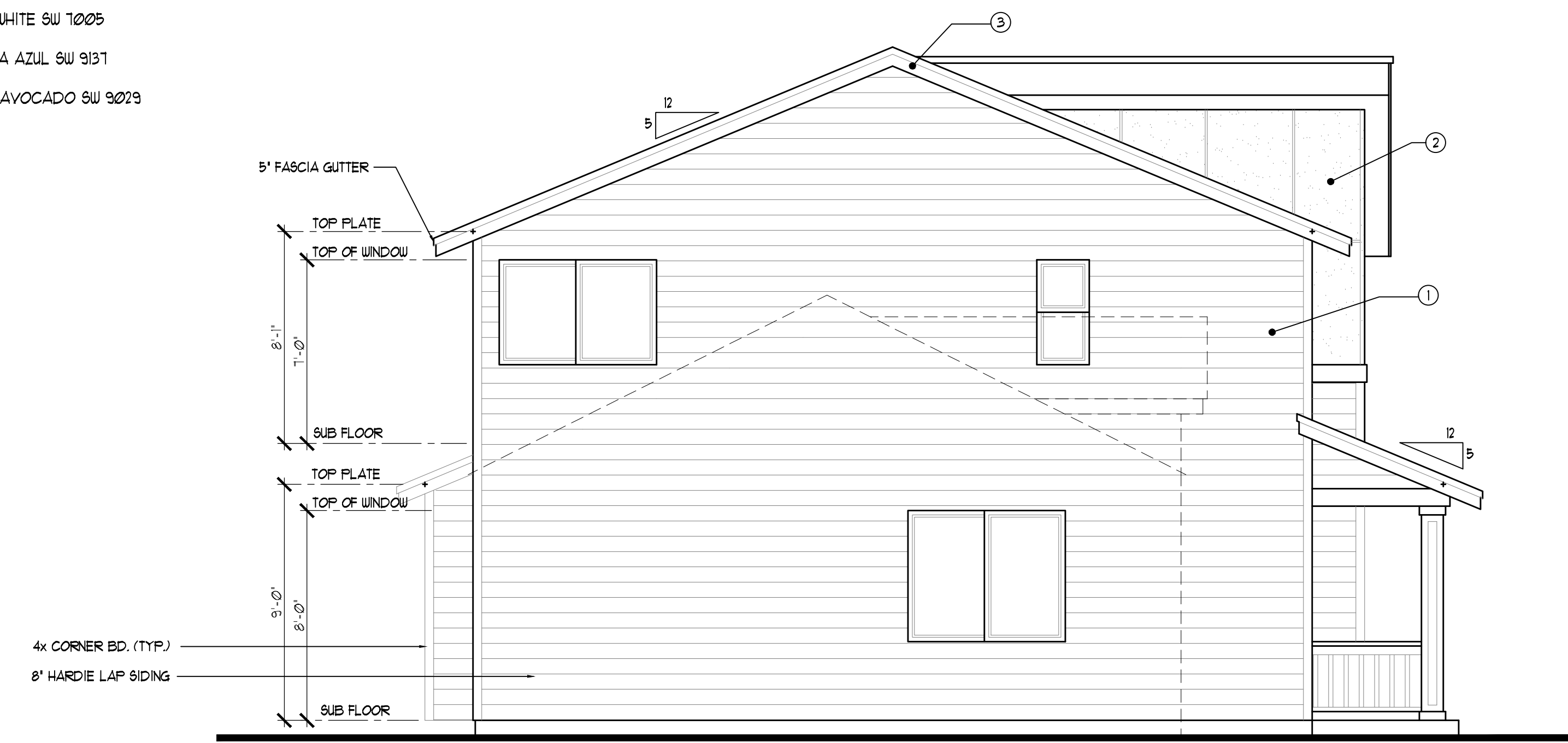
BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4 INCHES HIGH WITH A MIN. STROKE WIDTH OF 1/2 INCH PER IRC R319.1

- EXTERIOR PAINT COLOR LEGEND:
- ① ACIER SW 9110
 - ② PEPPERCORN SW 1614
 - ③ PURE WHITE SW 1005
 - ④ NIEBLA AZUL SW 9131
 - ⑤ COOL AVOCADO SW 9029

R909.2.2.5 DRIP EDGE:
 A DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES OF SHINGLE ROOFS. ADJACENT PIECES OF DRIP EDGE SHALL BE OVERLAPPED A MINIMUM OF 2 INCHES (51 mm). DRIP EDGES SHALL EXTEND A MINIMUM OF 0.25 INCH (6.4 mm) BELOW THE ROOF SHEATHING AND EXTEND UP THE ROOF DECK A MINIMUM OF 2 INCHES (51 mm). DRIP EDGES SHALL BE MECHANICALLY FASTENED TO THE ROOF DECK AT A MAXIMUM OF 12 INCHES (305 mm) O.C. WITH FASTENERS AS SPECIFIED IN SECTION R909.2.5. UNDERLAYMENT SHALL BE INSTALLED OVER THE DRIP EDGE ALONG EAVES AND UNDER THE UNDERLAYMENT ON GABLES. UNLESS SPECIFIED DIFFERENTLY BY THE SHINGLE MANUFACTURER, SHINGLES ARE PERMITTED TO BE FLUSH WITH THE DRIP EDGE.



TYPICAL BLOCKING DETAIL
 SCALE: 1/2" = 1'



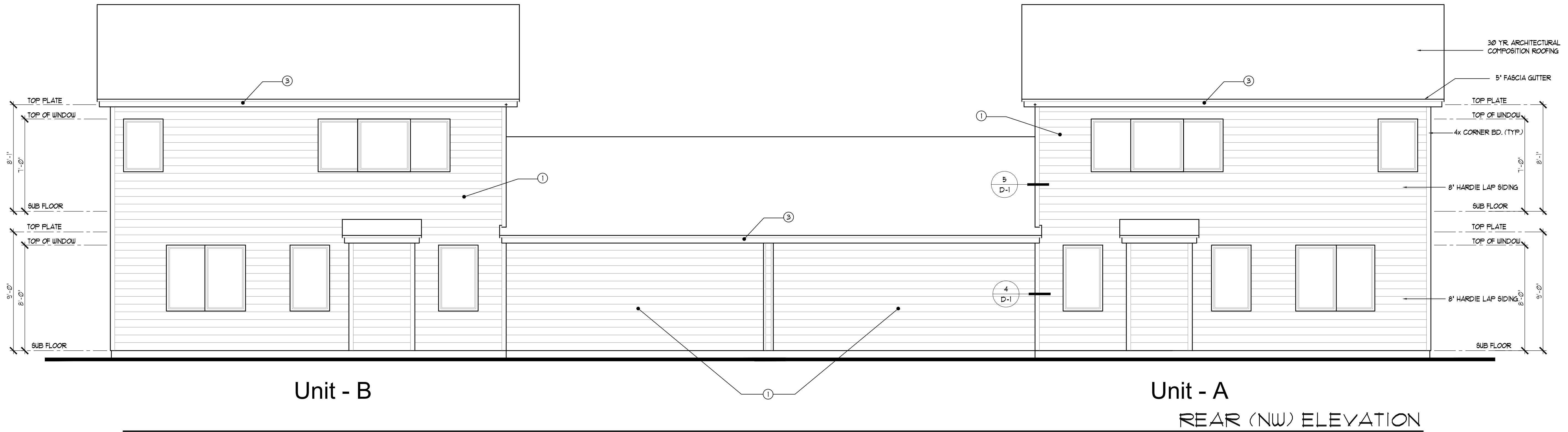
RIGHT (NE) ELEVATION

Rueppell
 Home Design

Plan: 1864-1864
 HC HOMES DUPLEX
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 Revision Date: 03/25/24
 Drawn by: SM/BP
 Phone: (253) 297-8040
 Revision Date: 03/25/24

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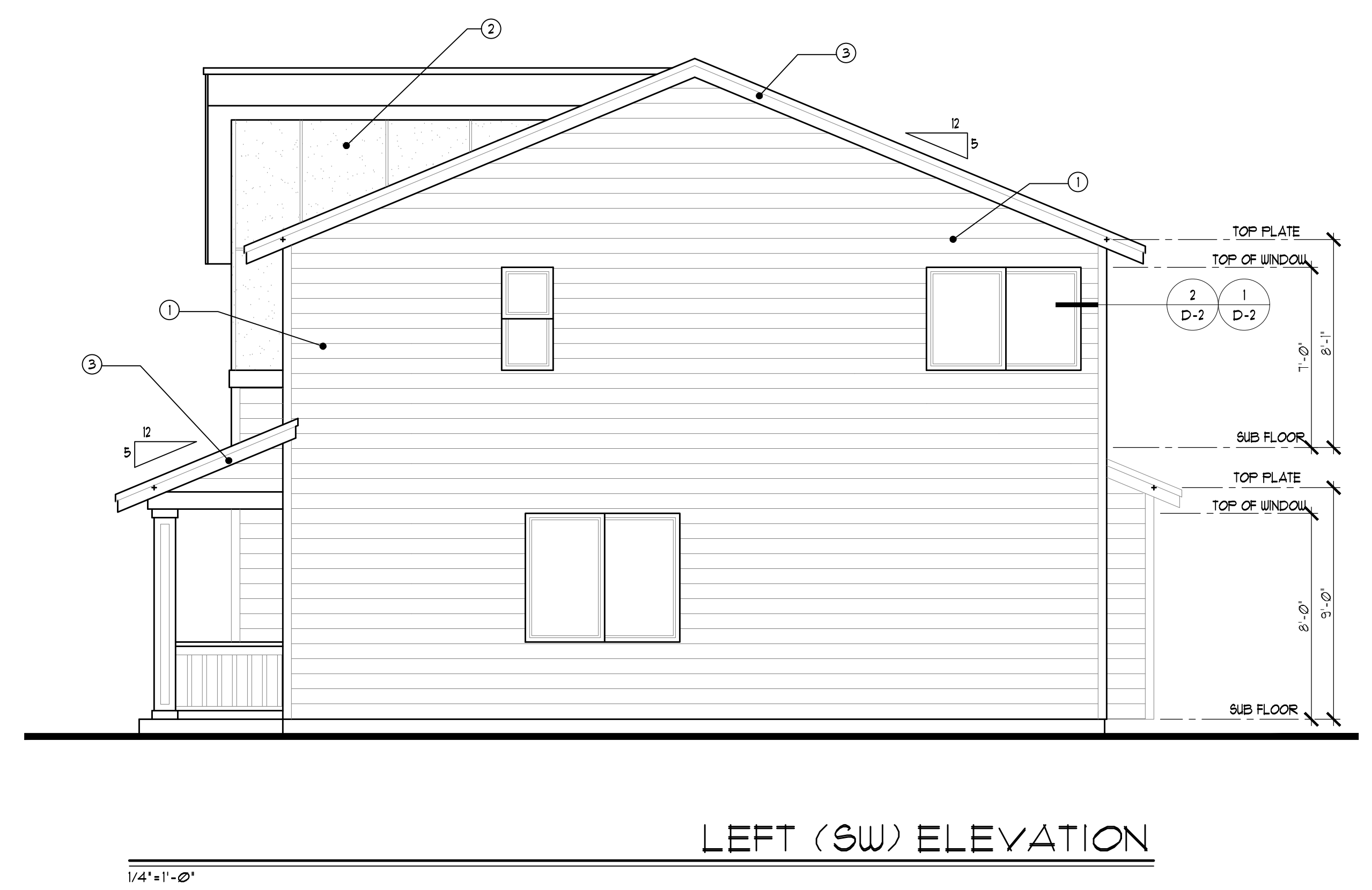
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CONTRACTOR SHALL VERIFY ALL NOTES, MATERIALS AND CONDITIONS PRIOR TO CONSTRUCTION.
 CAULK ALL EXTERIOR JOINTS AND PENETRATIONS.
 PROVIDE GALVANIZED OR ANODIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF PENETRATIONS, CHIMNEYS, AND SKYLIGHTS.
 PROVIDE CONTINUOUS GUTTERS AND DOWNSPOUTS AT ALL EAVES, TYP.
 PROVIDE HEADER FLASHING AT ALL DOORS, WINDOWS, AND SHUTTERS PER DETAIL.
 ALL PAPER AND TAPE TO LAP FROM TOP DOWN.
 HOLD ALL SIDING MATERIAL 1 1/2" OFF ROOF.
 HOLD ALL SIDING MATERIAL 6" OFF FINISHED GRADE.
 SOFFIT ALL FLAT AREAS W/ 1 1/2" OVERHANG AT HORIZONTAL EDGES.
 METAL FLASHING AT ALL TRIM AND HORIZONTAL SIDING BREAKS.
 RUN SECOND LAYER OF TAR PAPER VERTICAL AT INTERIOR AND EXTERIOR CORNERS UNLESS TAR PAPER IS CONTINUOUS.
 FOUNDATION VENTS TO BE SPACED PER PLAN.
 ALL FOUNDATION VENTS ON STREET SIDE OF HOUSE (I.E. FRONT AND/ OR SIDE AND GABLE END AND GARAGE FRESH AIR VENTS TO BE LOUVERED).
 ALL LIGHT BLOCKS ON FACADE TO BE FURRED OUT AN ADDITIONAL 1/2".
 GUTTERS TO LAP UNDER DRIP EDGE AT GABLE ENDS, HOLD 1/4" DRIP EDGE CUT 1/4" AWAY FROM FASCIA TO EXCEPT GUTTERS TO LAP UNDERNEATH.
 ALL TRIM WORK TO BE APPLIED PRIOR TO SIDING MATERIALS (SIDING TO BUTT UP TO TRIM WORK).

