

## HORIZONTAL DATUM

Washington Plane Coordinate System, South Zone,

NAD 83/2011 Based on GPA observation utilizing the Washington State Reference Network (WSRN) Measured south 88°57'44" east between two found monuments along west main st. at the intersections with 8th st nw and 7th st nw

# VERTICAL DATUM

NAVD88

Based on GPS observation utilizing the WSRN with NGS GEOID18 Loaded Temporary Benchmark Elevation = 41.76 Description: Rebar & Control Cap #12 Located at the intersection of West Main & 7th ST NW

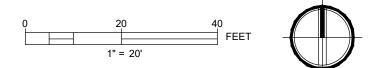
SE of the radial curb line

### SITE DATA

- Total Lot Area: 43,574 SF (1.00 AC)
- 16,587 SF (0.38 AC) Total Project Site Area:
- 5870000171, 5870000190, 5870000200, 5870000231 Tax Parcel Numbers:
- PF- Public Facilities Zoning:

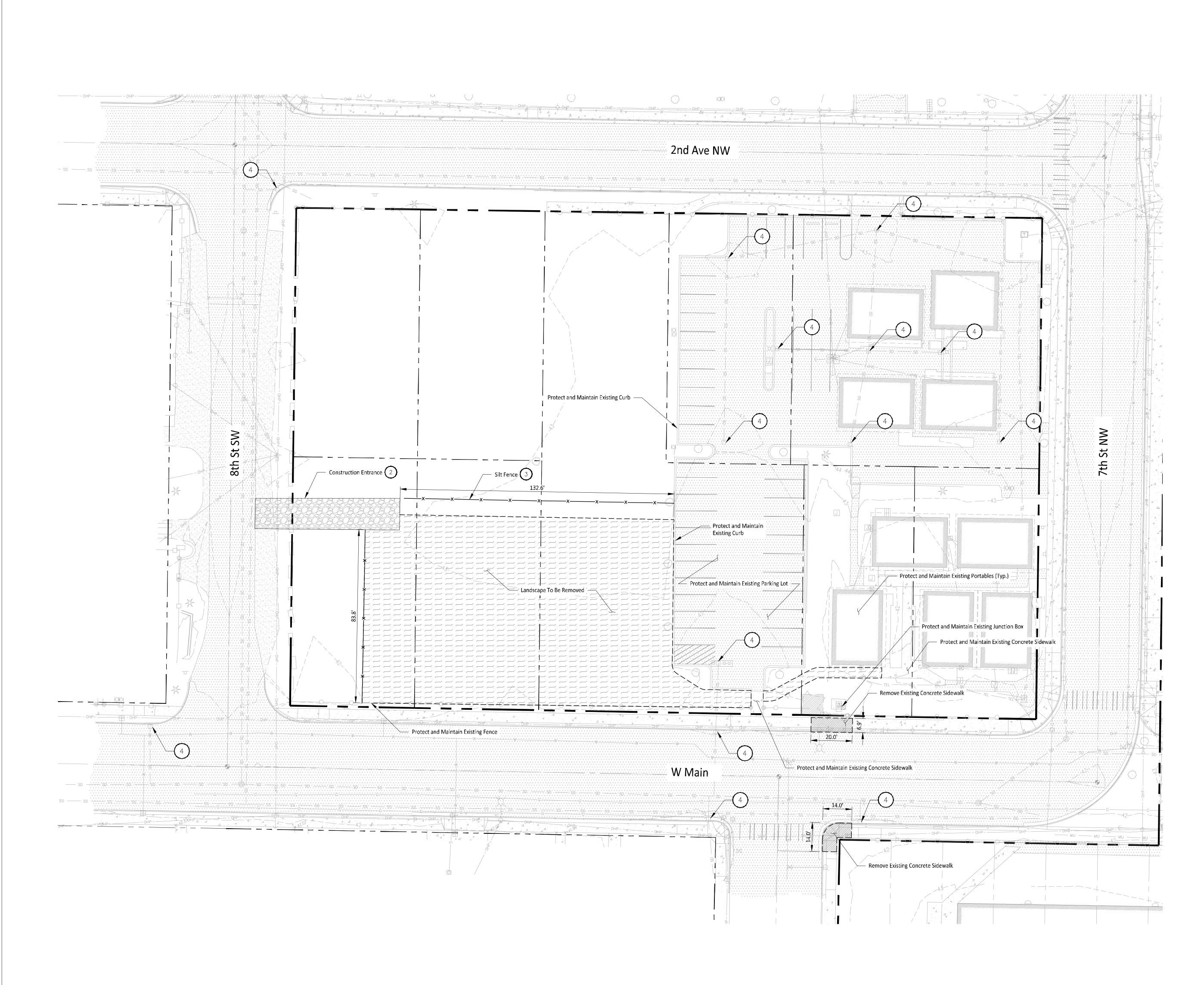
### **EXISTING LOT COVERAGE**

Total Lot Area	43,574 SF	(1.00 AC)	
Coverage	Area (SF)	Area (AC)	% of Site
Impervious			
Roof	1,722	0.04	
Concrete Sidewalk	964	0.03	
Asphalt Parking Lot	6,686	0.15	
Total Site Impervious	9,372	0.22	22.0%
Pervious			
Landscape	34,202	0.78	
Total Site Pervious	34,202	0.78	78.0%





ARCHITECT studicmeng STRAZZARA 2001 WESTERN AVE, STE# 200, SEATTLE, WA 98121 www.studioms.com | P: 206.587.3797 CONSULTANT JMJTEAM JMJ Team 905 Main Street, Suite #200 Sumner, WA 98390 (206) 596-2020 CLIENT/OWNER D PUYALLUP SCHOOL DISTRICT A Trudition of Excellence TITLE PUYALLUP HS NEW PORTABLES 2023 STAMP ALLA. UNAL . 04-05-24 ISSUED: DATE: CONDITIONAL USE PERMITOCT, 11 2023 CUP CC#1 RESPONSE APR, 5 2024 EXISTING SITE PLAN Building Permit #: CUP #: PLCUP20230109 Owner's Project #: 2023106 Architect's Project #: Drawn By МО Checked By JJ C.01





### LEGEND

	Construction Entrance
	Landscape To Be Removed
	Concrete To Be Removed
	Existing Asphalt Pavement
	Existing Gravel Pavement
	Existing Concrete Pavement
	Property Line
	Parcel Line
xx	Silt Fence
	Existing Overhed Power Line
SS SS	Existing Sewer Line
SD SD	Existing Storm Line
W	Existing Water Line
G	Existing Gas Line
	Existing Building Line
O	Existing Chainlink Fence Line
$\bigcirc$	Existing Tree
	Existing Type II Storm Manhole
	Existing Type I Storm Catch Basin
$\bigcirc$	Existing Sewer Manhole
¢≻⊂́	Existing Light Pole
-0-	Existing Power Pole

