

LEGEND

	Found Monument As Noted
	Calculated Monument Position
	Found Rebar / Iron Pipe As Notes
	Survey Control Point, As Noted
	Sanitary Sewer Manhole
	Sanitary Sewer Clean Out
	Storm Manhole
	Storm Catch Basin
	Storm Culvert
	Storm Clean Out
	Roof Drain
	Water Valve
	Water Meter
	Fire Hydrant
	Fire Department Connection
	Water Blow Off
	Post Indicator Valve
	Irrigation Control Valve
	Gas Valve
	Gas Meter
	Utility Pole
	Guy Anchor
	Junction Box
	Power Vault
	Power Cabinet
	Power Manhole
	Light Pole
	Utility Vault
	Electric Meter
	Power Transformer
	Column
	Ballard
	Gate Post
	Communications Vault
	Communications Manhole
	Telephone Cabinet
	Sign
	Mailbox
	Flag Pole
	Deciduous Tree
	Evergreen Tree
	Tax Parcel Number
	Finish Floor Elevation
	Road Centerline
	Storm Drain Line
	Sanitary Sewer Line
	Buried Water Line
	Buried Gas Line
	Buried Power Line
	Buried Telecommunications Line
	Overhead Power Line
	Chain Link Fence
	Wood Fence
	Record Storm Line
	Record Sanitary Line
	Asphalt Surface
	Concrete Surface
	Gravel Surface

HORIZONTAL DATUM

Washington Plane Coordinate System, South Zone,
NAD 83/2011
Based on GPA observation utilizing the Washington State Reference Network (WSRN)
Measured south 88°57'44" east between two found monuments along west main st.
at the intersections with 8th st nw and 7th st nw

VERTICAL DATUM

NAVD88
Based on GPS observation utilizing the WSRN with NGS GEOID18 Loaded
Temporary Benchmark Elevation = 41.76
Description: Rebar & Control Cap #12
Located at the intersection of West Main & 7th ST NW
SE of the radial curb line

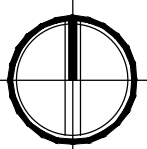
SITE DATA

- Total Lot Area: 43,574 SF (1.00 AC)
- Total Project Site Area: 16,587 SF (0.38 AC)
- Tax Parcel Numbers: 5870000171, 5870000190, 5870000200, 5870000231
- Zoning: PF- Public Facilities

EXISTING LOT COVERAGE

Total Lot Area	43,574 SF	(1.00 AC)	
Coverage	Area (SF)	Area (AC)	% of Site
Impervious			
Roof	1,722	0.04	
Concrete Sidewalk	964	0.03	
Asphalt Parking Lot	6,686	0.15	
Total Site Impervious	9,372	0.22	22.0%
Pervious			
Landscape	34,202	0.78	
Total Site Pervious	34,202	0.78	78.0%

0 20 40 FEET
1" = 20'



ARCHITECT

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CLIENT/OWNER



TITLE

PUYALLUP HS NEW PORTABLES 2023

STAMP



ISSUED: DATE:

CONDITIONAL USE PERMIT OCT, 11 2023
CUP CC#1 RESPONSE APR, 5 2024

EXISTING SITE PLAN

Building Permit #: -

CUP #: PLCUP20230109

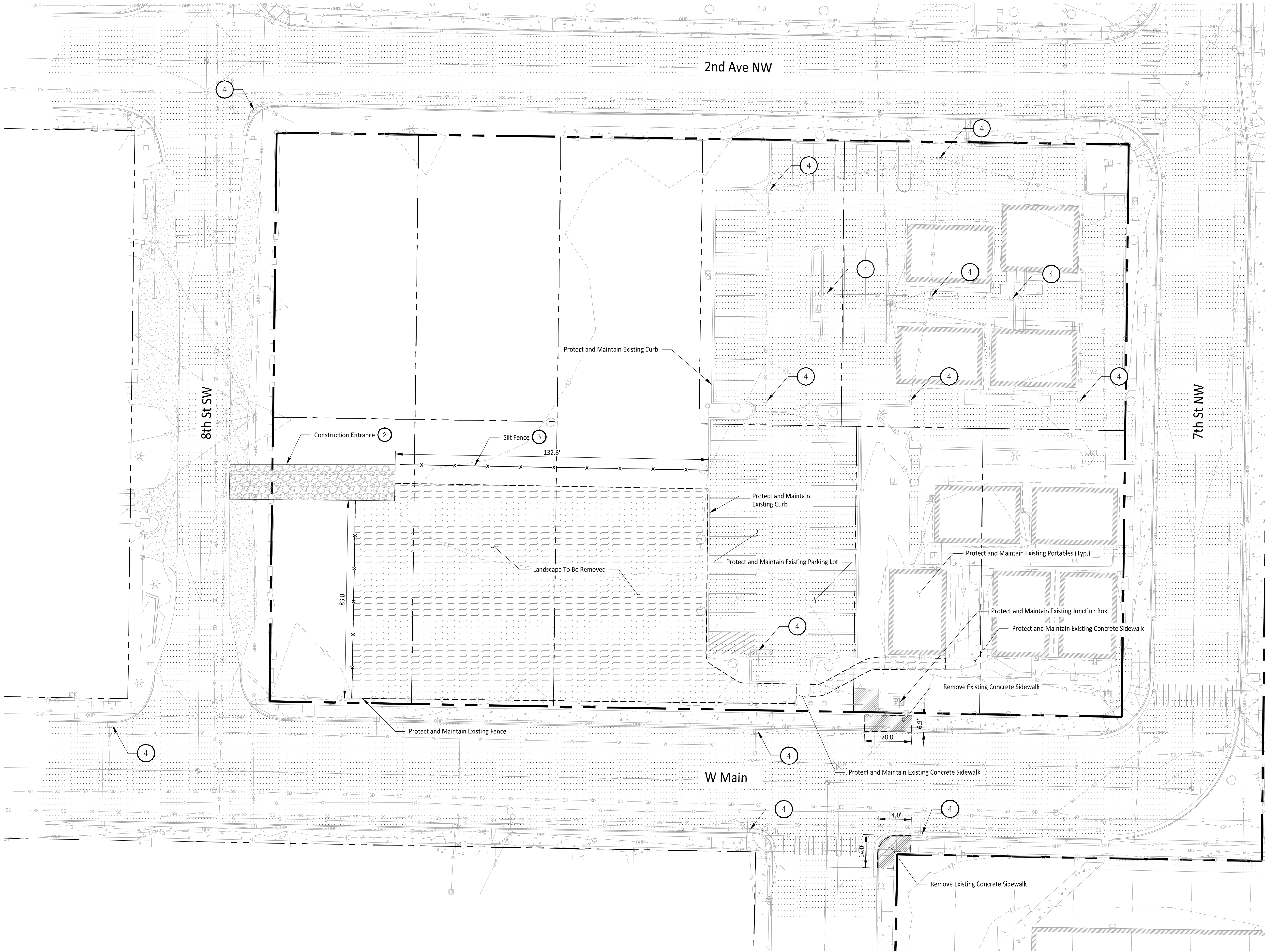
Owner's Project #: -

Architect's Project #: 2023106

Drawn By MO

Checked By JJ

C.01



LEGEND

	Construction Entrance
	Landscape To Be Removed
	Concrete To Be Removed
	Existing Asphalt Pavement
	Existing Gravel Pavement
	Existing Concrete Pavement
	Property Line
	Parcel Line
	Silt Fence
	Existing Overhead Power Line
	Existing Sewer Line
	Existing Storm Line
	Existing Water Line
	Existing Gas Line
	Existing Building Line
	Existing Chainlink Fence Line
	Existing Tree
	Existing Type II Storm Manhole
	Existing Type I Storm Catch Basin
	Existing Sewer Manhole
	Existing Light Pole
	Existing Power Pole

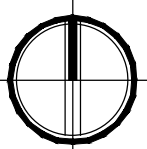
TESC NOTES

- Contractor to install TESC measures as necessary to ensure stormwater leaving the site is free of settleable solids.
- Install and maintain construction entrance per City of Puyallup Standard Detail 05.01.01 and install wheel wash as needed per Washington DOE BMP C105.
- Install silt fence per City of Puyallup Standard Detail 02.03.02. Silt Fence to mark clearing limits in the field.
- Maintain and install storm drain inlet protection in all existing catch basins within the project vicinity per WSDOT Standard Plan I-40.20-00 and storm drain barriers per City of Puyallup Standard Details 02.03.05 and 02.03.06.
- Roads shall be cleared thoroughly as needed to protect stormwater infrastructure and downstream water resources. Sediment shall be removed from roads by shoveling or pickup sweeping and be transported to a controlled sediment disposal area.
- Exposed soils shall be watered as necessary to prevent dust from leaving the site.
- Concrete handling and equipment washing in accordance with DOE BMP C151.
- Disturbed soils to be amended per DOE BMP T5.13
- If necessary, alternative sediment control methods shall be submitted by the contractor for review and approval prior to construction.
- A CESCL shall be present on-site or on-call for the duration of construction operations.