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- EXTERIOR PAINT COLOR LEGEND:
- ① ACIER SW 9170
 - ② PEPPERCORN SW 1614
 - ③ PURE WHITE SW 1005
 - ④ NIEBLA AZUL SW 9131
 - ⑤ COOL AVOCADO SW 9029



- ELEVATION NOTES:
1. CONTRACTOR SHALL VERIFY ALL NOTES, MATERIALS AND CONDITIONS PRIOR TO CONSTRUCTION.
 2. CAULK ALL EXTERIOR JOINTS AND PENETRATIONS.
 3. PROVIDE GALVANIZED OR ANODIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF PENETRATIONS, CHIMNEYS, AND SKYLIGHTS.
 4. PROVIDE CONTINUOUS GUTTERS AND DOWNSPOUTS AT ALL EAVES, TYP.
 5. PROVIDE HEADER FLASHING AT ALL DOORS, WINDOWS, AND SHUTTERS PER DETAIL.
 6. ALL PAPER AND TAPE TO LAP FROM TOP DOWN.
 7. HOLD ALL SIDING MATERIAL 1 1/2" OFF ROOF.
 8. HOLD ALL SIDING MATERIAL 6" OFF FINISHED GRADE.
 9. SOFFIT ALL FLAT AREAS W/ 1 1/2" OVERHANG AT HORIZONTAL EDGES.
 10. METAL FLASHING AT ALL TRIM AND HORIZONTAL SIDING BREAKS.
 11. RUN SECOND LAYER OF TAR PAPER VERTICAL AT INTERIOR AND EXTERIOR CORNERS UNLESS TAR PAPER IS CONTINUOUS.
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 14. ALL LIGHT BLOCKS ON FACADE TO BE FURRED OUT AN ADDITIONAL 1/2".
 15. GUTTERS TO LAP UNDER DRIP EDGE AT GABLE ENDS, HOLD 1/4" DRIP EDGE CUT 1/4" AWAY FROM FASCIA TO EXCEPT GUTTERS TO LAP UNDERNEATH.
 16. ALL TRIM WORK TO BE APPLIED PRIOR TO SIDING MATERIALS (SIDING TO BUTT UP TO TRIM WORK).

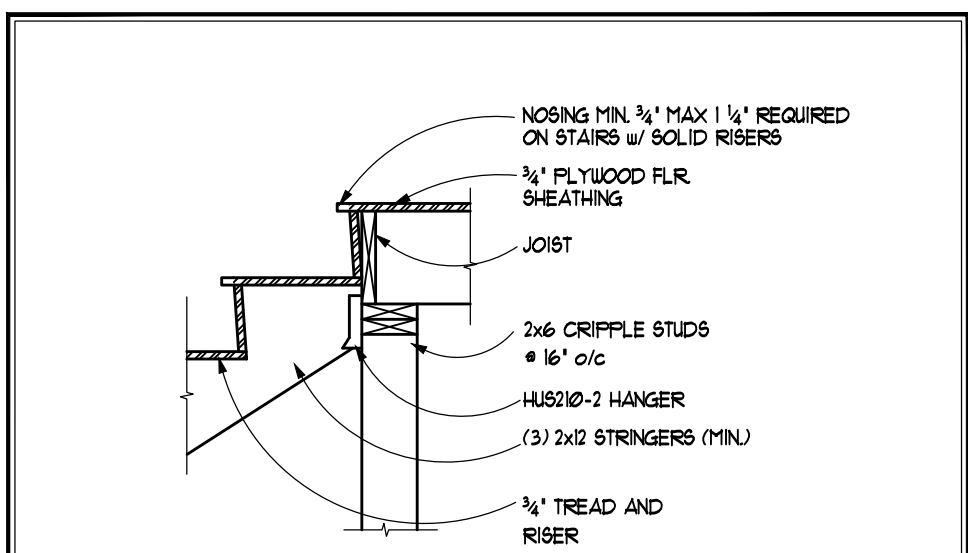
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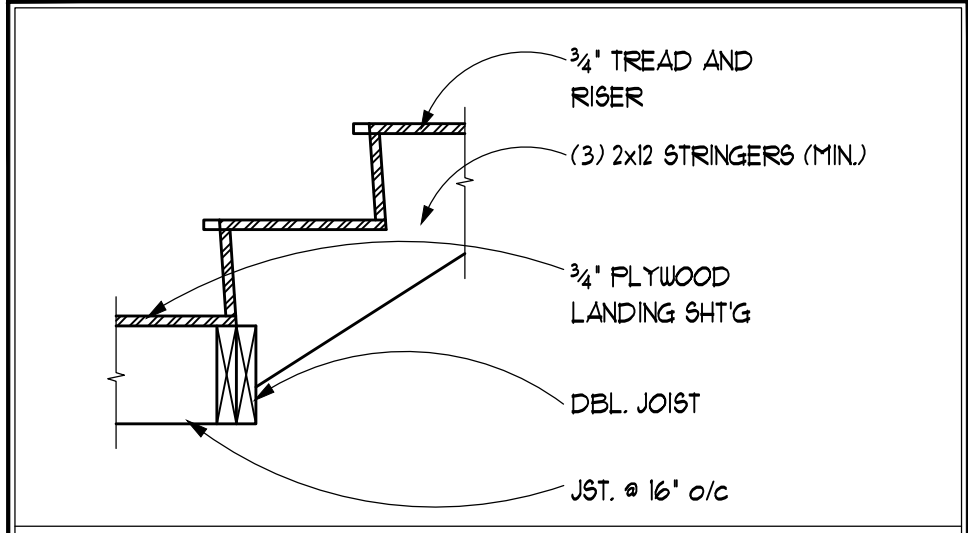
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STAIR AND GUARDRAIL NOTES:
 ILLUMINATION NOTES: PER IRC SECTION 303.6, R315.1 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP OF THE LANDING OF THE STAIRWAY. LIGHTING CONTROLS SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIRWAY WITHOUT TRAVERSING ANY STEPS.

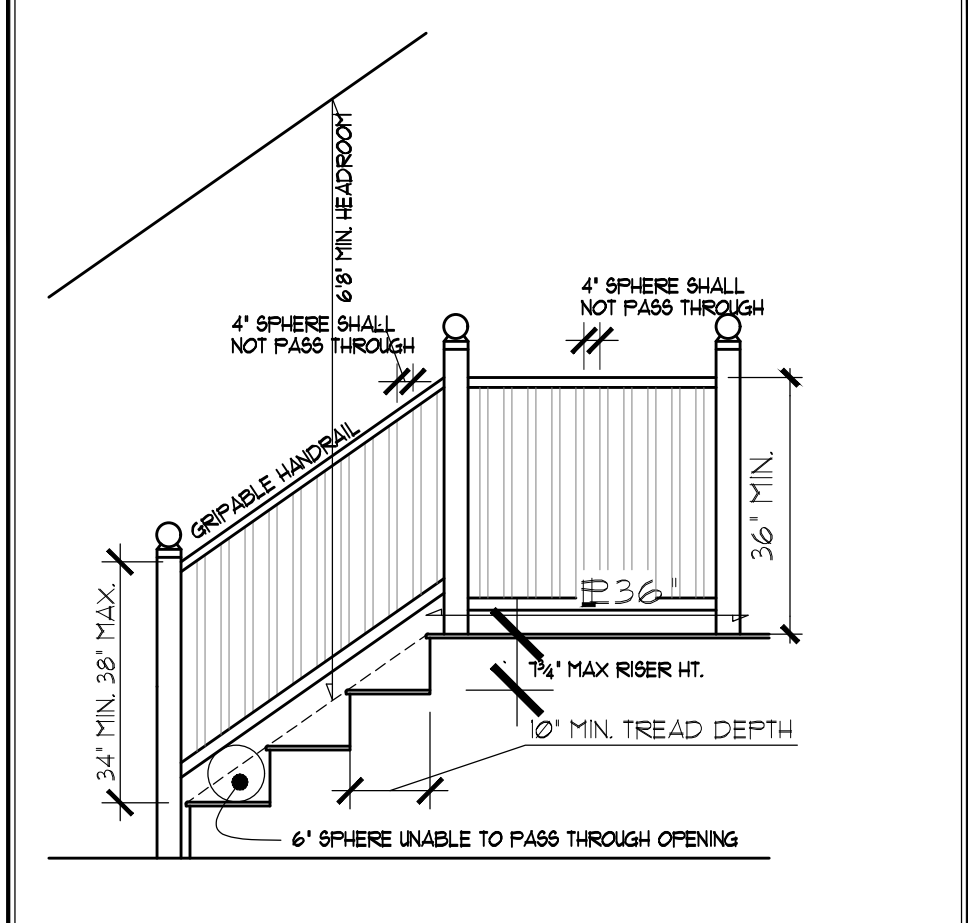
4 OR MORE RISERS TO HAVE AT LEAST ONE HANDRAIL RUNNING CONTINUOUSLY THROUGH THE FULL LENGTH OF STAIR. 34" MIN. HT., 38" MAX. HT. END SHALL RETURN TO WALL OR NEUL POST OR VOLUTE. HANDRAIL MUST BE STRONG ENOUGH TO RESIST A 200 LB. FT. LOAD IN ANY DIRECTION. HANDRAIL TO BE PRESENT ON AT LEAST ONE SIDE OF STAIR. HANDGRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4" MIN. & 2 1/4" MAX. EDGES SHALL HAVE A MIN. RADIUS OF 1/8". ALL REQ. GUARDRAILS TO BE 36" MIN. IN HEIGHT. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND NOT GREATER THAN 6 1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES (51 MM).