### **TESC NOTES**

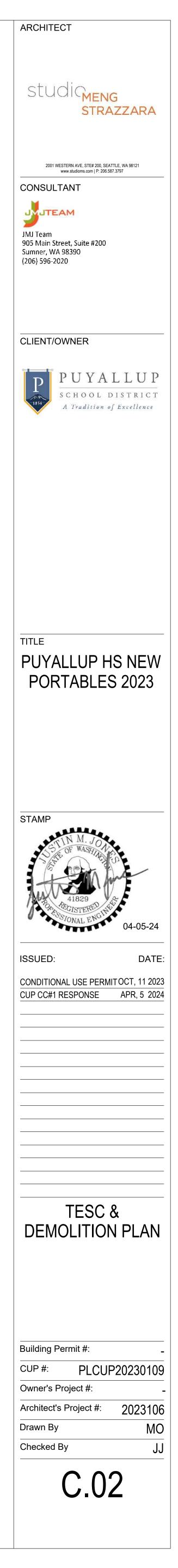
- 1. Contractor to install TESC measures as necessary to ensure stormwater leaving the site is free of settleable solids.
- 2. Install and maintain construction entrance per City of Puyallup Standard Detail 05.01.01 and
- install wheel wash as needed per Washington DOE BMP C106. 3. Install silt fence per City of Puyallup Standard Detail 02.03.02. Silt Fence to mark clearing limits in the field.
- Maintain and Install storm drain inlet protection in all existing catch basins within the project vicinity per WSDOT Standard Plan I-40.20-00 and storm drain barriers per City of Puyallup Standard Details 02.03.05 and 02.03.06.
- 5. Roads shall be cleared thoroughly as needed to protect stormwater infrastructure and downstream water resources. Sediment shall be removed from roads by shoveling or pickup sweeping and be transported to a controlled sediment disposal area.
- 6. Exposed soils shall be watered as necessary to prevent dust from leaving the site.
- 7. Concrete handling and equipment washing in accordance with DOE BMP C151.
- 8. Disturbed soils to be amended per DOE BMP T5.13
- 9. If necessary, alternative sediment control methods shall be submitted by the contractor for review and approval prior to construction.
- 10. A CESCL shall be present on-site or on-call for the duration of construction operations.