DEMOLITION NOTES

- Landscaping to be Cleared & Grubbed: 14,165 SF
- Concrete to be Removed: 275 SF
- Disturbed Area On-site: 14,165 SF

0 20 40
1" = 20' FEET



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CLIENT/OWNER



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PUYALLUP HS NEW
PORTABLES 2023

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CONDITIONAL USE PERMIT OCT, 11 2023
CUP CC#1 RESPONSE APR, 5 2024

TESC &
DEMOLITION PLAN

Building Permit #:

CUP #: PLCUP20230109

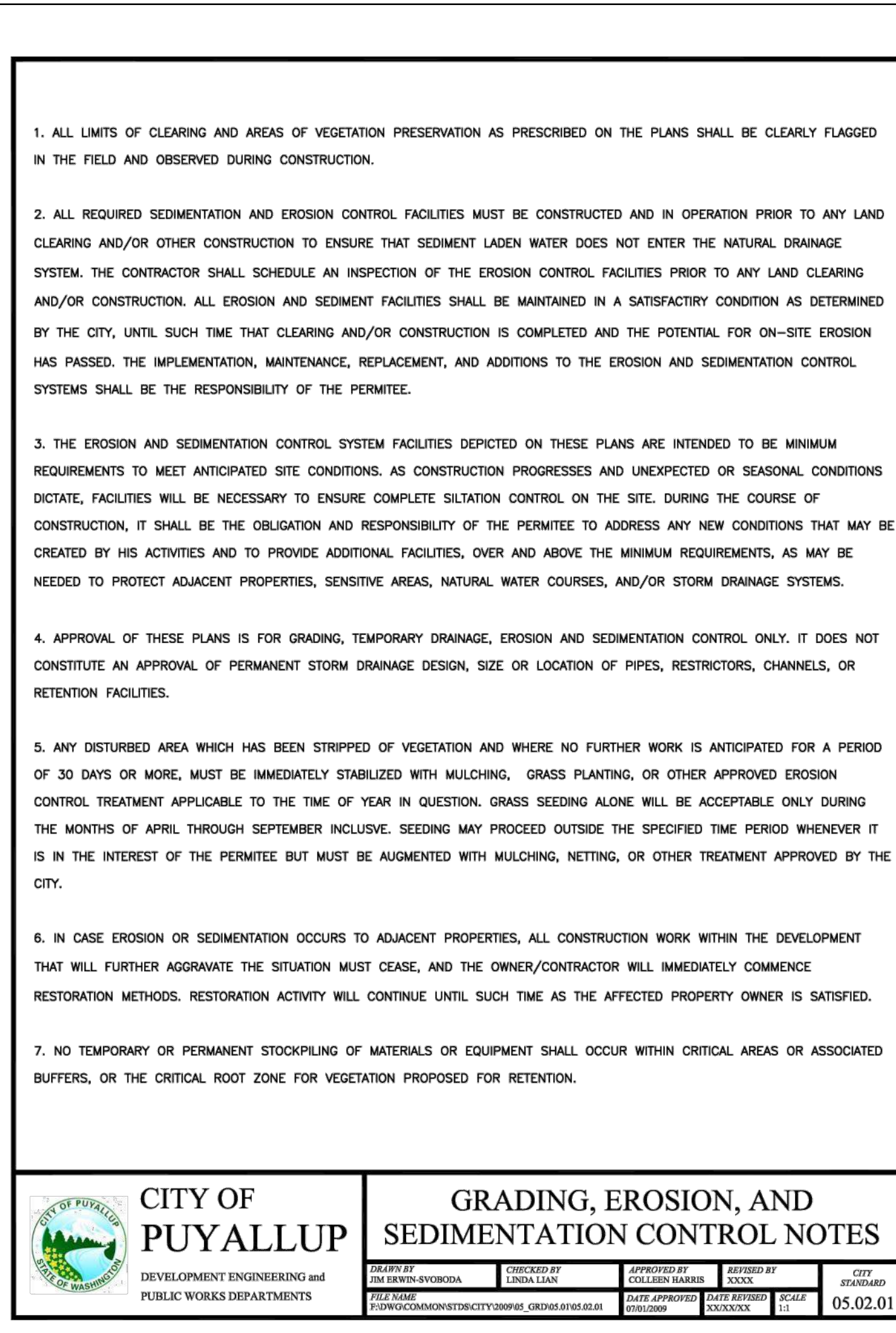
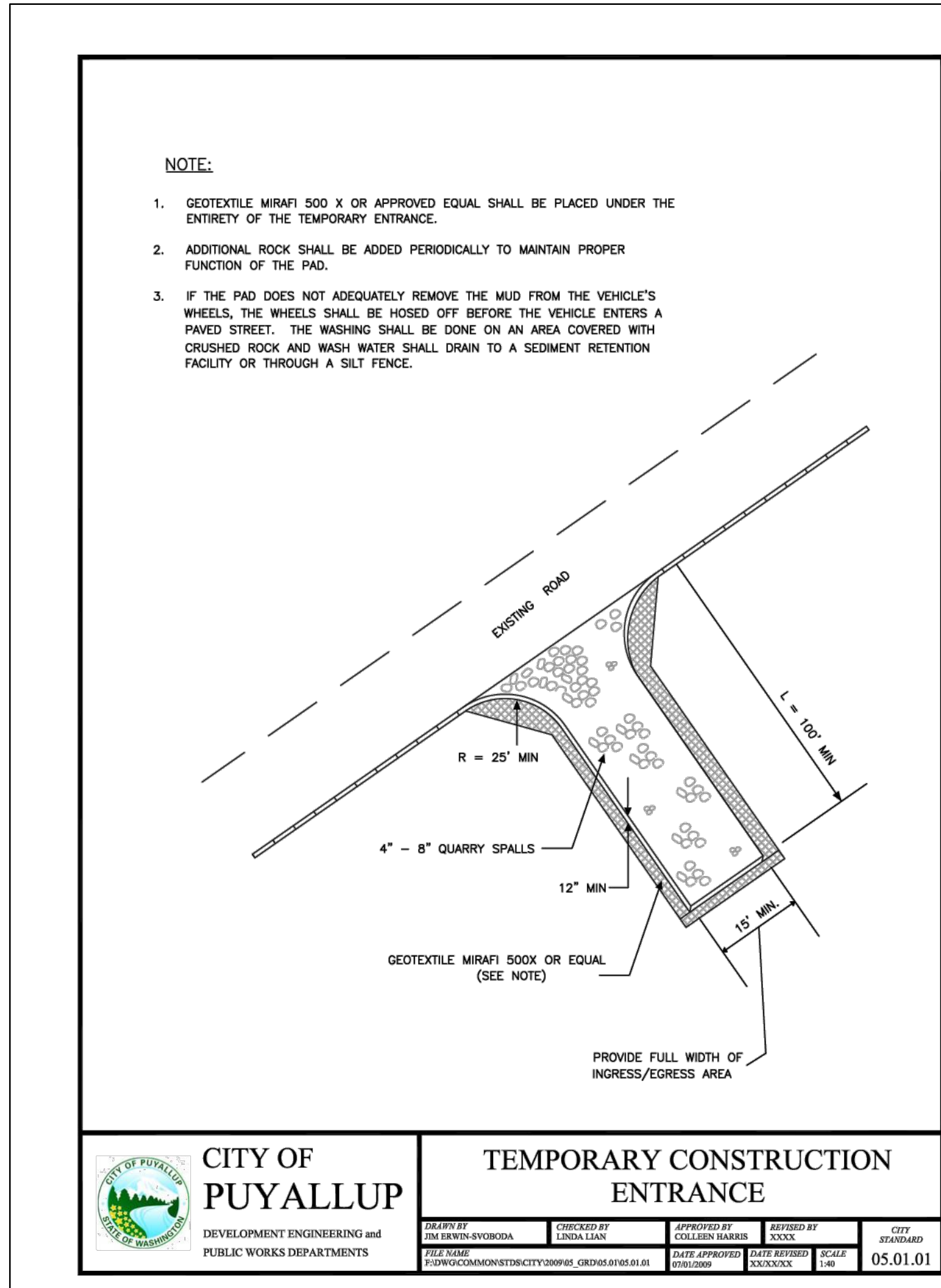
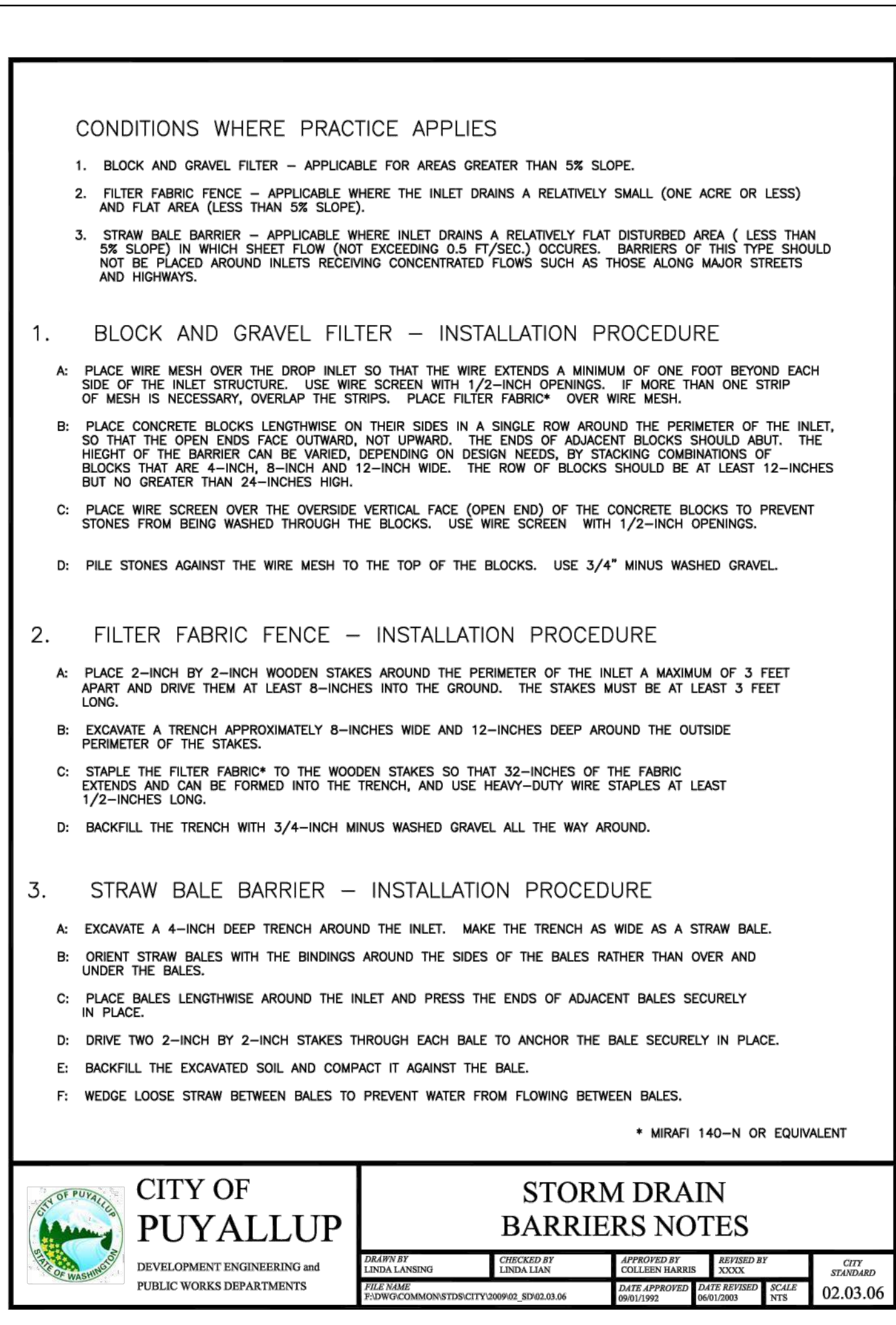
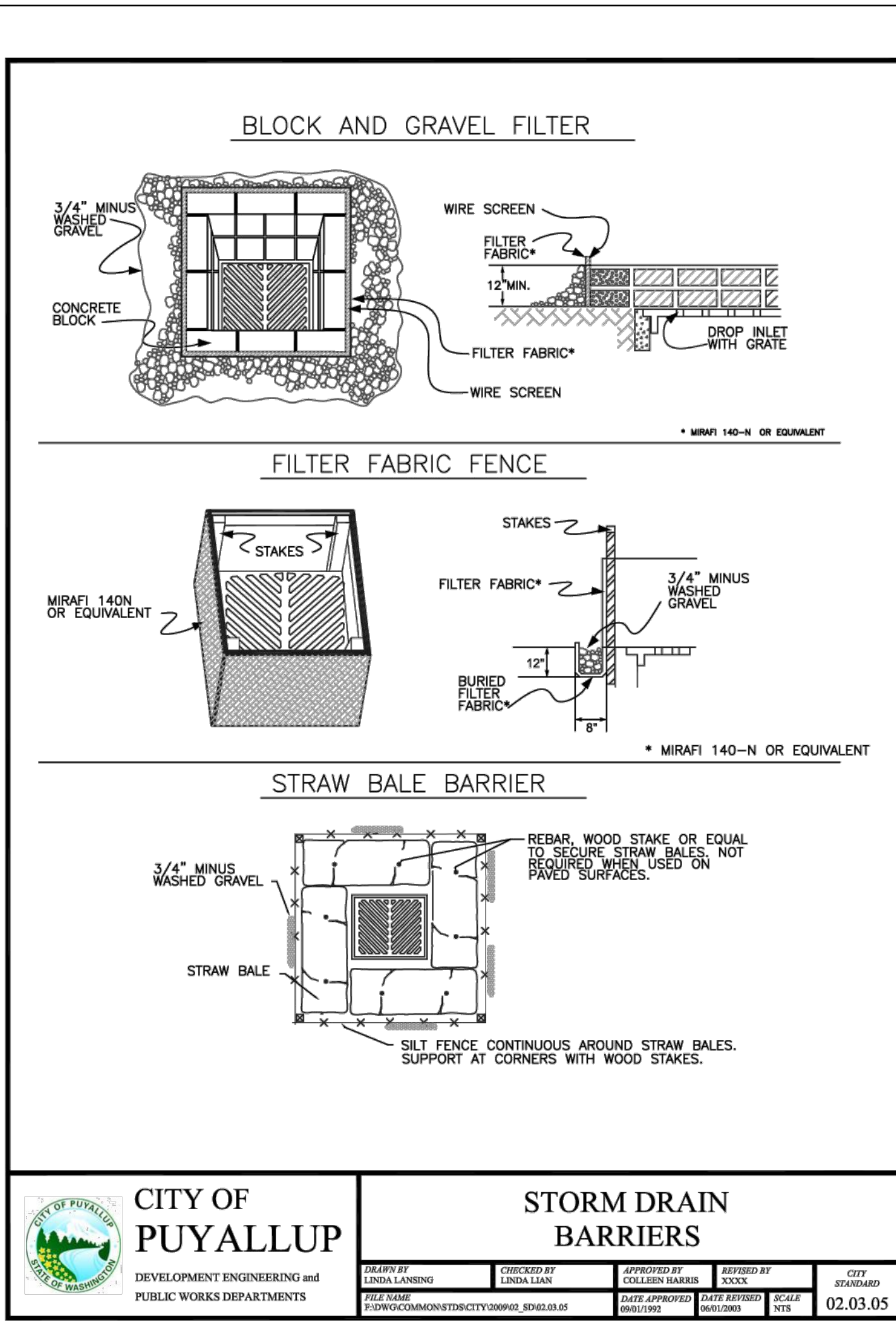
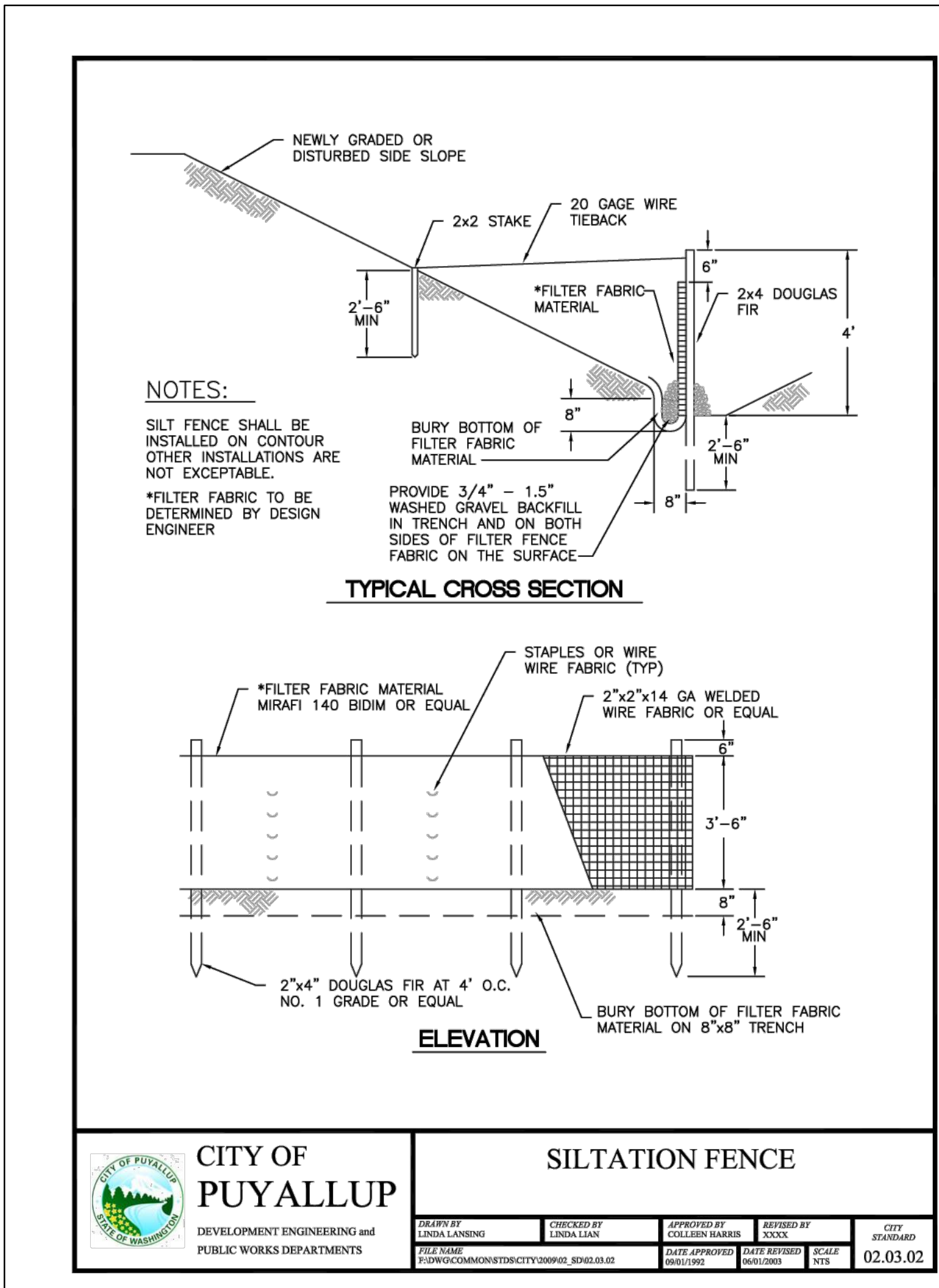
Owner's Project #:

Architect's Project #: 2023106

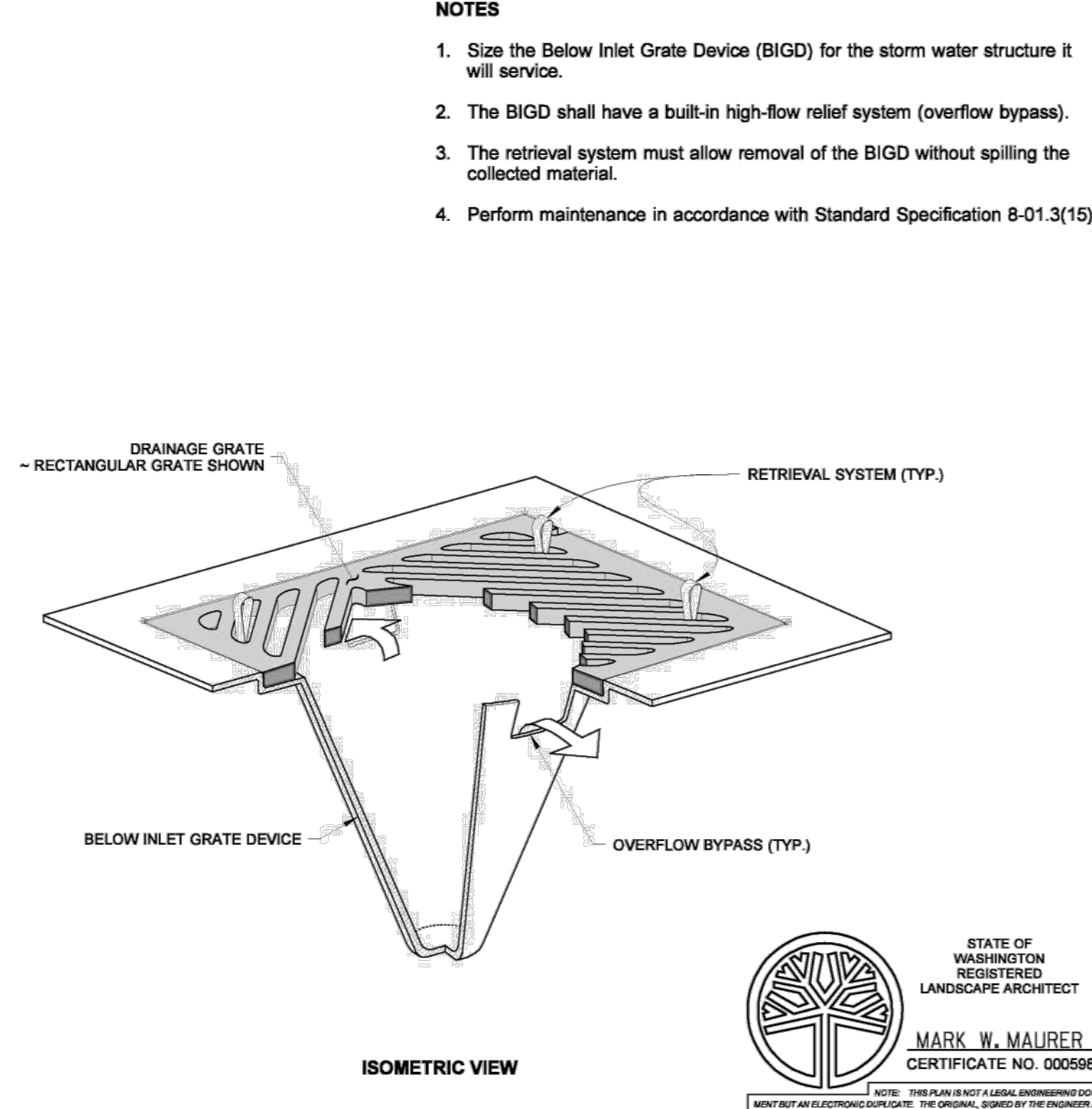
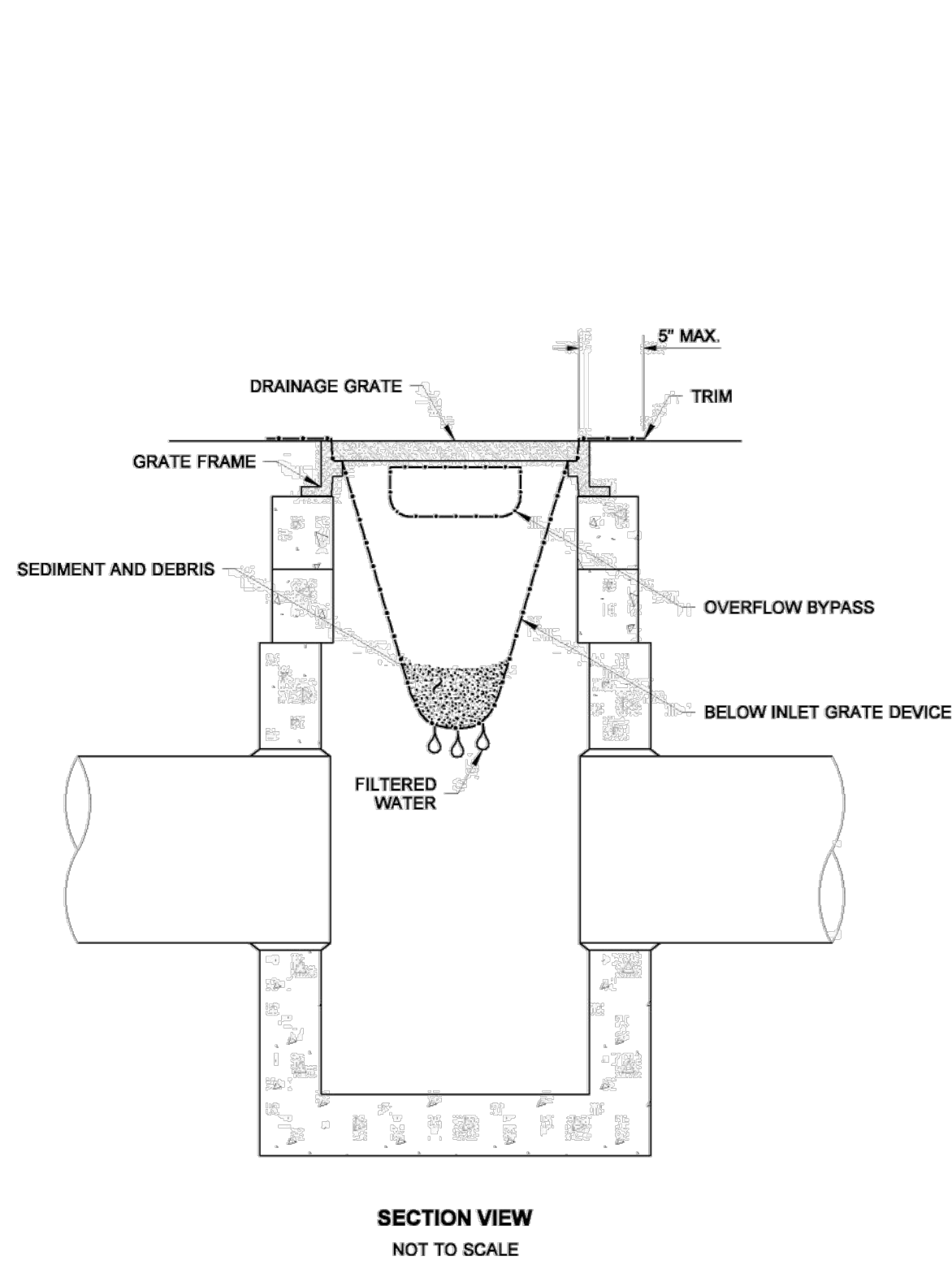
Drawn By: MO

Checked By: JJ

C.02



DRAWN BY: LISA CYFORD



- NOTES**
- Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
 - The BIGD shall have a built-in high-flow relief system (overflow bypass).
 - The retrieval system must allow removal of the BIGD without spilling the collected material.
 - Perform maintenance in accordance with Standard Specification 8-01.3(15).

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

MARK W. MAUBER
CERTIFICATE NO. 000598

**STORM DRAIN
INLET PROTECTION
STANDARD PLAN I-40.20-00**
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
Pasco Bakotich III
09-20-07
DATE: 09-20-07
Washington State Department of Transportation

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TITLE
**PUYALLUP HS NEW
PORTABLES 2023**