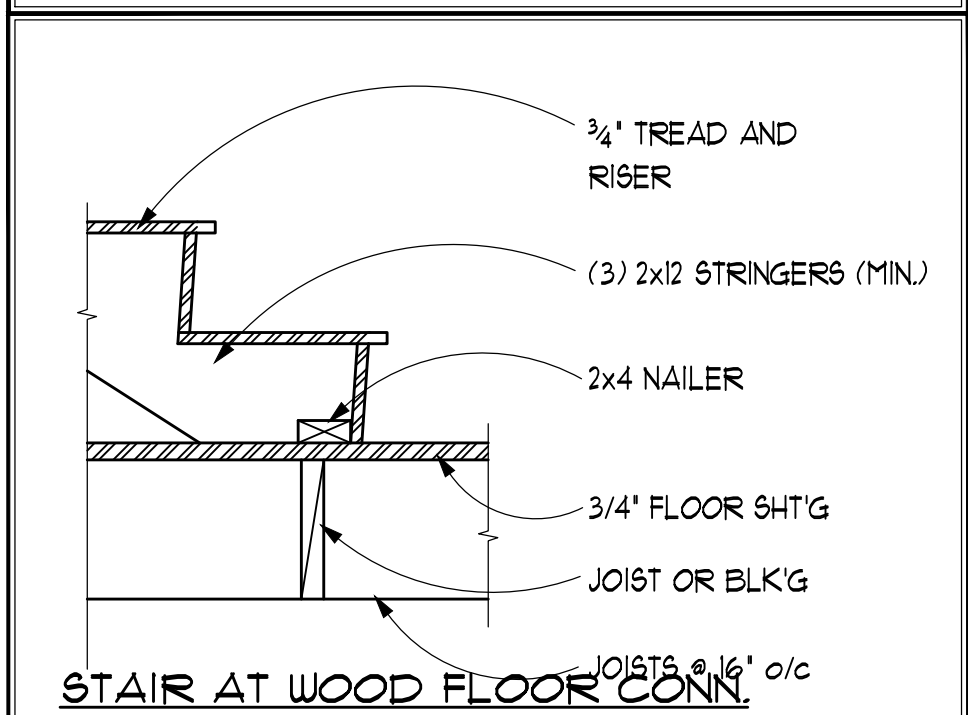
STAIR AT FLOOR CONNECTIONS



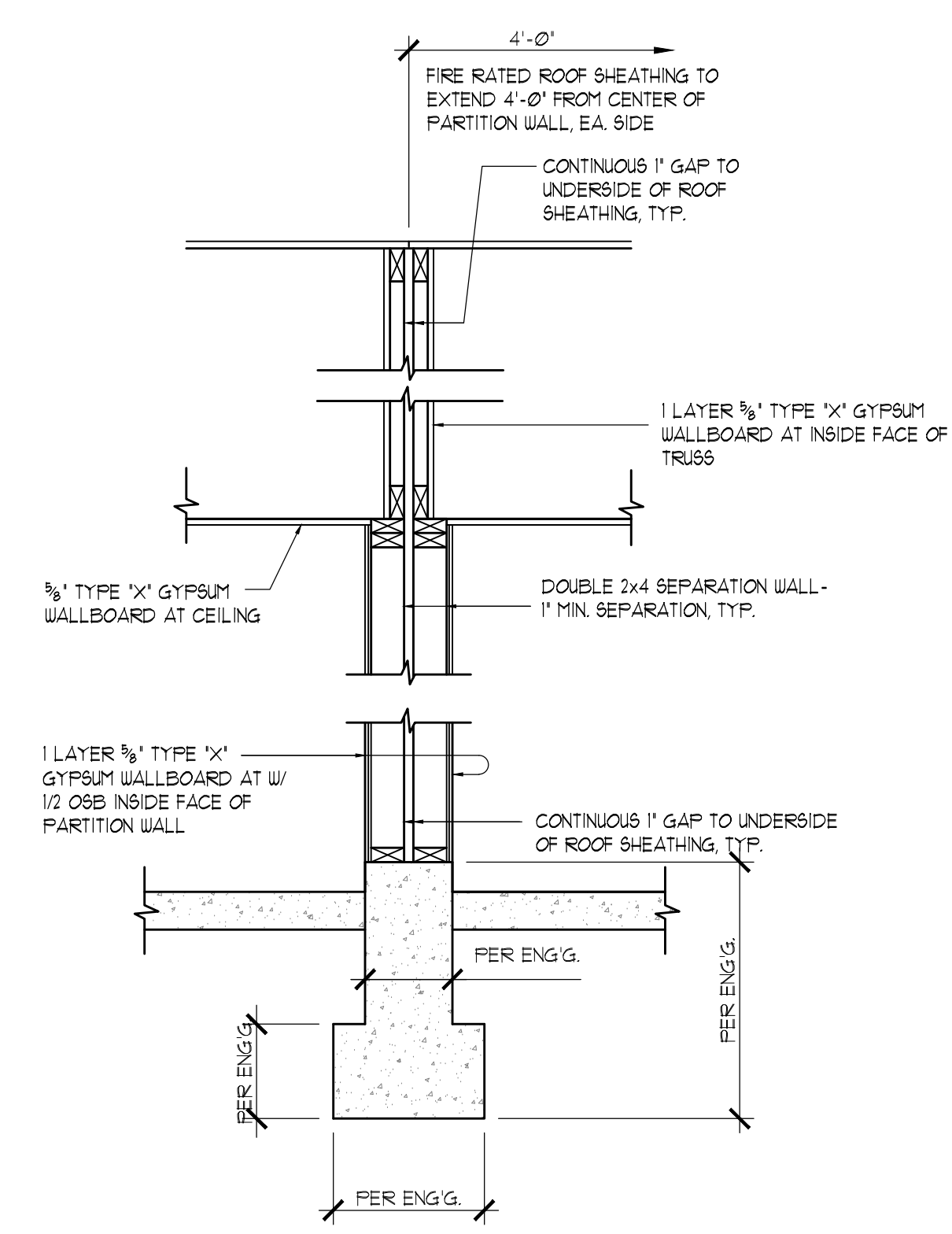
STAIR AT LANDING CONN.



GUARD & STAIR REQUIREMENTS



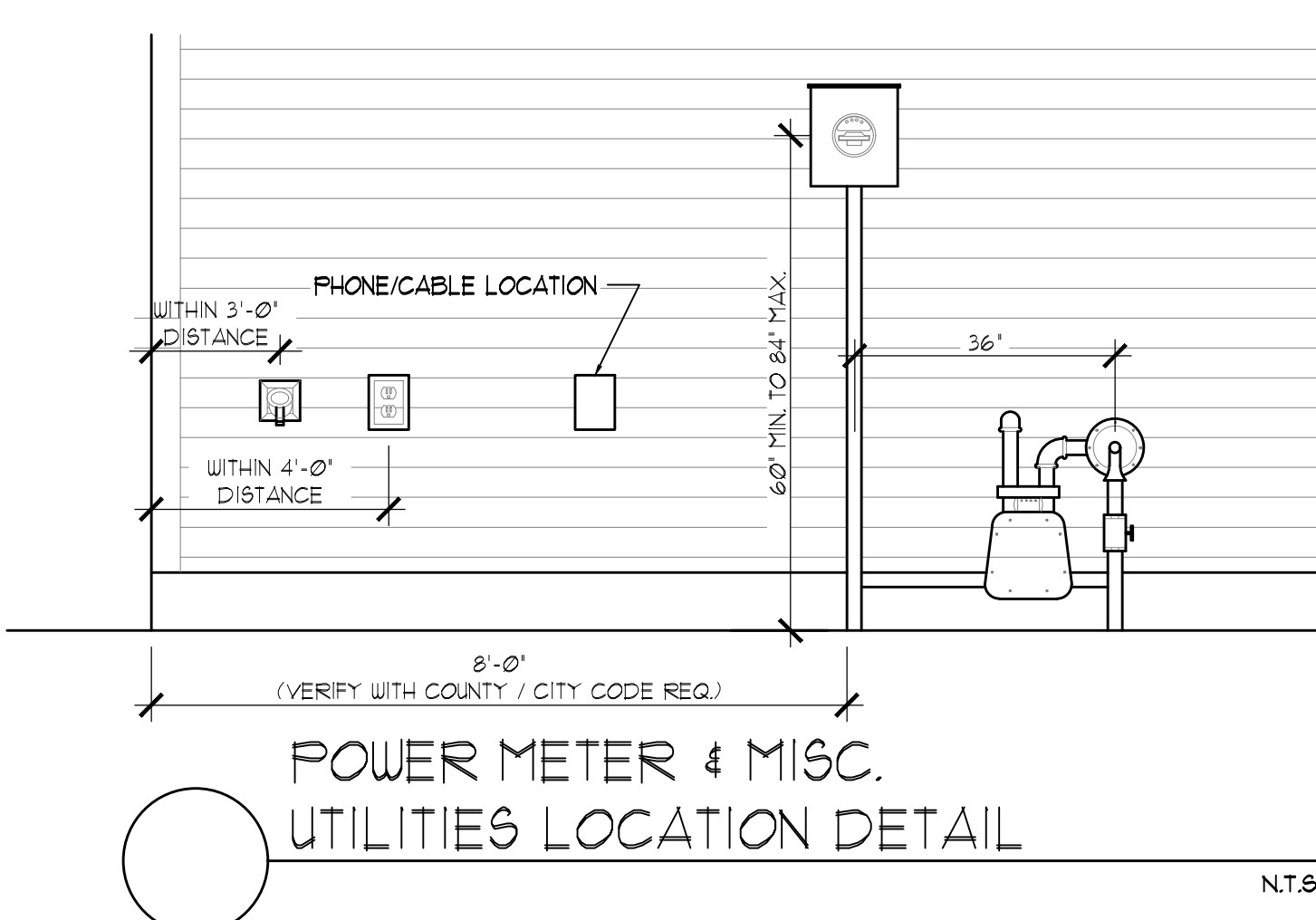
STAIR AT WOOD FLOOR CONN.



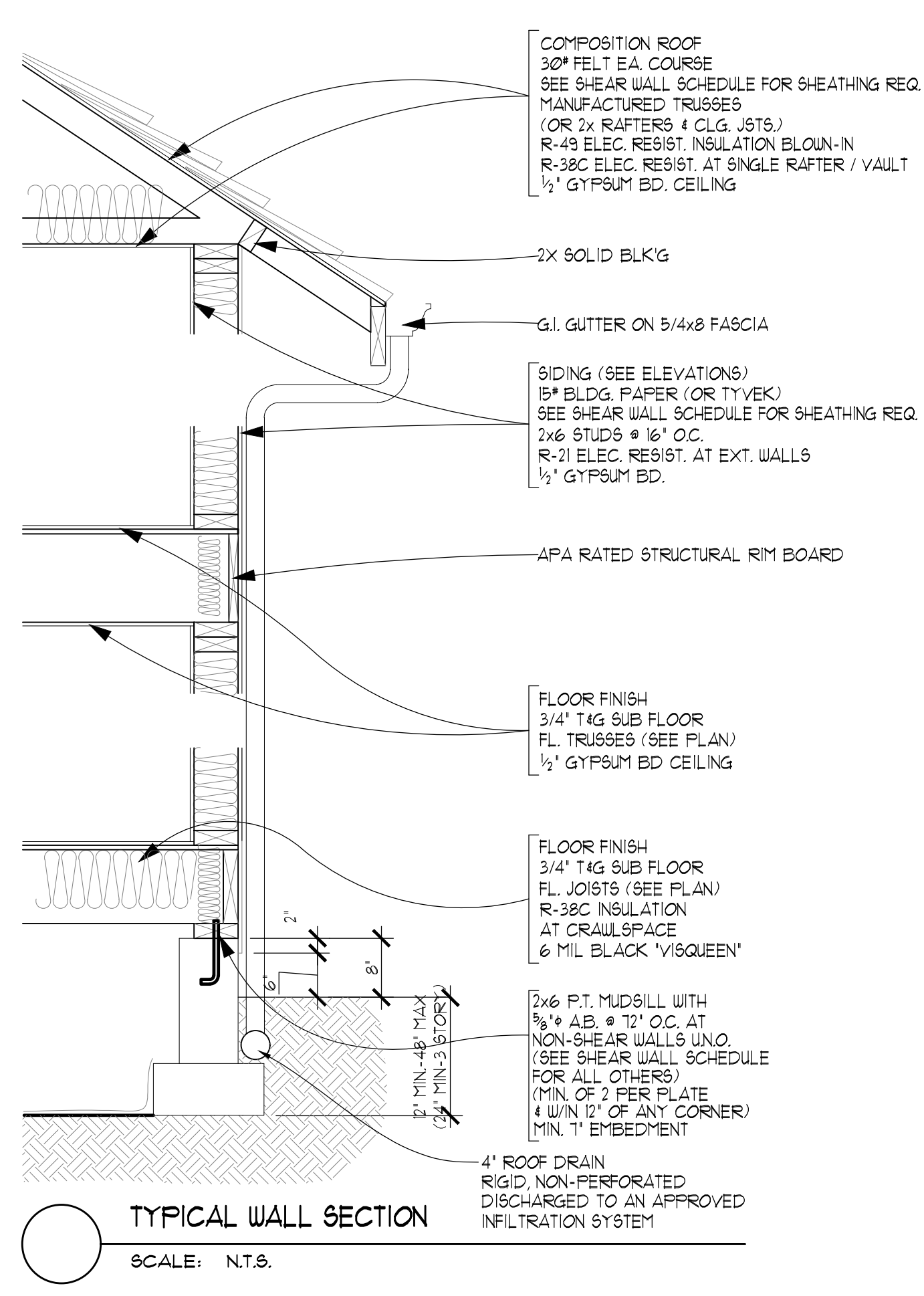
1 HOUR RATED PARTITION WALL ASSEMBLY
 SCALE: N.T.S. GA FILE NO. UP 5512

GA FILE NO. UP 5512	GENERIC	1 HOUR FIRE	45 TO 49 STC SOUND
GYPSUM WALLBOARD, WOOD STUDS			
ONE LAYER 1/2" TYPE 'X' GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF DOUBLE ROW OF 2x4 WOOD STUDS 16" O.C. ON SEPARATE PLATES 1" APART WITH 6d COATED NAILS, 1 1/2" LONG, 0.0935" SHANK, 1/4" HEADS, 1" O.C.			
JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID-HEIGHT. (LOAD BEARING)		THICKNESS: 5/4"	SOUND TEST: NRCC TL-93-261, IRC-IR-161, 3/38
		APPROX. WEIGHT: 8 PSF	
		FIRE TEST: SEE UP 3605	
		UL R319-4, -6, 6-11-52	
		UL R211-39, 1-20-66	
		UL R3501-52, 3-15-66, UL DESIGN U305	
		ULC DESIGN U3091	
		UL R4024, 10-31-68	