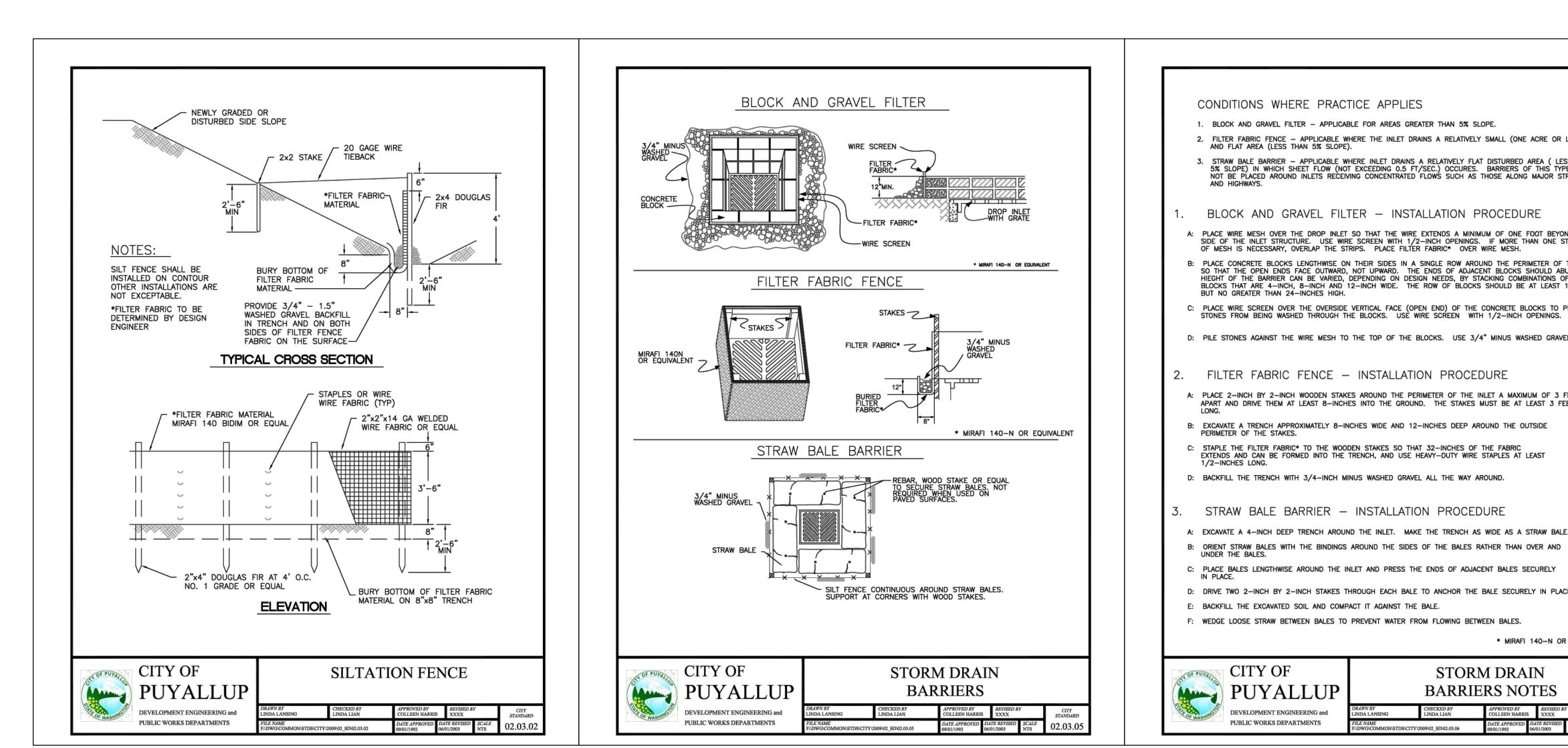
### DEMOLITION NOTES

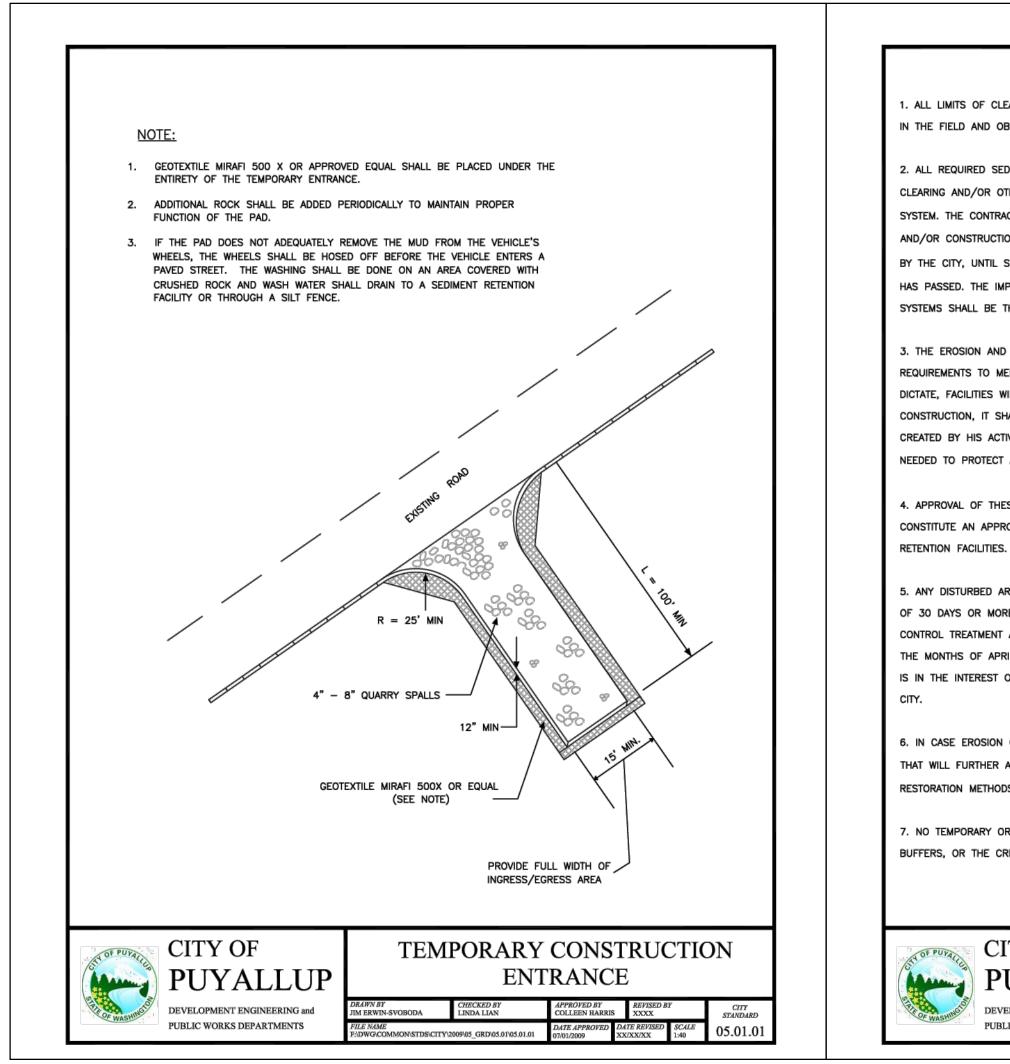
- Landscaping to be Cleared & Grubbed: 14,165 SF
- Concrete to be Removed: 275 SF
- Disturbed Area On-site: 14,165 SF