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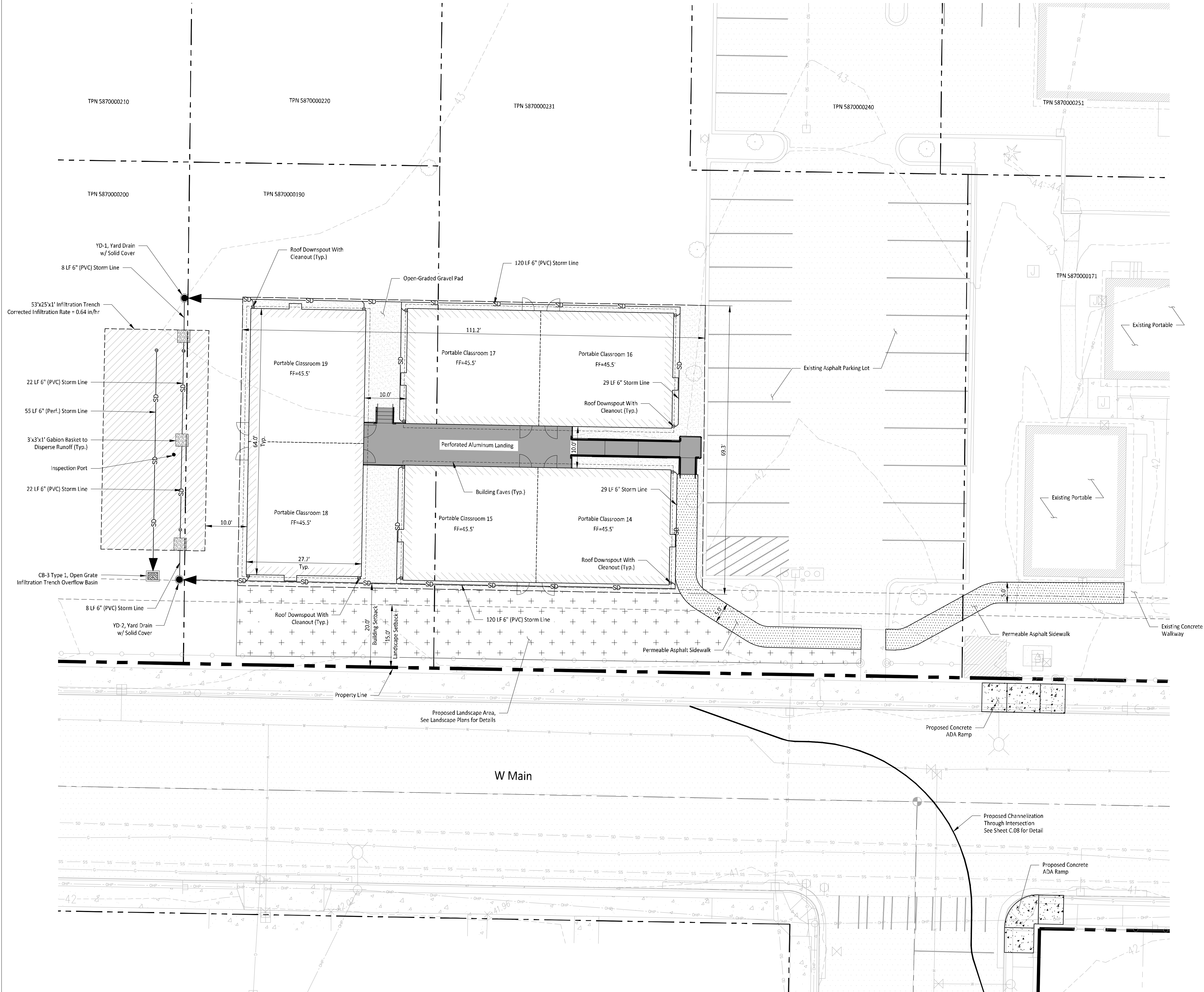


ISSUED: DATE:
CONDITIONAL USE PERMIT OCT. 11 2023
CUP CC#1 RESPONSE APR. 5 2024

TESC DETAILS

Building Permit #: -
CUP #: PLCUP20230109
Owner's Project #: -
Architect's Project #: 2023106
Drawn By: MO
Checked By: JJ

C.03



LEGEND

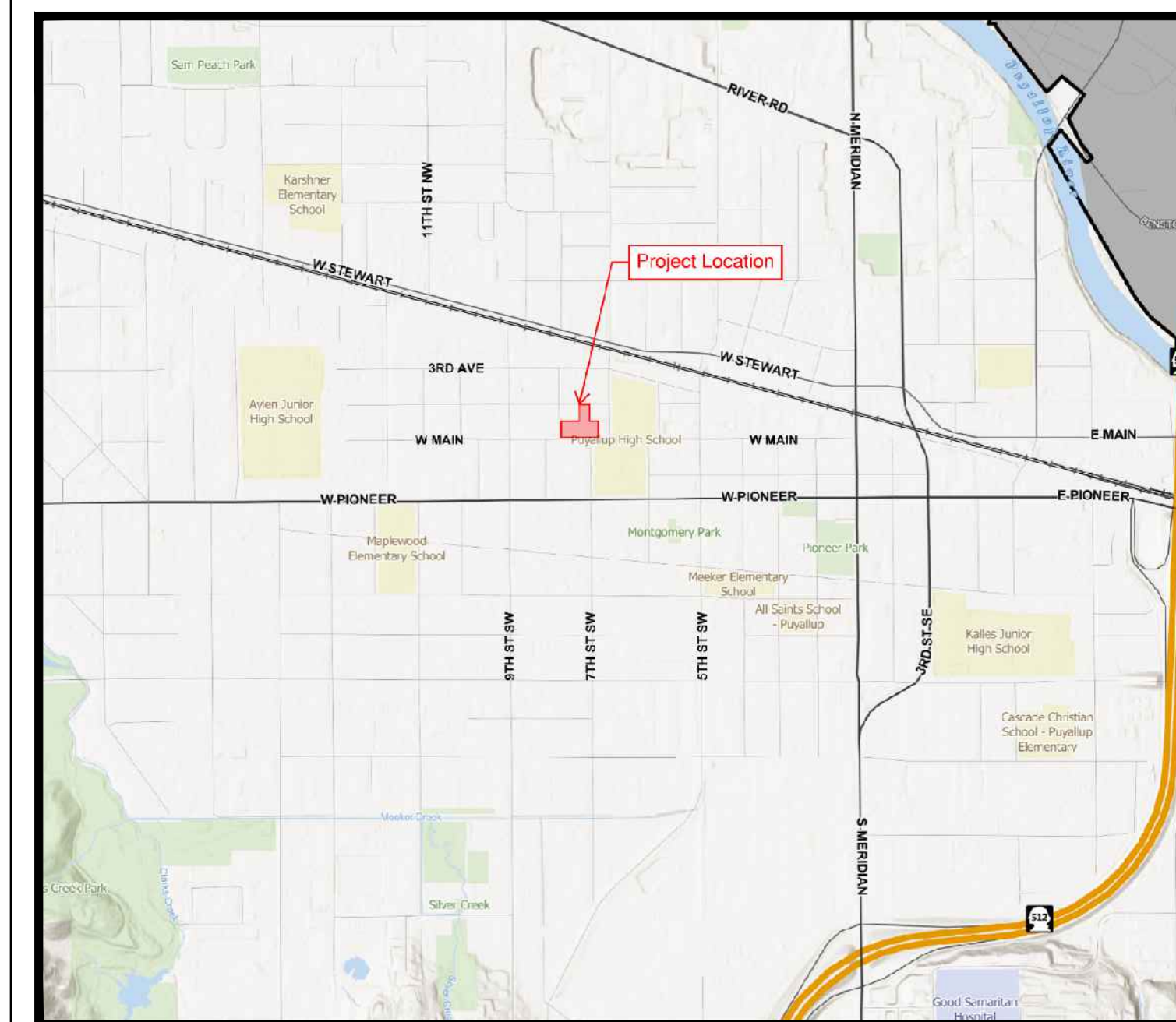
	Existing Asphalt
	Existing Concrete
	Proposed Permeable Asphalt
	Proposed Open-Graded Gravel
	Proposed Perforated Aluminum Landing
	Proposed Landscape Area
	Proposed Infiltration Trench
	Proposed Catch Basin Type 1, Open Grate
	Proposed Yard Drain
	Proposed Cleanout
	Existing Catch Basin
	Proposed Storm Drain Line
	Existing Storm Drain Line

SITE DATA

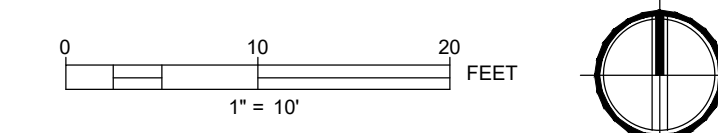
Total Lot Area:	43,574 SF (1.00 AC)
Total Project Site Area:	16,587 SF (0.38 AC)
Tax Parcel Numbers:	5870000171, 5870000190, 5870000200, 5870000231
Zoning:	PF- Public Facilities

PROPOSED LOT COVERAGE

Coverage	Area (SF)	Area (AC)	% of Site
Impervious			
Ex. Roof	1,722	0.04	
Ex. Concrete Sidewalk	964	0.03	
Ex. Asphalt Parking Lot	6,686	0.15	
New Roof	5,785	0.12	
New Permeable Asphalt Sidewalk	663	0.02	
New Open-Graded Gravel Pad	1,570	0.04	
New Perforated Aluminum Landing	660	0.02	
Total New Impervious	8,678	0.20	20.0%
Total Site Impervious	18,050	0.42	42.0%
Pervious			
Landscape	25,524	0.58	
Total Site Pervious	25,524	0.58	58.0%



VICINITY MAP



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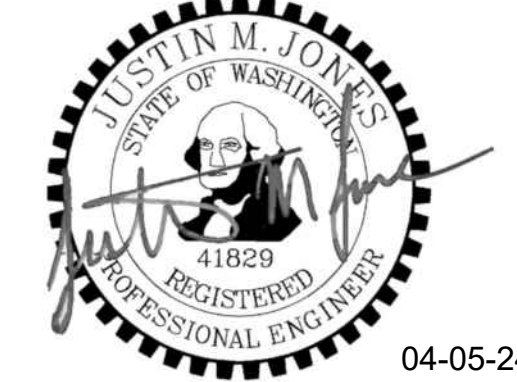
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PUYALLUP HS NEW PORTABLES 2023