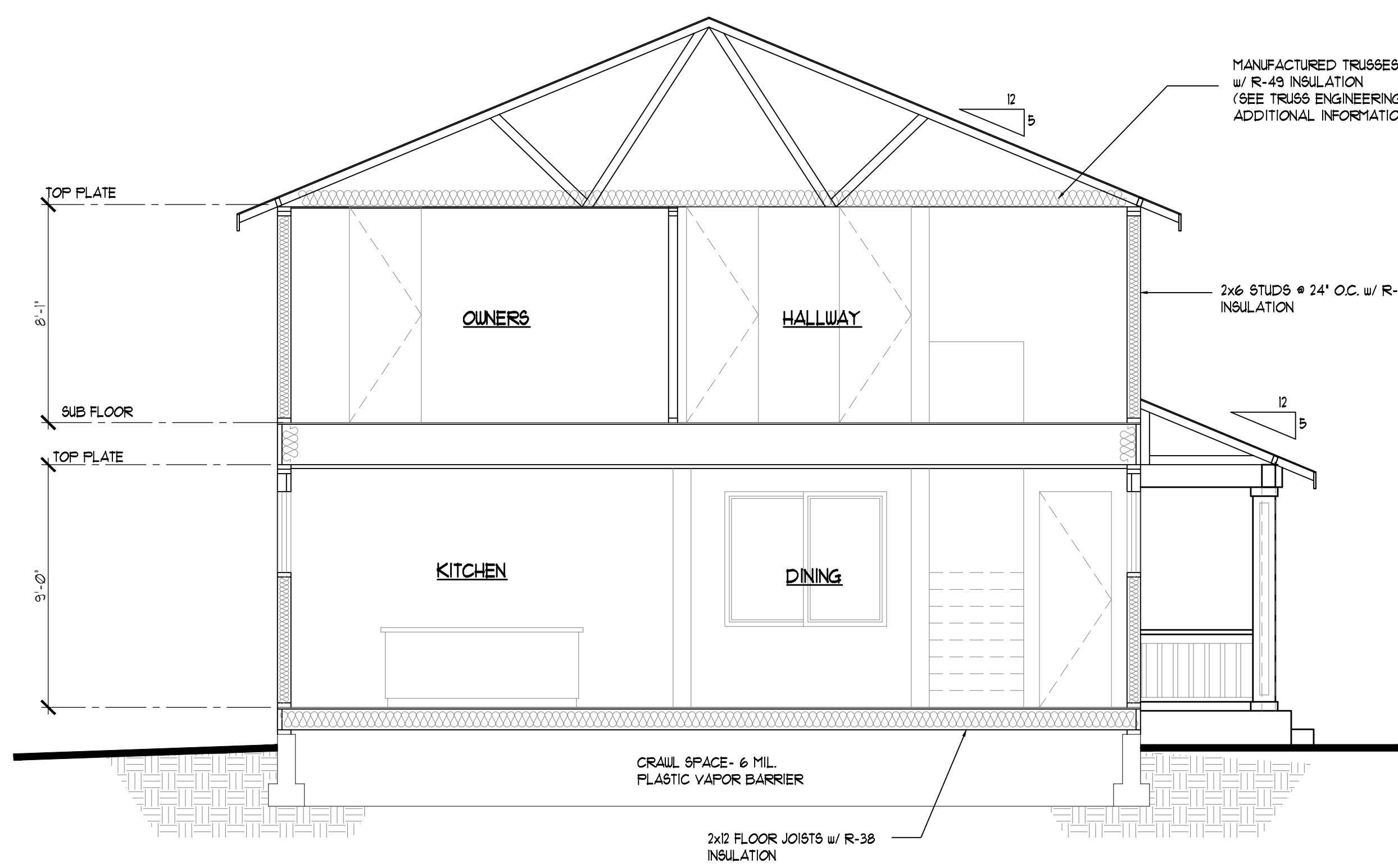
*NOTE: HORIZONTAL BRACING REQUIRED AT WALL MID-HEIGHT, TYP.



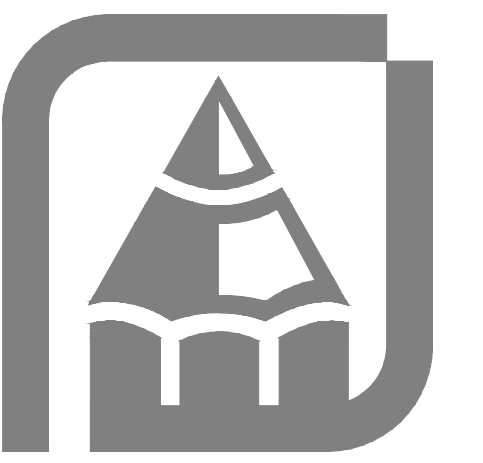
POWER METER & MISC. UTILITIES LOCATION DETAIL
 N.T.S.



TYPICAL WALL SECTION
 SCALE: N.T.S.



SECTION A



CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE PROJECT WITH THE CUSTOMER AND THE CITY/ COUNTY DEPARTMENT OF PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

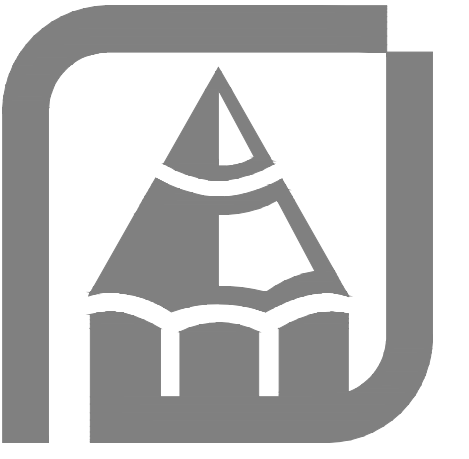
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Rueppell
 Home Design

Plan: 1864-1864
 HC HOMES DUPLEX
 Date: 04/11/23
 Revision Date: 09/20/23
 Drawn by: SM/BP
 Phone: (253) 297-8040

[A-5]

Parcel number: 0419095003
 Site Address:
 433 43rd Ave. SW Puyallup, WA. 98373



OF THE LICENSEE AND FOR THEIR USE. THE CONTRACTOR, THEREFORE, MUST CAREFULLY INSPECT ALL DIMENSIONS AND DETAILS IN THE PLANS FOR UNAUTHORIZED USE OR COPYING OF THESE PLANS. OF THE DESIGNER'S WORK. ANY REVISIONS SHOULD BE MADE UNDER THE CONTRACTOR'S ACT. DIMENSIONS FACE UNLESS NOTED OTHERWISE. DIMENSIONS UP TO 10'00" PER WORK SHALL BE FULLY. A GENERAL NOTE AND SPECIFICATIONS SHEET IS ALWAYS AN INTEGRAL PART OF THESE DRAWINGS AND GENERALLY THE LAST SHEET OF THE SET.

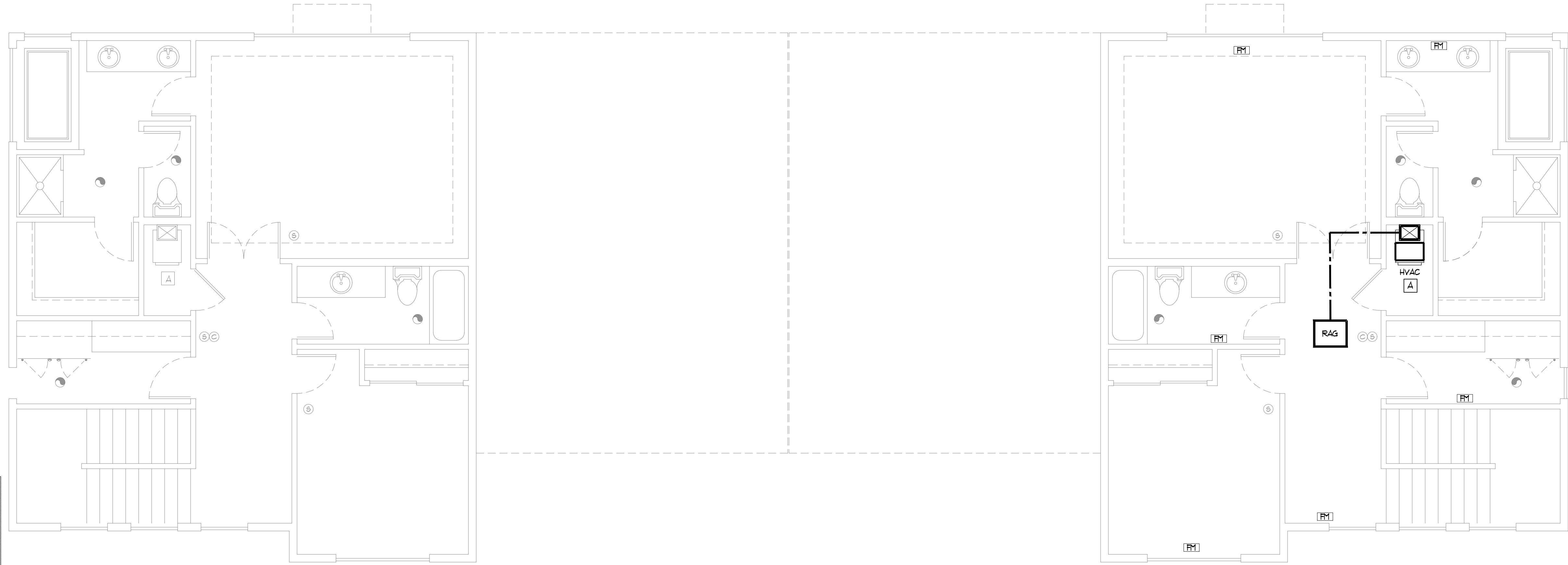
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Rueppell

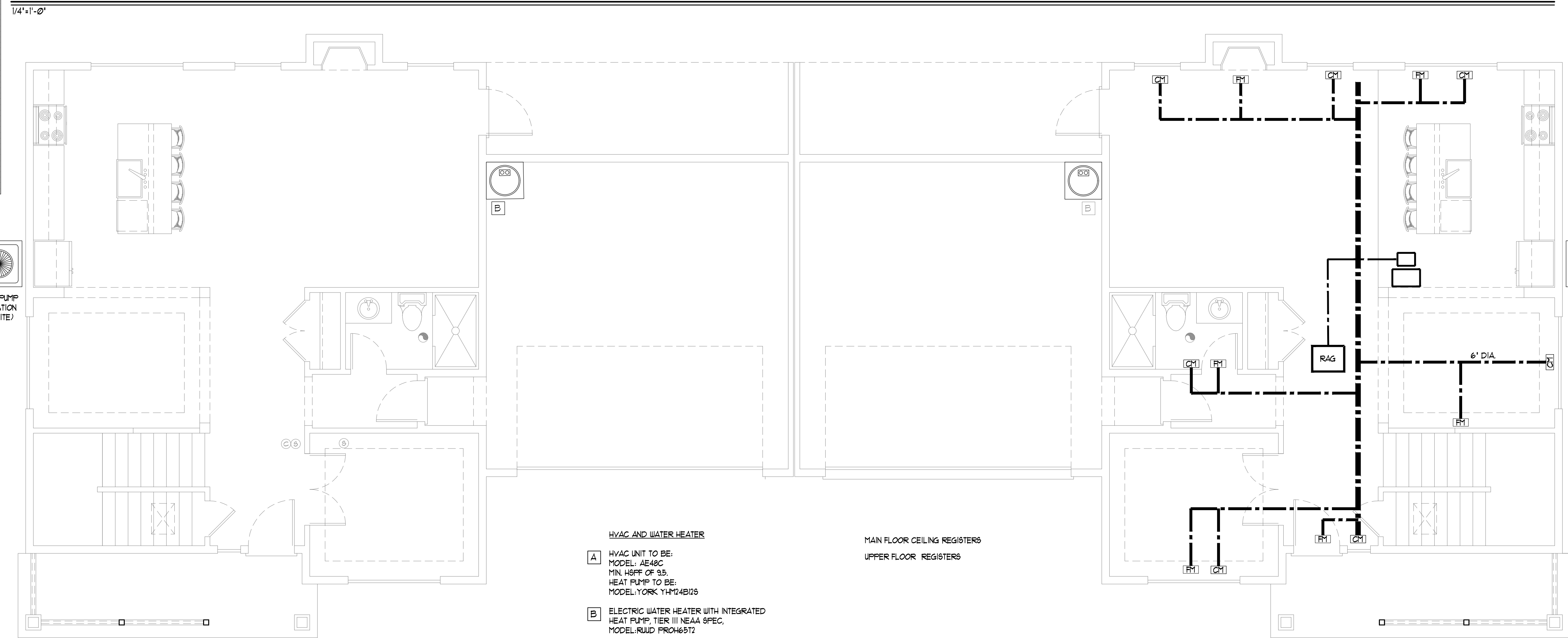
Home Design

Plan: 1864-1864
HC HOMES DUPLEX
Date: 04/11/23
Revision Date: 09/20/23
Drawn by: SM/BP
Phone: (253) 297-8040