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#### 1. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.

2. ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTIRY CONDITION AS DETERMINED BY THE CITY, UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITEE.

3. THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.

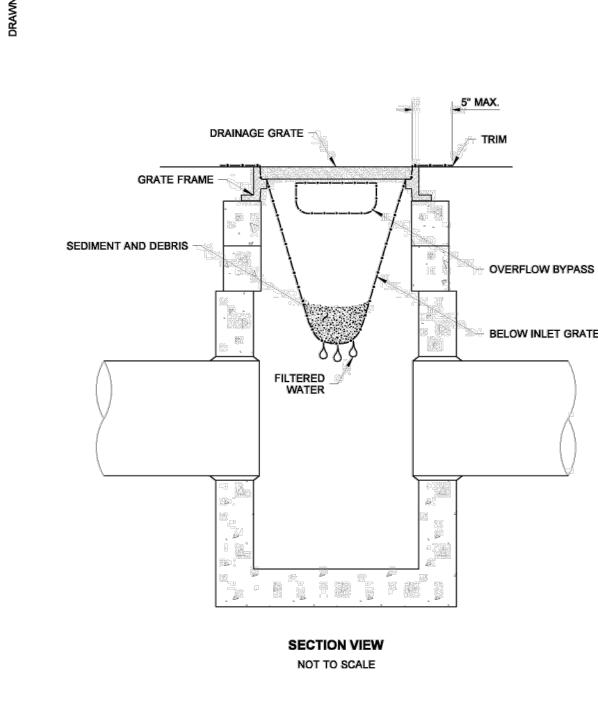
4. APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.

5. ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE

6. IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.

7. NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION.

CITY OF	GRADING, EROSION, AND					
PUYALLUP	SEDIMENTATION CONTROL NOTES					
DEVELOPMENT ENGINEERING and	DRÁWN BY JIM ERWIN-SVOBODA	CHECKED BY LINDA LIAN	APPROVED BY COLLEEN HARRIS	REVISED B. XXXX	Y	CITY STANDARD
PUBLIC WORKS DEPARTMENTS	FILE NAME F:\DWG\COMMON\STDS\CITY\2		DATE REVISED X/XX/XX	SCALE 1:1	05.02.01	



OPE.	
SMALL (ONE ACRE OR LESS)	
T DISTURBED AREA ( LESS THAN BARRIERS OF THIS TYPE SHOULD THOSE ALONG MAJOR STREETS	
ROCEDURE	
UM OF ONE FOOT BEYOND EACH IF MORE THAN ONE STRIP WIRE MESH.	
UND THE PERIMETER OF THE INLET, ENT BLOCKS SHOULD ABUT. THE ACKING COMBINATIONS OF SHOULD BE AT LEAST 12-INCHES	
CONCRETE BLOCKS TO PREVENT 1 1/2-INCH OPENINGS.	
4" MINUS WASHED GRAVEL.	
DURE	
NLET A MAXIMUM OF 3 FEET MUST BE AT LEAST 3 FEET	
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EN BALES.	
* MIRAFI 140-N OR EQUIVALENT	