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04-05-24

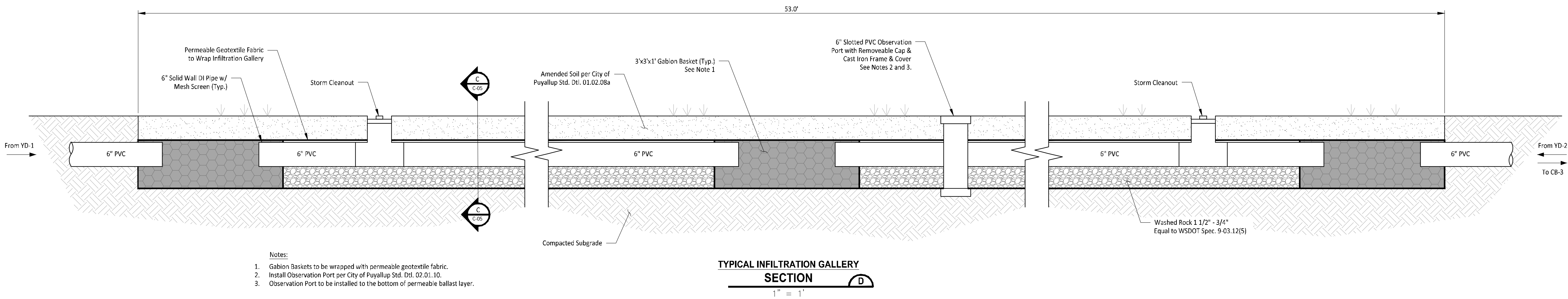
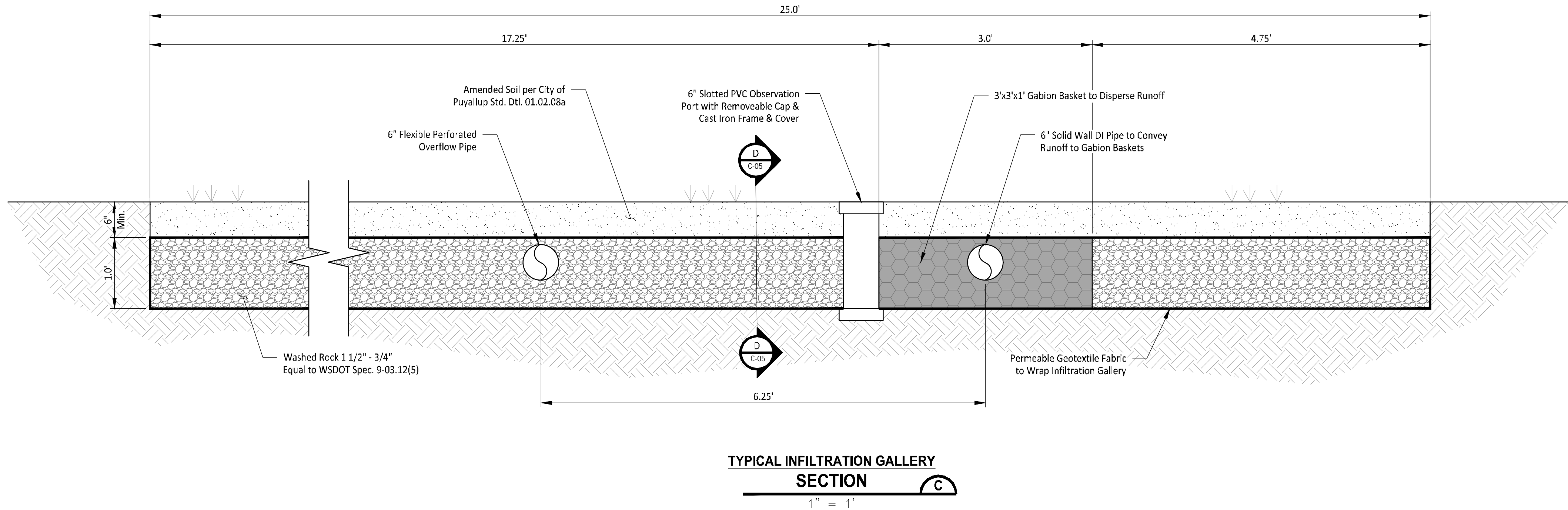
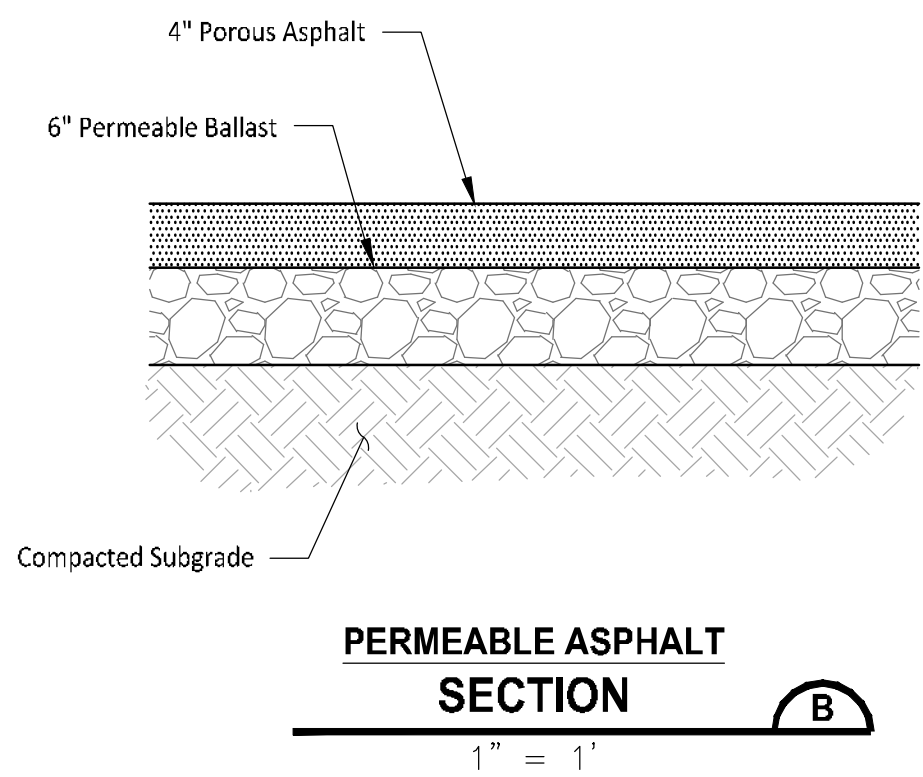
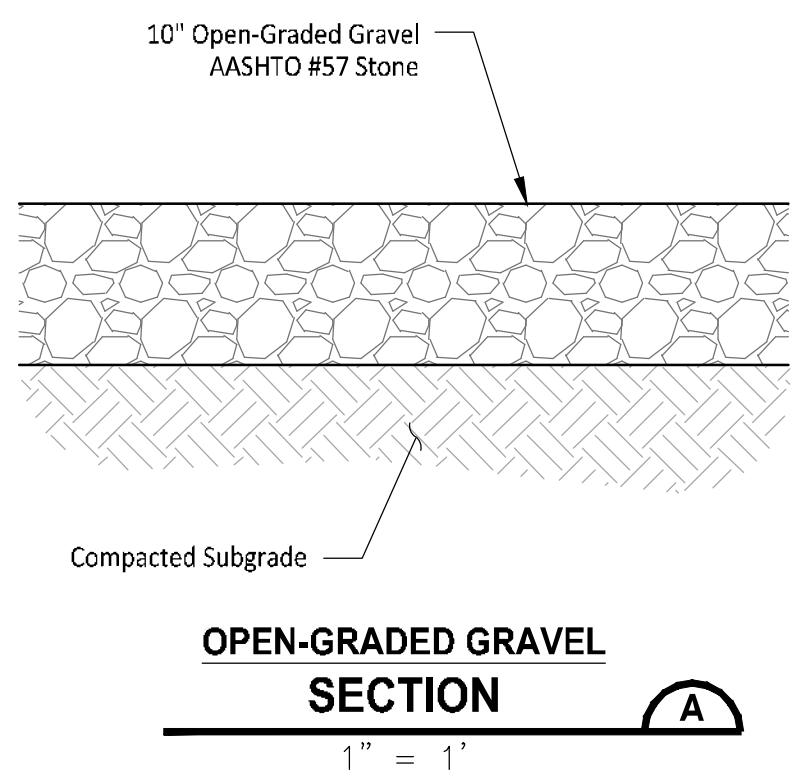
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CONDITIONAL USE PERMIT OCT, 11 2023
CUP CC#1 RESPONSE APR, 5 2024

PROPOSED SITE & STORM PLAN

Building Permit #: -
CUP #: PLCP20230109
Owner's Project #: -
Architect's Project #: 2023106
Drawn By MO
Checked By JJ