[A-8]



UPPER FLOOR HVAC PLAN



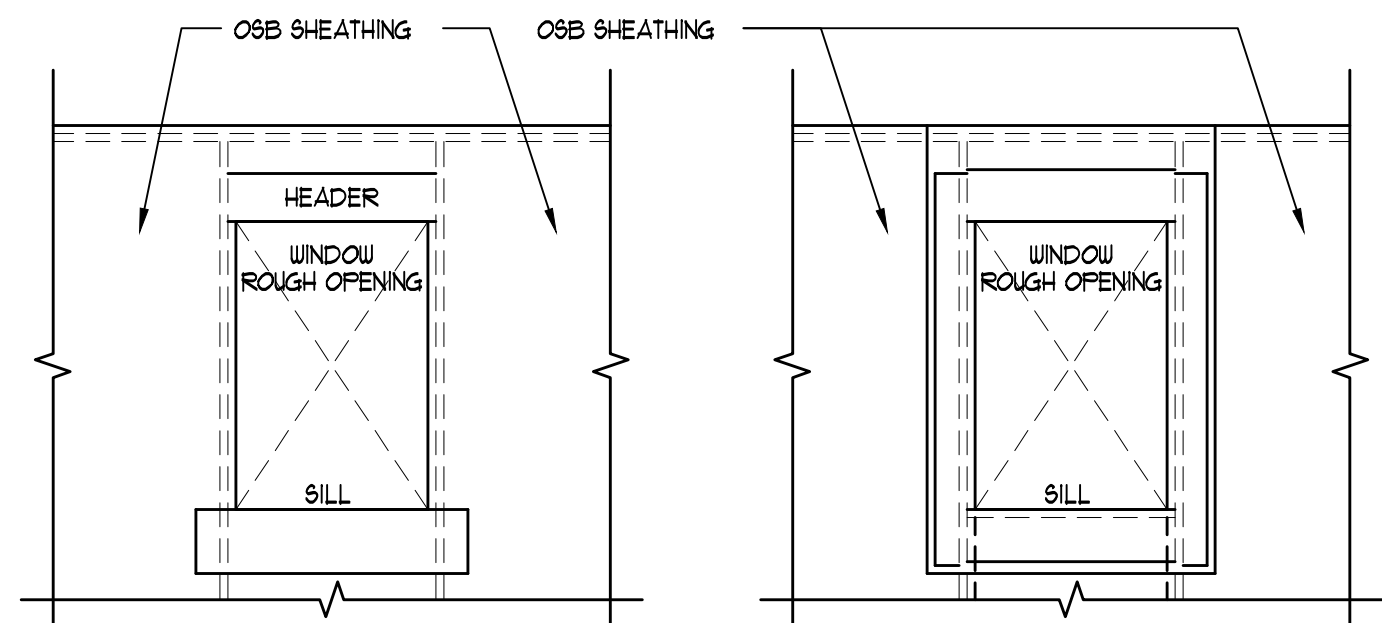
MAIN FLOOR HVAC PLAN

- HVAC AND WATER HEATER**
- A** HVAC UNIT TO BE:
MODEL: AE48C
MIN. HSPF OF 9.5
HEAT PUMP TO BE:
MODEL: YORK YH124B126
 - B** ELECTRIC WATER HEATER WITH INTEGRATED
HEAT PUMP, TIER III NEAA 9FEC,
MODEL: RUUD PRO46912

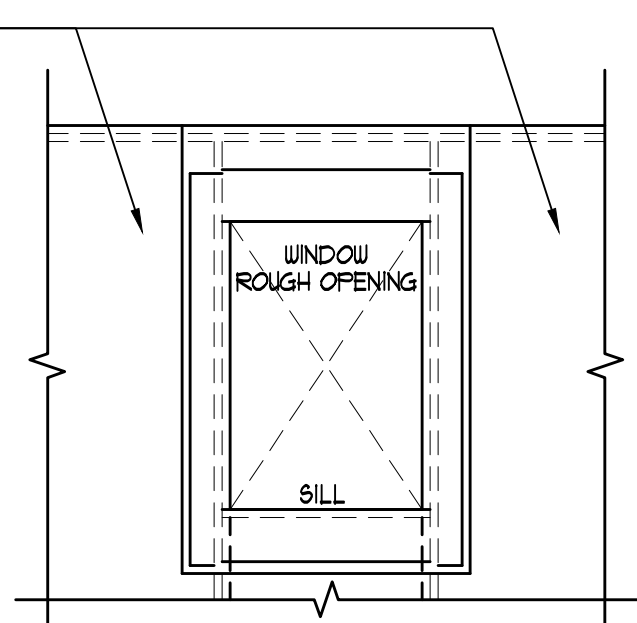
MAN FLOOR CEILING REGISTERS
UPPER FLOOR REGISTERS

1/4"=1'-0"

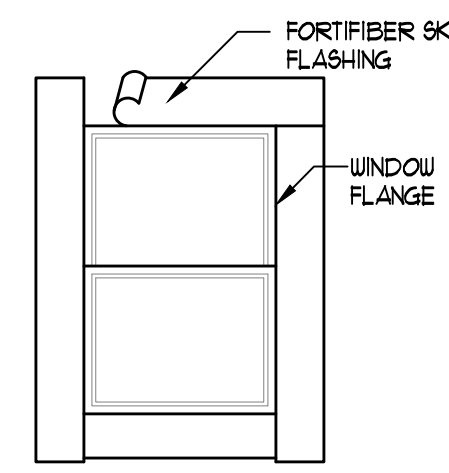
1/4"=1'-0"



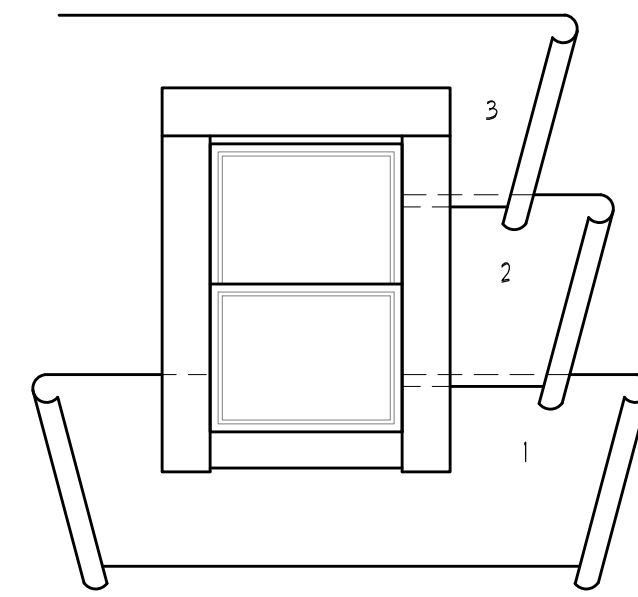
ATTACH A SILL STRIP OF FLASHING MATERIAL AT LEAST 1" WIDE WITH THE TOP EDGE EVEN WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 1" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. ATTACH FLASHING WITH GALVANIZED ROOFING NAILS OR RUST-RESISTANT STAPLES.



AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIPS INSIDE OF OPENING AT LEAST 1" WIDE WITH INSIDE EDGE OF FLASHING EVEN WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 1" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 6" ABOVE THE LOWER EDGE OF THE HEADER TOP OF WINDOW OPENINGS.



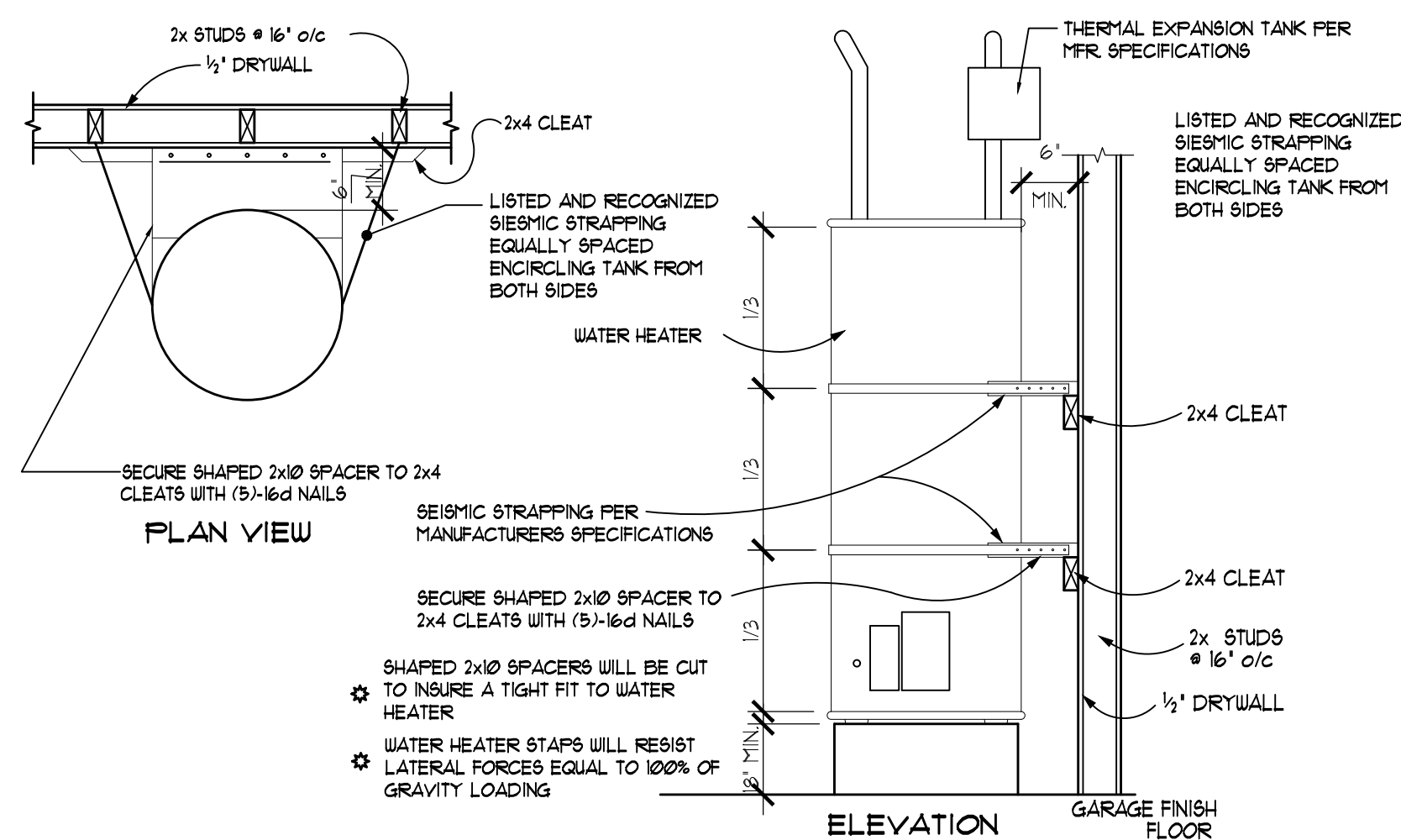
APPLY A BEAD OF CAULKING TO THE BACK SURFACES OF THE WINDOW, THEN PLACE THE WINDOW INTO THE ROUGH OPENING WITH FLANGES OVER THE INSTALLED FLASHING STRIPS. AFTER WINDOW IS PLACED, INSTALL THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP OF FLASHING AT LEAST 1" WIDE.



STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY WATER RESISTANT PAPER UNDER THE SILL STRIP. CUT ANY EXCESS WATER RESISTANT PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING (SHOWN IN DIAGRAM AS SHORT DASHED LINES). INSTALL SUCCEEDING COURSES OF WATER RESISTANT PAPER OVER JAMBS AND HEAD FLANGES IN SHINGLE-BOARD FASHION.

1 WINDOW FLASHING DETAIL

N.T.S.