CITY STANDARD

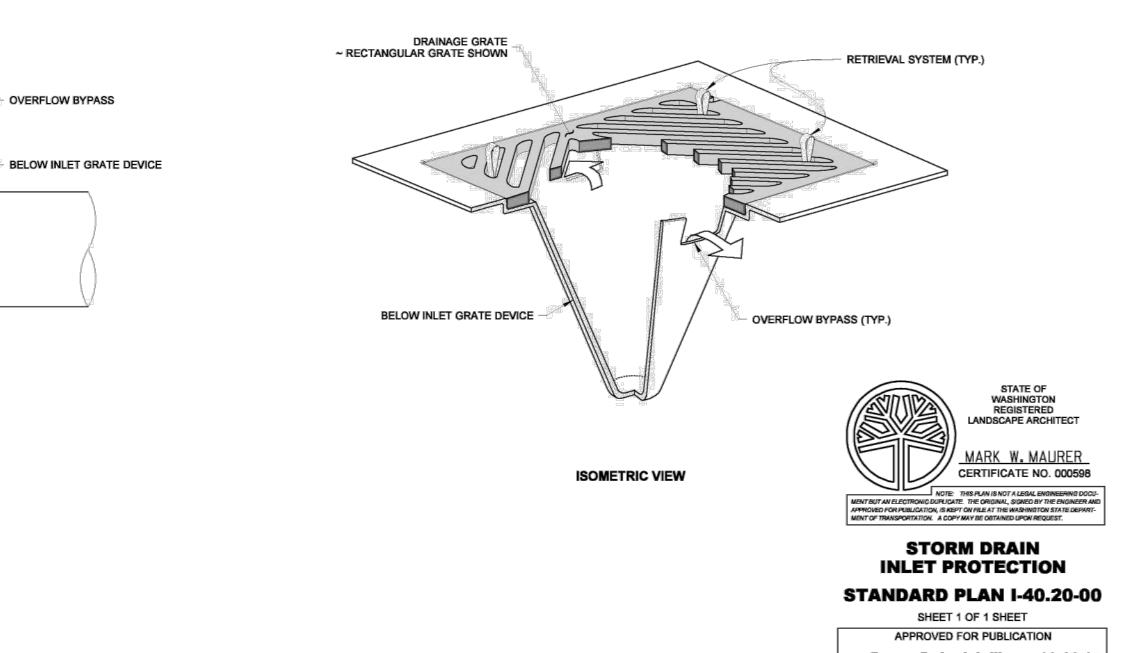
02.03.06

 Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.

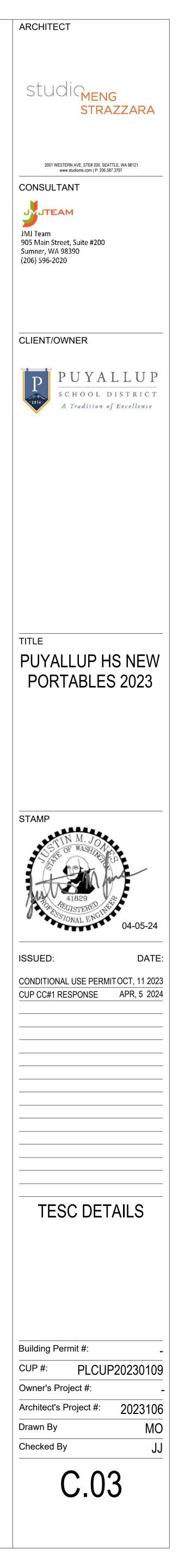
2. The BIGD shall have a built-in high-flow relief system (overflow bypass).