C.04

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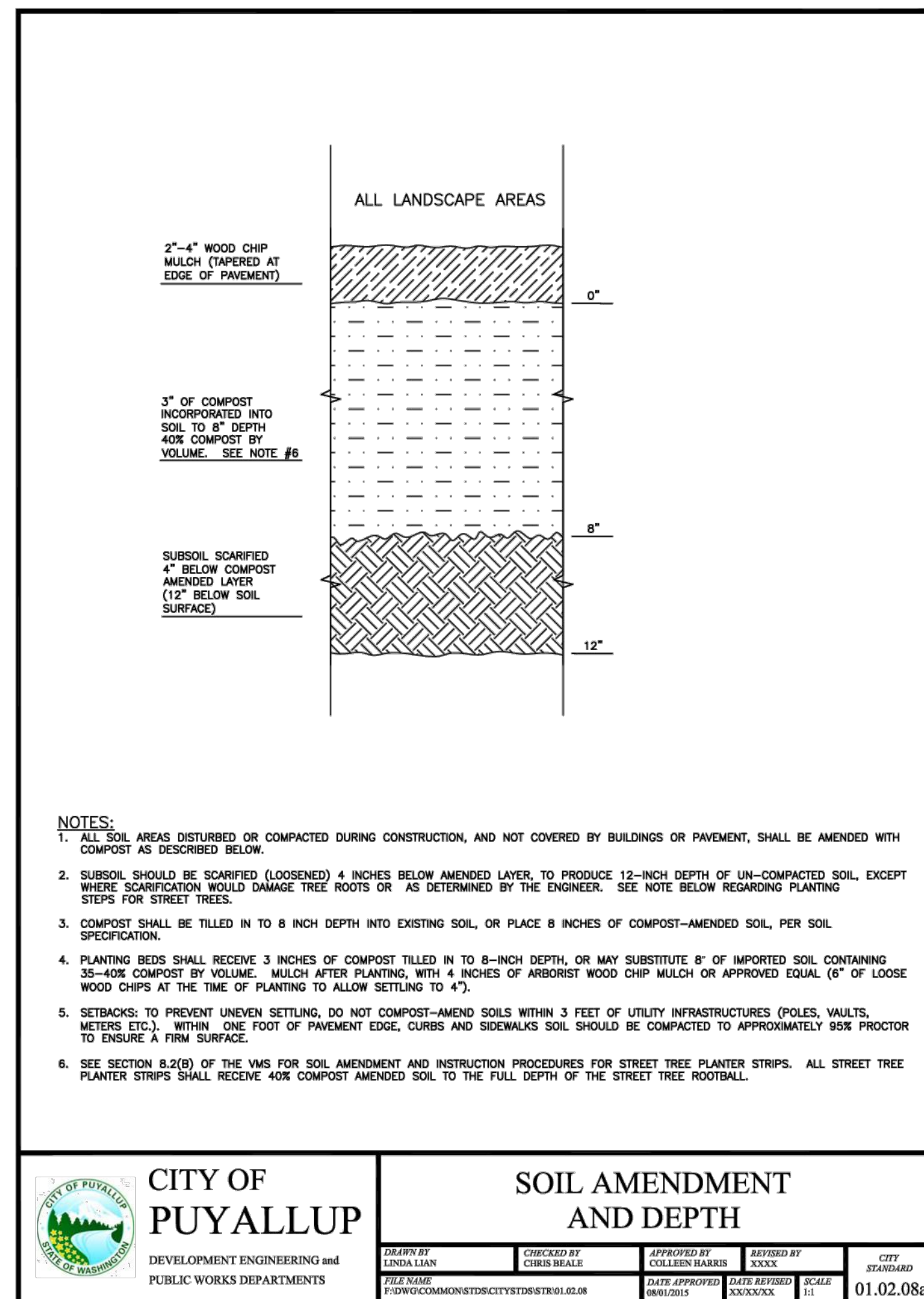
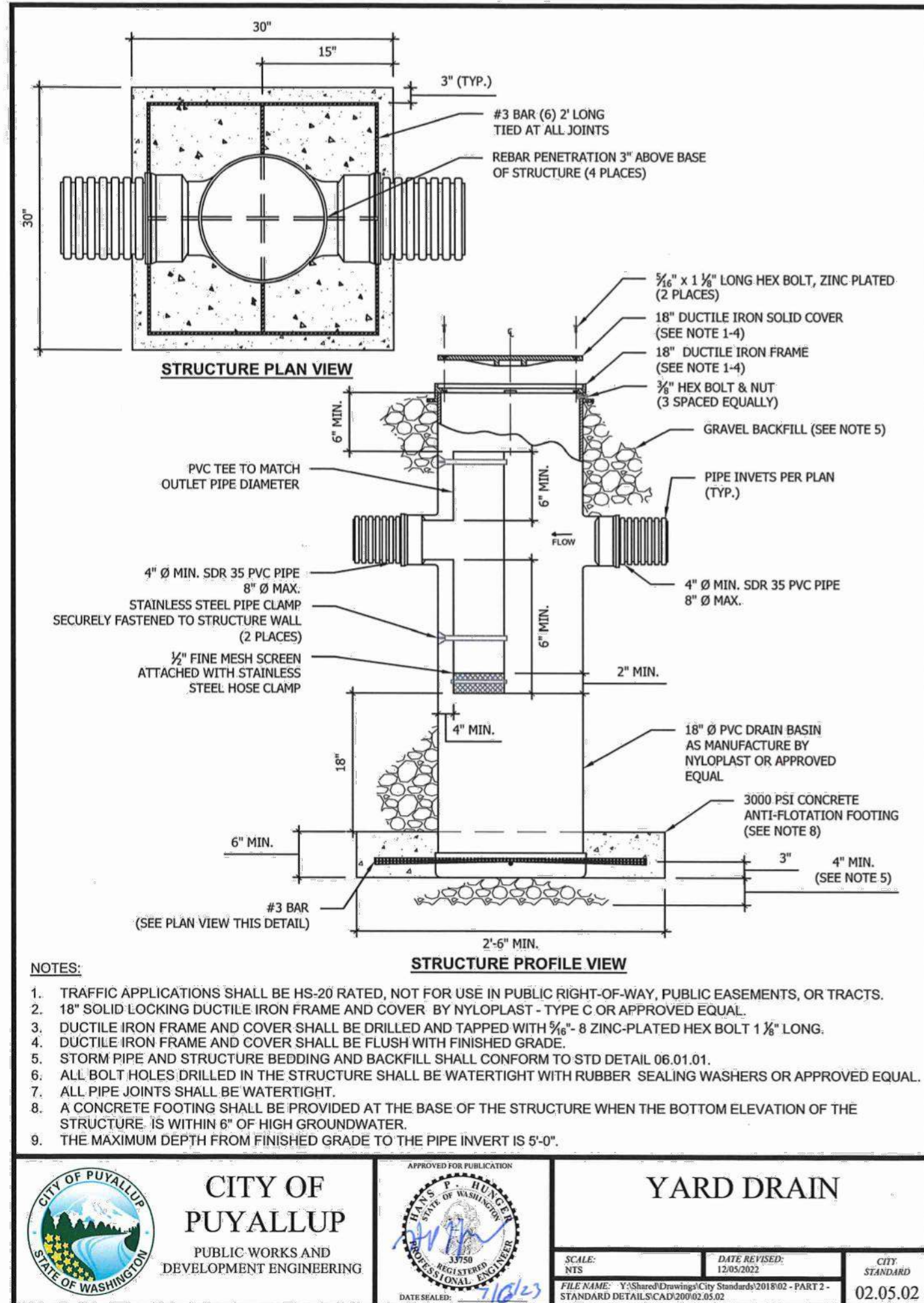
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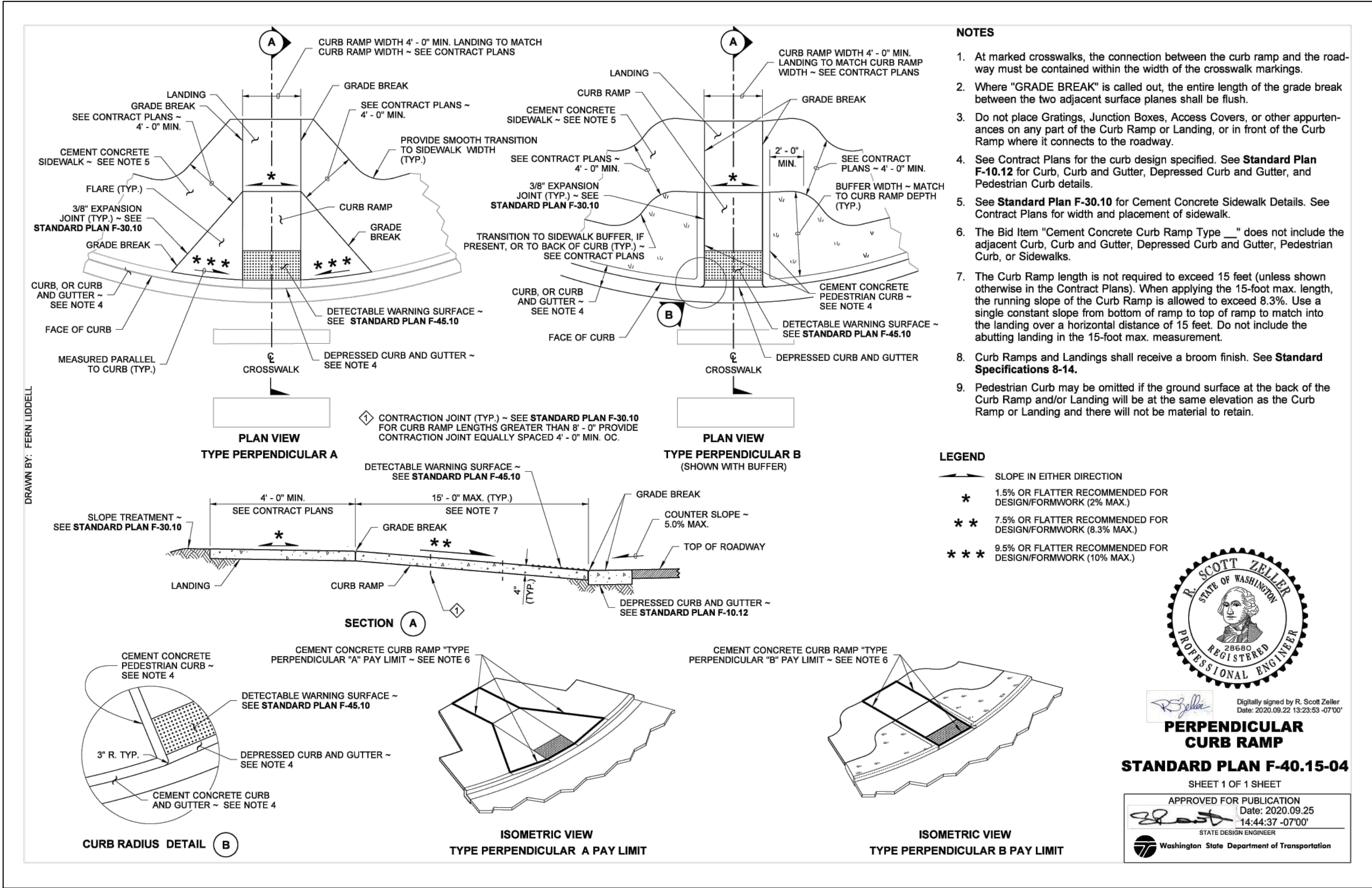
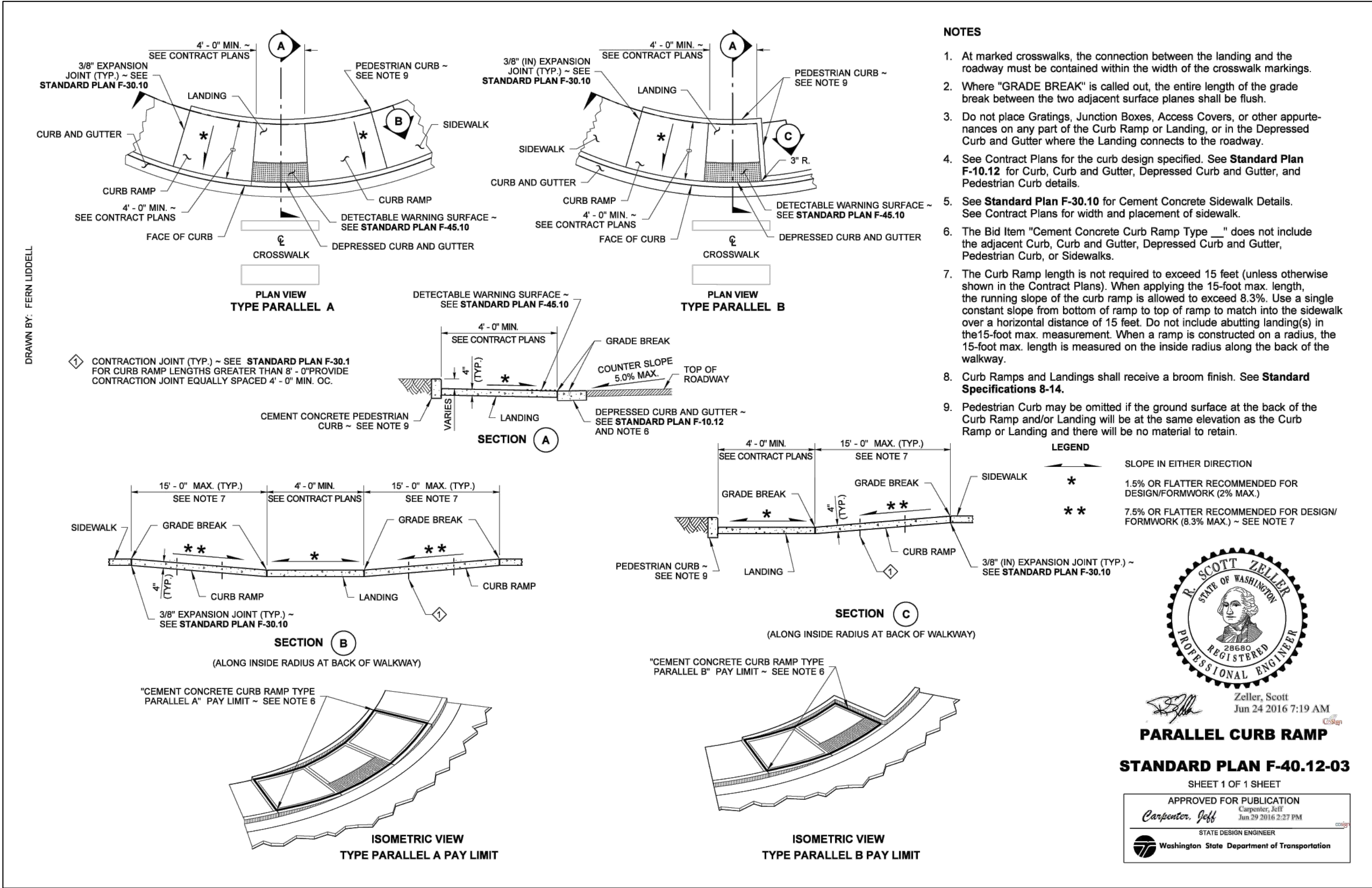
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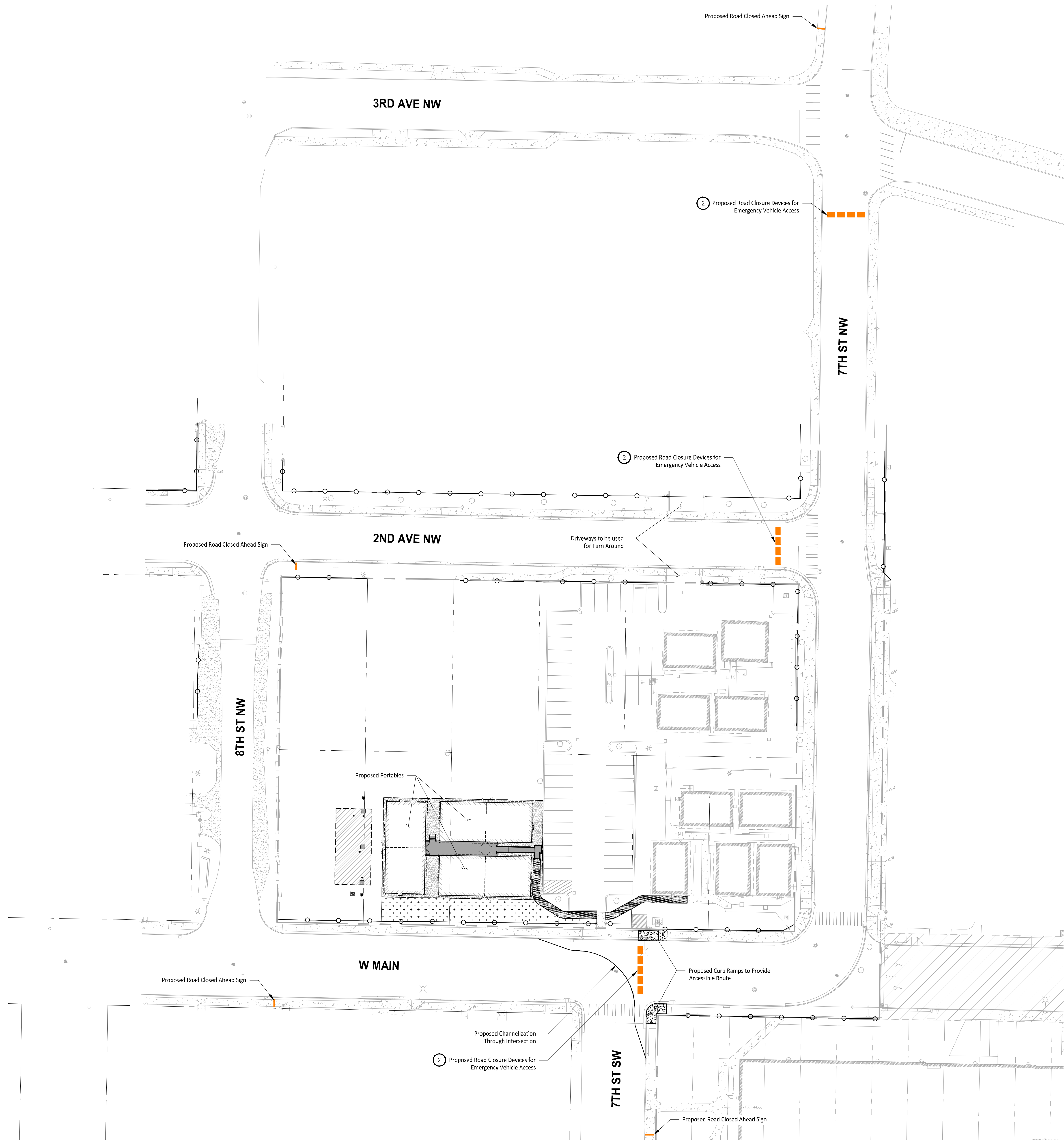
NOTES & DETAILS

Building Permit #: -
CUP #: PLCUP20230109
Owner's Project #: -
Architect's Project #: 2023106
Drawn By: MO
Checked By: JJ

C.05





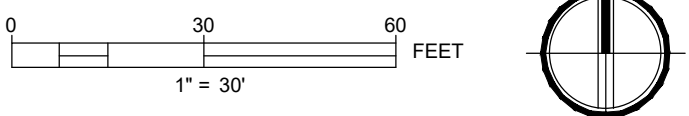


GENERAL NOTE

1. Intersection and Advanced Signage for road closure to meet Manual on Uniform Traffic Control Devices (MUTCD) and City of Puyallup Standards as part of future ROW and Civil Plans.
2. Road Closure Device to be Reflective Water Filled Barrier(s) or another MUTCD compliant feature as requested by the City of Puyallup.



PLASTIC WATER FILLED BARRIER
EXAMPLE
NOT TO SCALE



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**7TH STREET SW
ROAD CLOSURE
PLAN**

Building Permit #: -

CUP #: **PLCUP20230109**

Owner's Project #: -

Architect's Project #: **2023106**

Drawn By **MO**

Checked By **JJ**

C.08