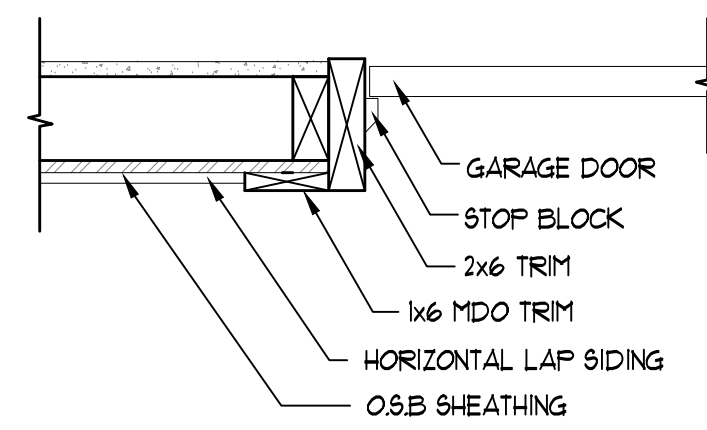
PLAN VIEW

ELEVATION

GARAGE FINISH FLOOR

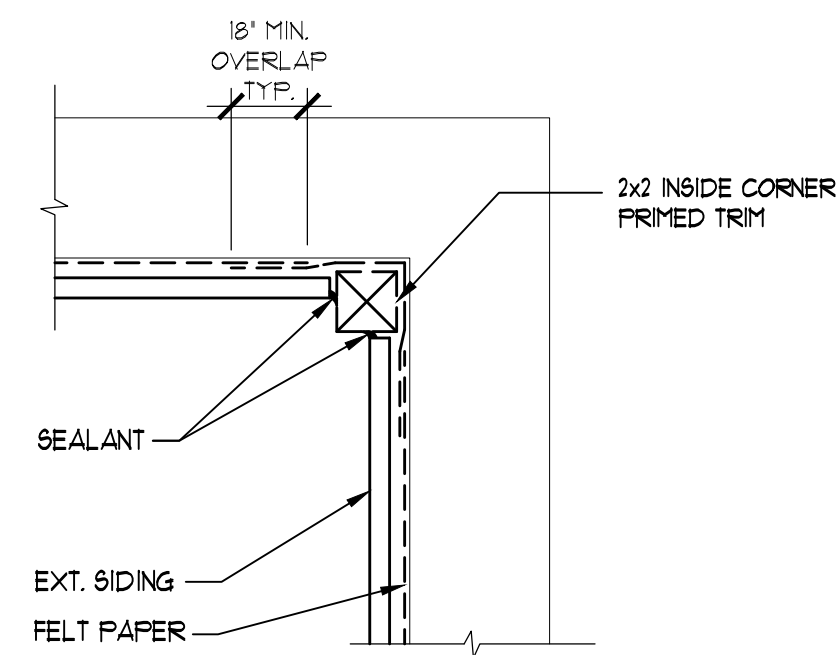
11 WATER HEATER SEISMIC STRAPPING

N.T.S.



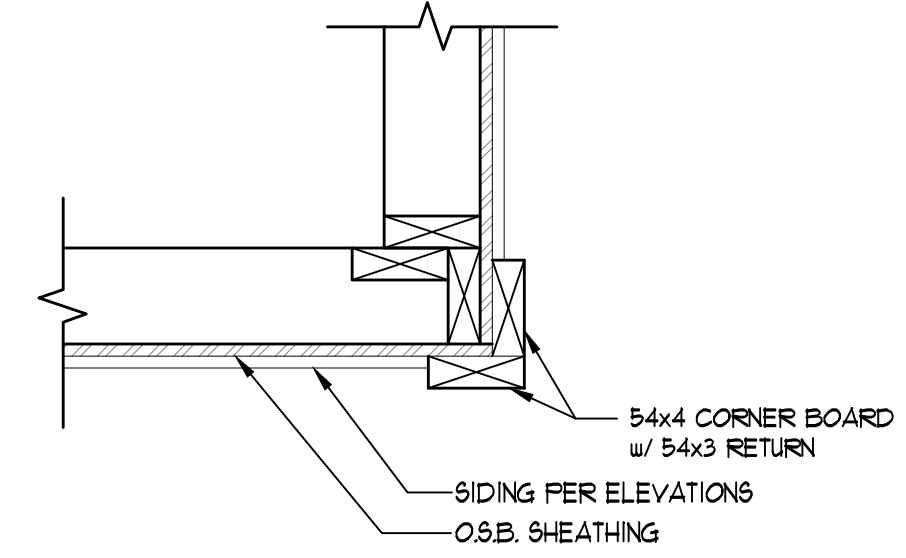
3 GARAGE DOOR TRIM DETAIL

N.T.S.



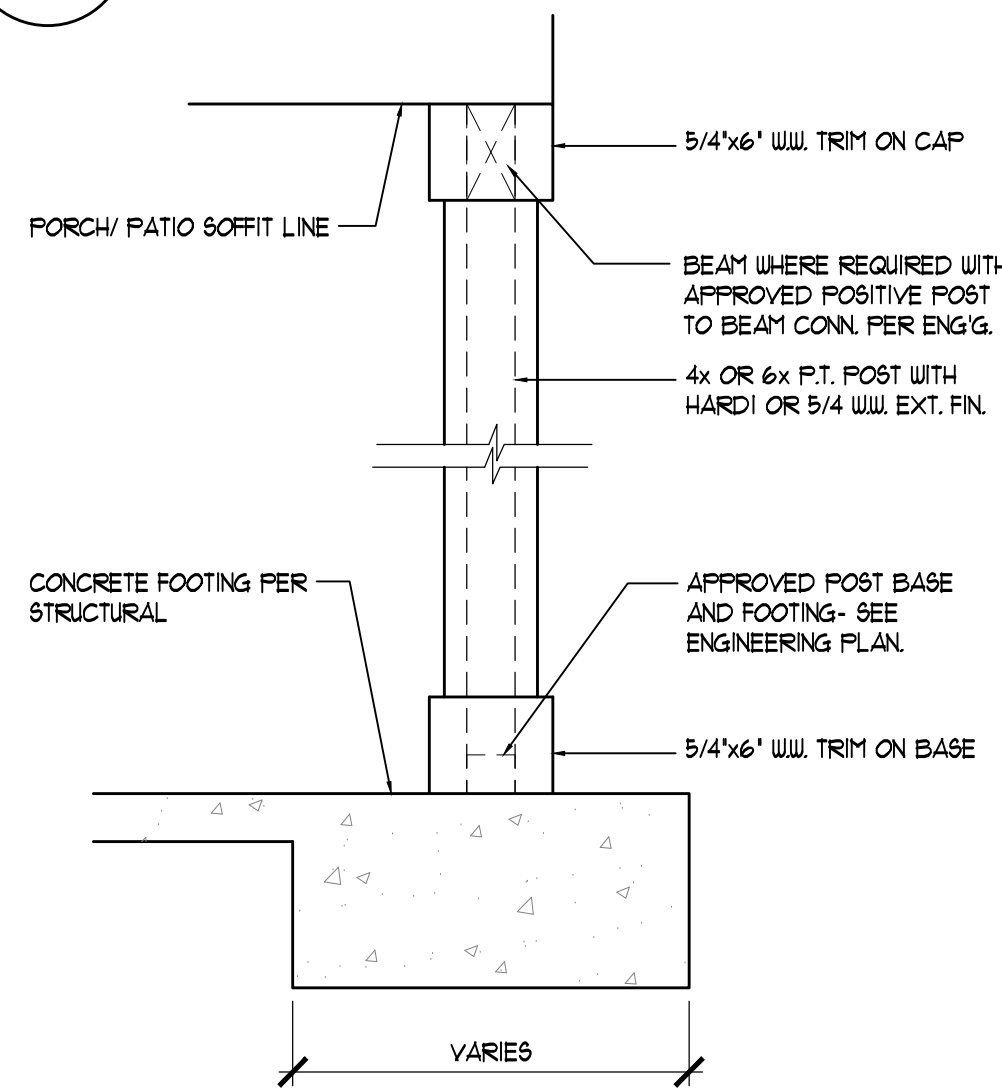
4 INSIDE CORNER TRIM DETAIL

N.T.S.



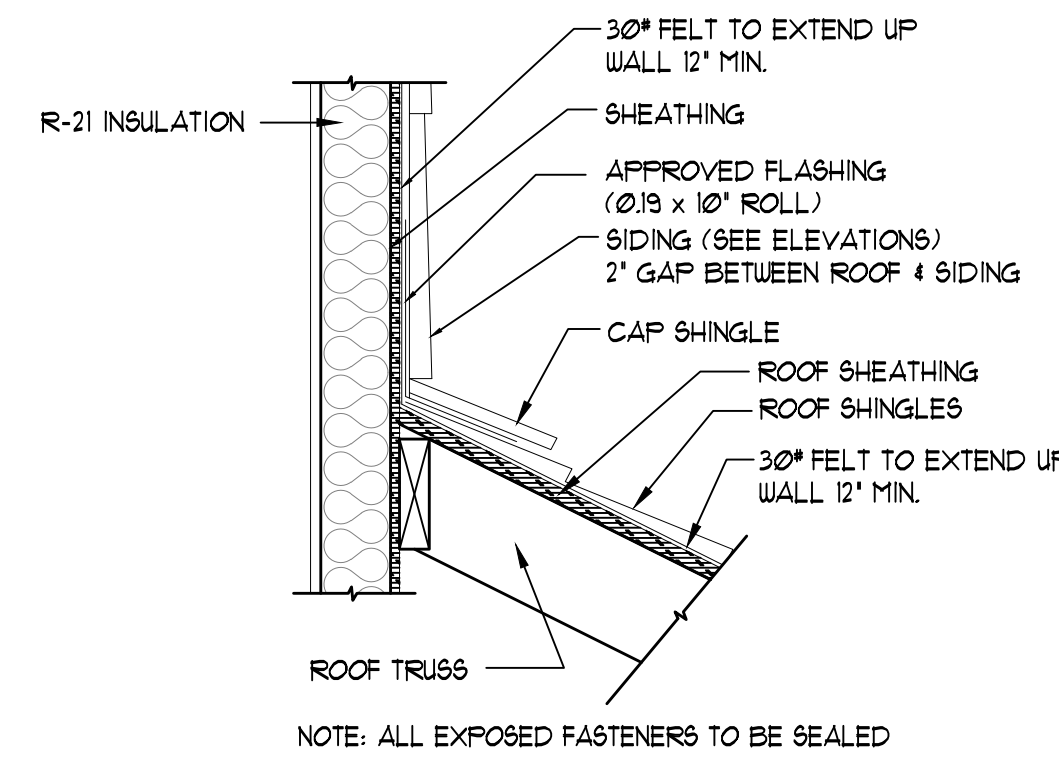
5 CORNER TRIM DETAIL

N.T.S.



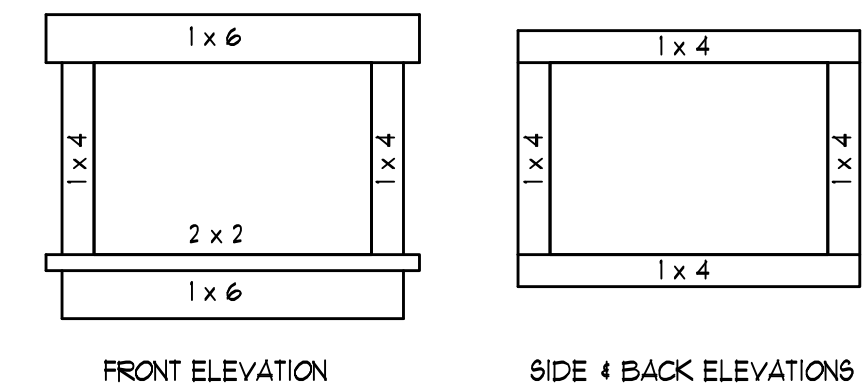
8 WRAP POST DETAIL

N.T.S.



9 ROOF/WALL FLASHING DETAIL

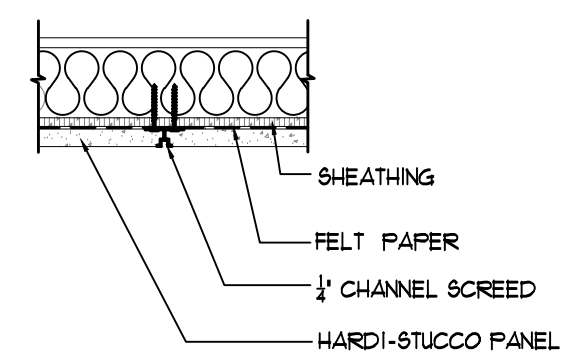
N.T.S.



10 WINDOW TRIM DETAIL

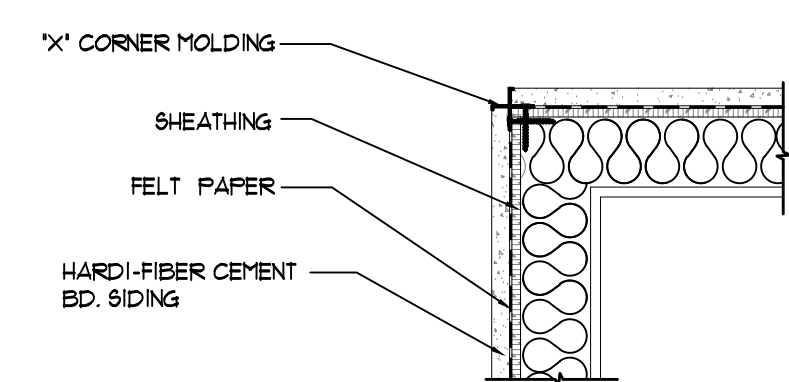
N.T.S.

NOTE: ALL FRONT EXTERIOR TRIM FIN ARE TO BE MDO (MEDIUM DENSITY OVERLAY).



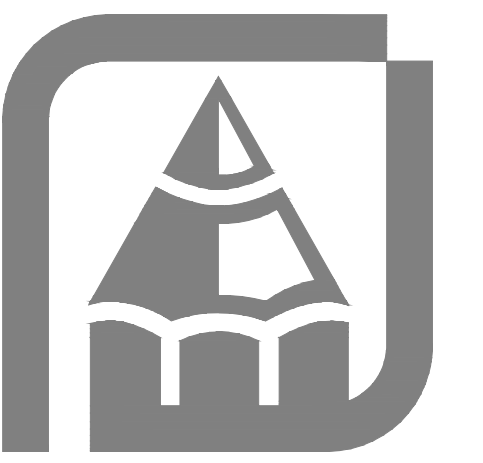
12 1/4 CHANNEL SCREED

N.T.S.



13 "X" CORNER MOLDING DETAIL

N.T.S.



THE CONTRACTOR, THEREFORE, MUST CAREFULLY INSPECT ALL DIMENSIONS AND DETAILS IN THE PLANS FOR THE LICENSEE'S AND THEIR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. UNAUTHORIZED USE OR COPYING OF THESE PLANS OR THE DESIGN OR CONSTRUCTION OF THE PROJECT IS PROHIBITED. A GENERAL NOTE AND SPECIFICATIONS SHEET IS ALWAYS AN INTEGRAL PART OF THESE DRAWINGS AND GENERALLY THE LAST SHEET OF THE SET.

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Rueppell
Home Design

Plan: 1864-1864
HC HOMES DUPLEX
Date: 04/11/23
Revision Date: 09/20/23
Drawn by: SM/BP
Phone: (253) 297-8040

[D-1]

SITE ADDRESS

409 AND 433 43RD AVE SW
PUYALLUP, WA 98373

PARCEL NUMBER

0419095003
0419095022

LEGAL DESCRIPTION

LOT 3 OF SHORT PLAT 79-557
EASE OF RECORD OUT OF 1-900
& 1-053 SEG M-1448

OWNER

HC HOMES INC.
20921 SNAG ISLAND DR.
LAKE TAPPS, WA. 98391

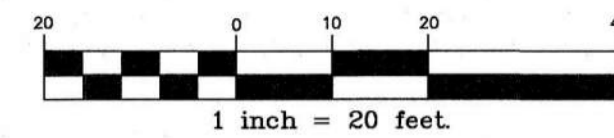
UTILITIES

WATER: FRUITLAND WATER
SEWER: SEPTIC
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY
COMMUNICATIONS: COMCAST / LUMEN

PUYALLUP DUPLEX

A PORTION OF THE NW 1/4 OF THE NW 1/4 OF SEC. 34, TWP. 20 N., RGE. 4 E.,
WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

Appendix B Site Plan
separate building permit approval required (see building permit submittal
#PRRNSF20230918 and #PRRNSF20230919)



APPROVED

BY: CITY OF PUYALLUP
ENGINEERING SERVICES

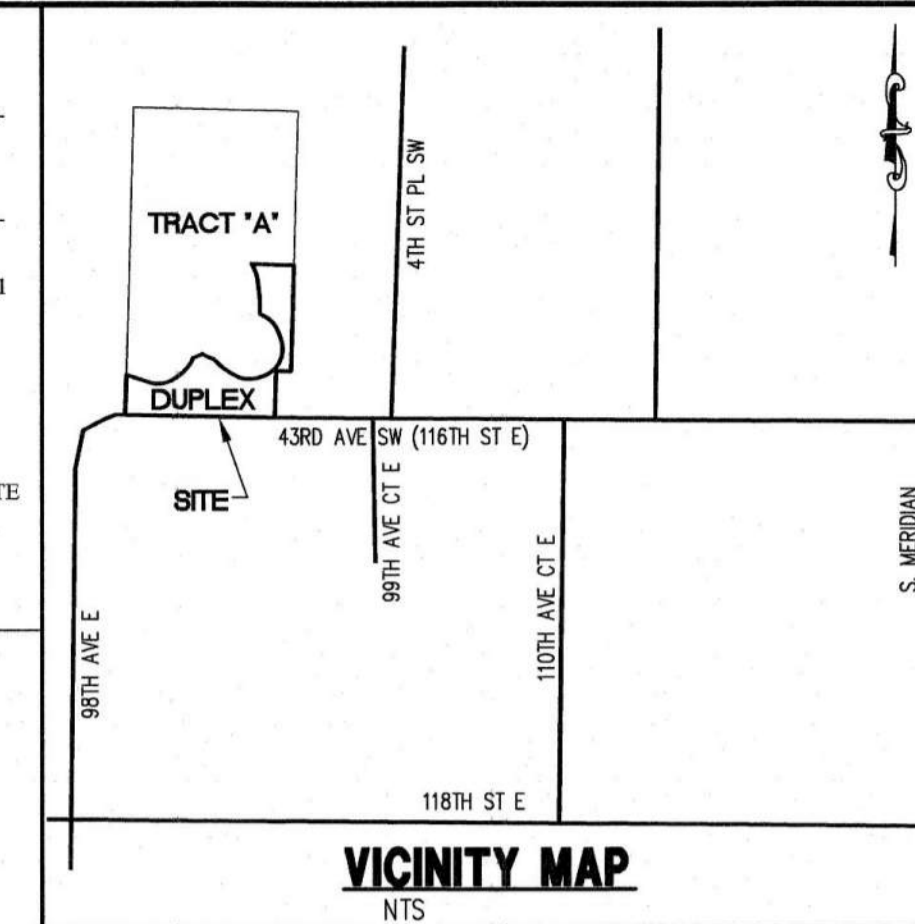
DATE:

NOTE:
THIS APPROVAL IS VOID AFTER 1
YEAR FROM APPROVAL DATE.

THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS
AND/OR OMISSIONS ON THESE
PLANS.

FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE CITY
ENGINEER.

PERMIT# PRCCP20240014

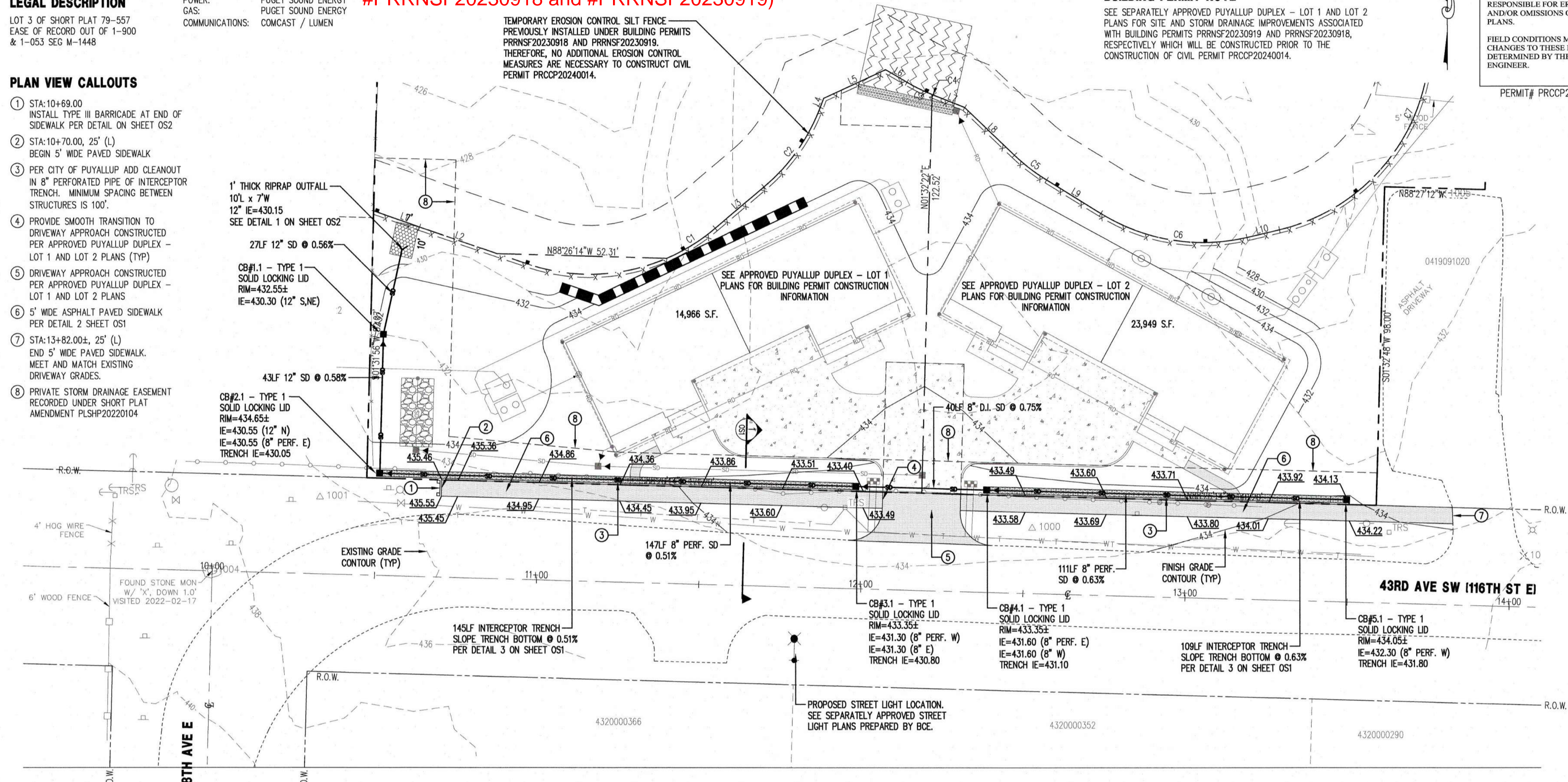


LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	CENTER LINE	---
---	PROPERTY LINE	---
---	RIGHT OF WAY LINE	---
---	EASEMENT LINE	---
---	BUILDING SETBACK LINE	---
---	CHAIN LINK FENCE	---
---	WOOD FENCE	---
---	EDGE OF PAVEMENT	---
---	CONTOURS	---
---	STREET SIGN	---
---	STORM DRAIN CATCH BASIN	---
---	STORM DRAIN CLEANOUT	---
---	STORM DRAIN LINE	---
---	ROOF DRAIN LINE	---
---	FIRE HYDRANT	---
---	WATER VALVE	---
---	WATER METER	---
---	THRUST BLOCKING	---
---	WATER MAIN	---
---	LUMINAIRE	---
---	OVER HEAD POWER	---
---	POWER/UTILITY POLE	---
---	GUY WIRE	---
---	POWER VAULT	---
---	GAS MAIN	---
---	GAS VALVE	---
---	TELEPHONE LINE	---
---	TELEPHONE RISER	---
---	MAIL BOX	---
---	ASPHALT CONCRETE	---
---	CEMENT CONCRETE	---

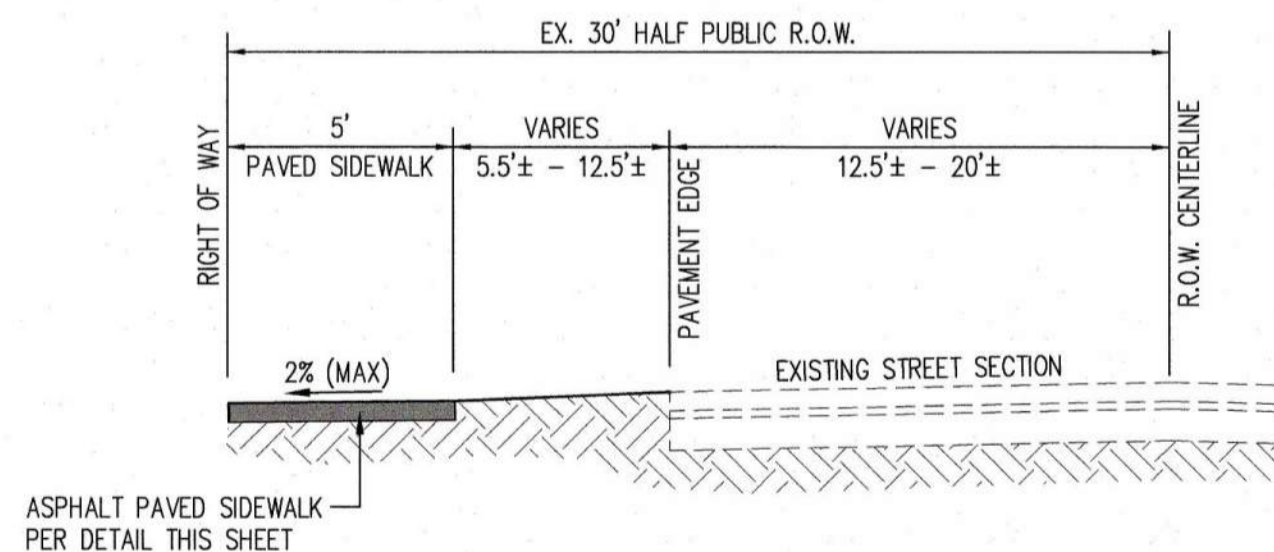
PLAN VIEW CALLOUTS

- 1 STA:10+69.00
INSTALL TYPE III BARRICADE AT END OF
SIDEWALK PER DETAIL ON SHEET OS2
- 2 STA:10+70.00, 25' (L)
BEGIN 5' WIDE PAVED SIDEWALK
- 3 PER CITY OF PUYALLUP ADD CLEANOUT
IN 8" PERFORATED PIPE OF INTERCEPTOR
TRENCH. MINIMUM SPACING BETWEEN
STRUCTURES IS 100'.
- 4 PROVIDE SMOOTH TRANSITION TO
DRIVEWAY APPROACH CONSTRUCTED
PER APPROVED PUYALLUP DUPLEX -
LOT 1 AND LOT 2 PLANS (TYP)
- 5 DRIVEWAY APPROACH CONSTRUCTED
PER APPROVED PUYALLUP DUPLEX -
LOT 1 AND LOT 2 PLANS
- 6 5' WIDE ASPHALT PAVED SIDEWALK
PER DETAIL 2 SHEET OS1
- 7 STA:13+82.00±, 25' (L)
END 5' WIDE PAVED SIDEWALK.
MEET AND MATCH EXISTING
DRIVEWAY GRADES.
- 8 PRIVATE STORM DRAINAGE EASEMENT
RECORDED UNDER SHORT PLAT
AMENDMENT PLSPH20220104



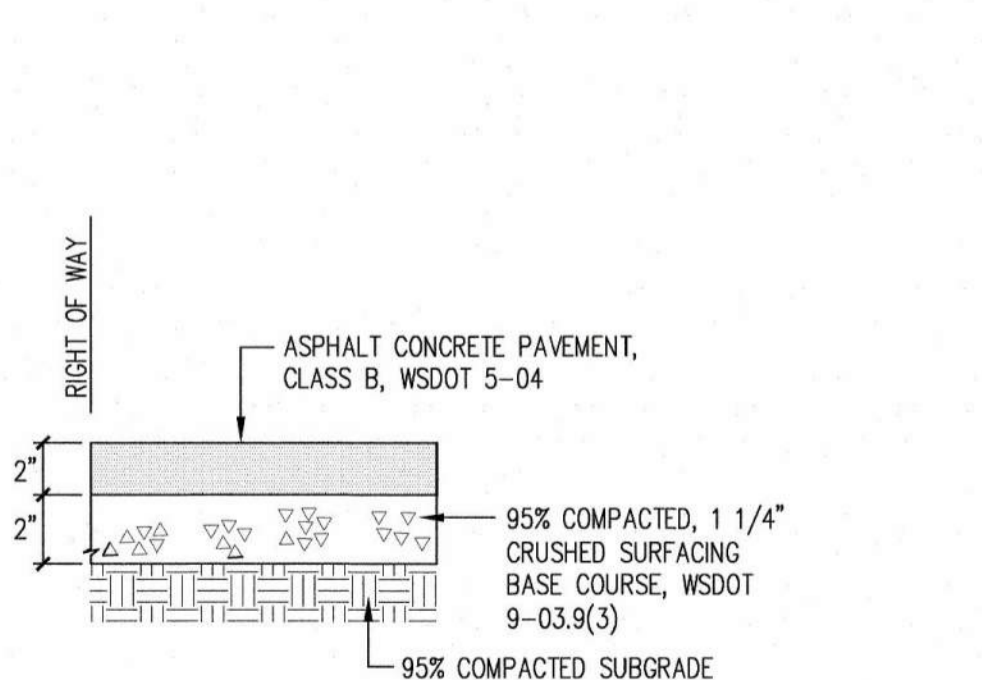
CONSTRUCTION SEQUENCE

- 1. THE CONTRACTOR IS TO REQUEST A PRE-CONSTRUCTION MEETING WITH THE CITY'S INSPECTOR.
- 2. CLEARLY STAKE, FLAG OR FENCE CLEARING LIMITS/WORK AREA. NO WORK SHALL BE PERFORMED OUTSIDE THESE LIMITS WITHOUT PRIOR APPROVAL FROM THE CITY OF PUYALLUP.
- 3. PRIOR TO STARTING SITE WORK, REQUEST AN INSPECTION FOR EROSION AND SEDIMENT CONTROL, BY USING THE CITYVIEW ONLINE PERMIT PORTAL FOR SCHEDULING. CONTRACTOR MUST BE A PORTAL USER TO REQUEST INSPECTIONS.
- 4. PROVIDE SILT FENCING AS SHOWN ON THE APPROVED LOT 1 AND LOT 2 BUILDING PERMIT PLANS.
- 5. CONSTRUCT INTERCEPTOR TRENCH AS SHOWN ON APPROVED PLANS.
- 6. CONSTRUCT SIDEWALK AS SHOWN ON THE APPROVED PLANS.
- 7. STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- 8. SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- 9. REQUEST FINAL INSPECTIONS ONLINE. UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPs IF APPROPRIATE.



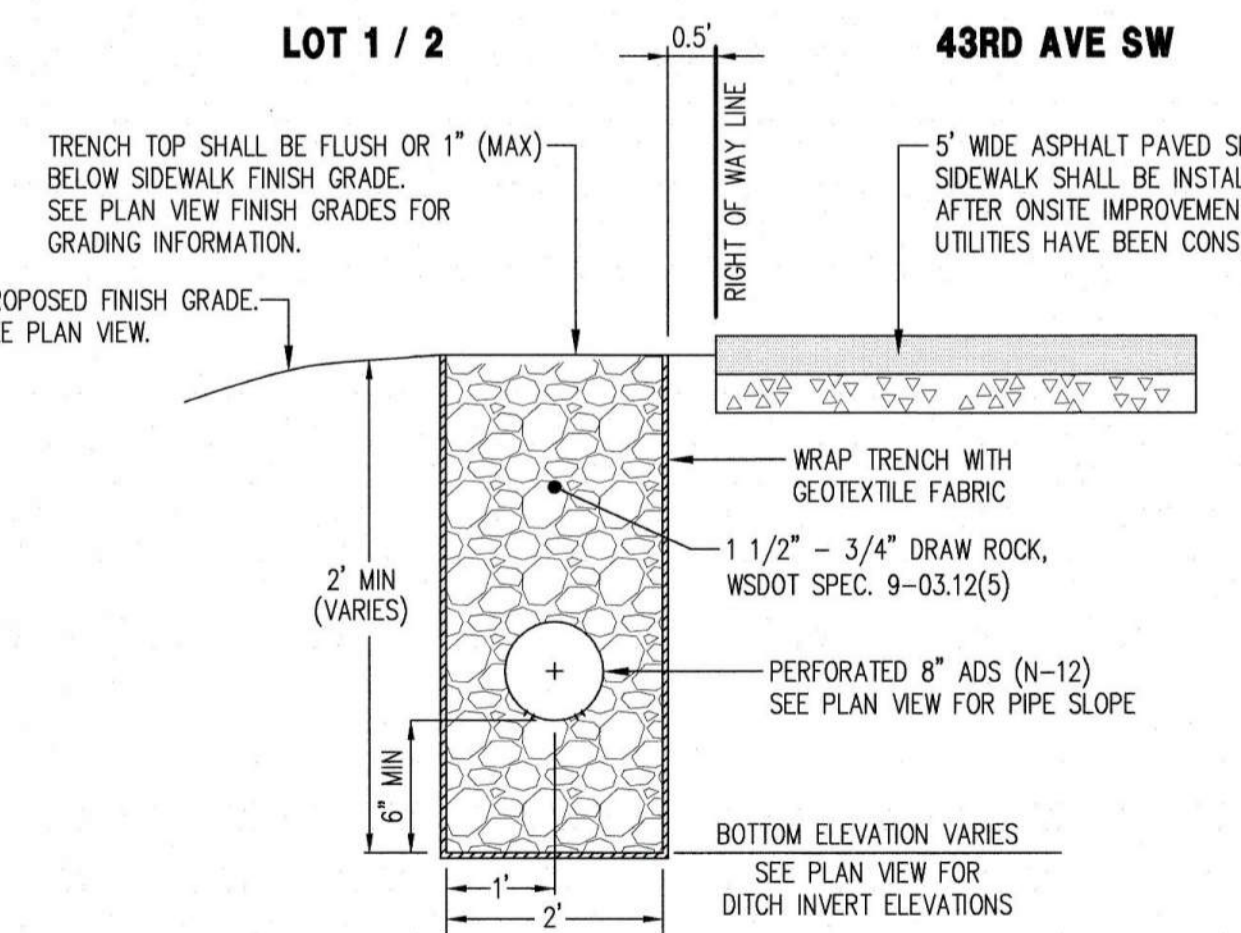
NOTE
INSTALL ASPHALT PAVED SIDEWALK PER PLAN VIEW FINISH GRADES.
RE-GRADE EXISTING SHOULDER TO PROVIDE SMOOTH TRANSITION FROM EXISTING PAVEMENT EDGE TO FRONT OF PROPOSED SIDEWALK.
SIDEWALK SHALL BE INSTALLED AFTER ONSITE IMPROVEMENTS AND UTILITIES HAVE BEEN CONSTRUCTED. SEE APPROVED PUYALLUP DUPLEX - LOT 1 AND LOT 2 PLANS.

1 43RD AVENUE SW
HALF-STREET FRONTAGE IMPROVEMENTS N.T.S.



NOTE
1. DEPTHS ARE COMPACTED THICKNESS.

2 5' WIDE SIDEWALK SECTION
N.T.S.



3 INTERCEPTOR TRENCH
N.T.S.

EROSION CONTROL NOTES

THE APPLICANT SHALL REQUEST A SEDIMENT CONTROL AND EROSION INSPECTION WITH A CITY ENGINEERING INSPECTOR THROUGH THE CITYVIEW PORTAL AT LEAST 48 HOURS IN ADVANCE OF JOB START. SEE CITY STANDARDS 02.03.02 & 05.02.01.

ALL METHODS OUTLINED IN THE APPROVED STORMWATER REPORT DATED DECEMBER 2023 MUST BE FOLLOWED IN REGARDS TO EROSION AND SEDIMENTATION CONTROL.

ALL APPROPRIATE TEMPORARY EROSION CONTROL MEASURES WILL BE INSTALLED AS PART OF CONSTRUCTION ASSOCIATED WITH BUILDING PERMITS PRRNSF20230919 AND PRRNSF20230918, RESPECTIVELY. THEREFORE, NO ADDITIONAL EROSION CONTROL MEASURES ARE NECESSARY FOR CONSTRUCTION OF CIVIL PERMIT PRCCP20240014.

STREET LIGHT INSTALLATION NOTE

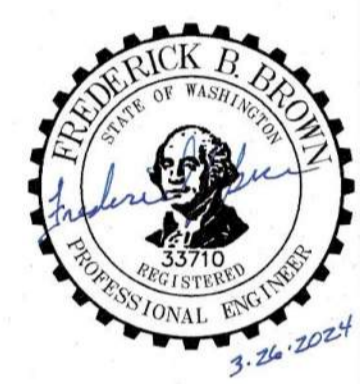
SEE SEPARATELY APPROVED PUYALLUP DUPLEX STREET LIGHTING PLANS (E1.1-E1.3) PREPARED BY BCE ENGINEERS, INC. FOR STREET LIGHT INSTALLATION INFORMATION.

SHEET INDEX

OS1 PAVED SIDEWALK PLAN
OS2 NOTES & DETAILS

CALL 48 HOURS BEFORE YOU DIG DIAL 811

No.	Revision:	Int.	Date:



C.E.S. NW INC.
CIVIL ENGINEERING & SURVEYING
429 - 29TH ST. NE, SUITE D
PUYALLUP, WA 98372
PH: (253) 848-4282
ceservices@cesnwnw.com

Project: PUYALLUP DUPLEX PAVED SIDEWALK PLAN
Client: HC HOMES INC.
P.O. BOX 7707, BONNEY LAKE, WA 98391
Designed: ENO
Drawn: MRL
Checked: ENO
Scale: 1"=20'
Date: 3/26/2024
Job No.: 20069
Sheet No.: OS1
1 of 2 Sheets