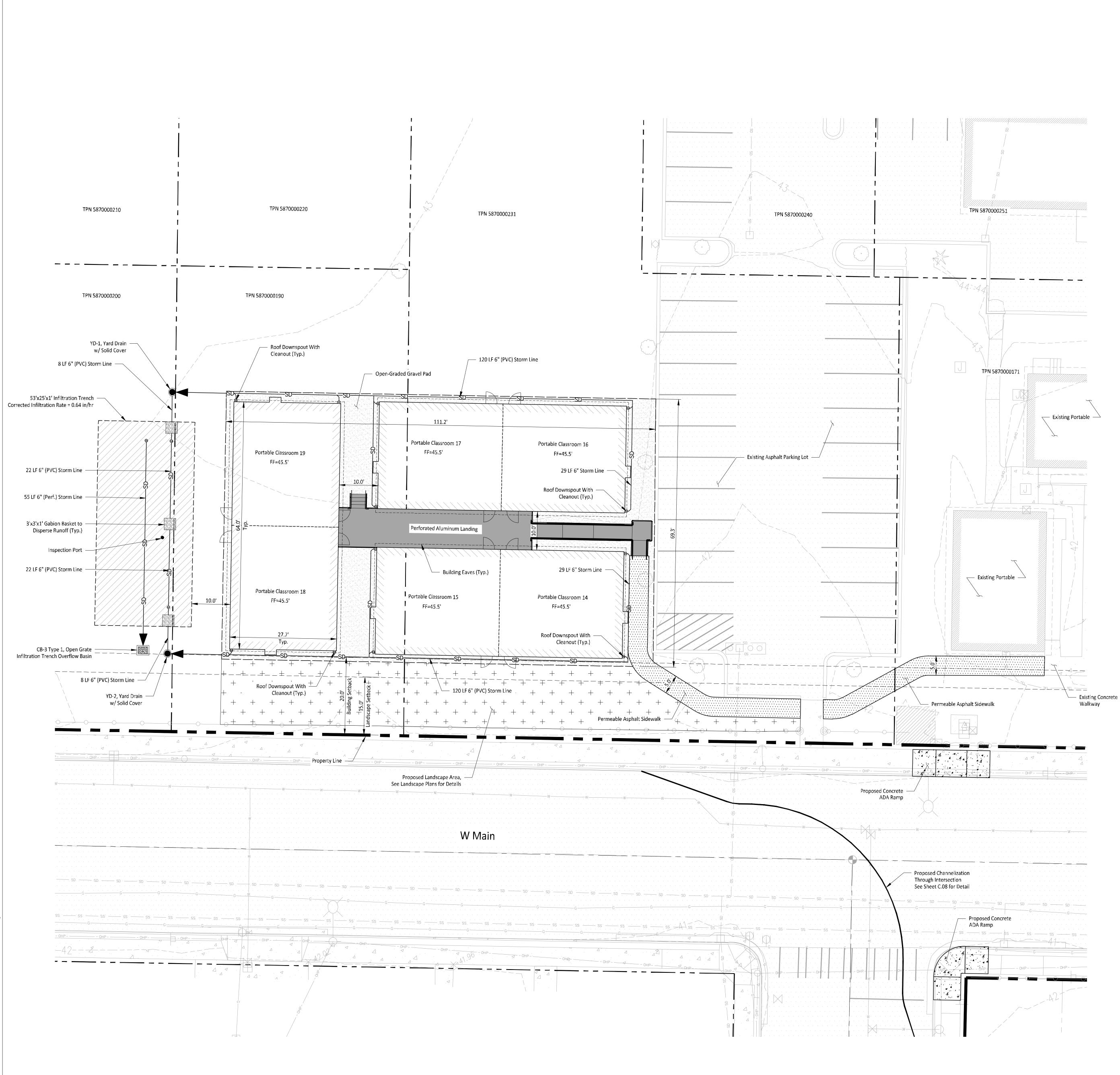
3. The retrieval system must allow removal of the BIGD without spilling the

collected material.
 Perform maintenance in accordance with Standard Specification 8-01.3(15).



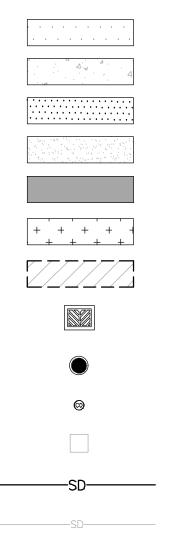
Pasco Bakotich III 09-20-07 STATE DESIGN ENGINEER DATE Washington State Department of Transportation





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## LEGEND



## Existing Asphalt Existing Concrete Proposed Permeable Asphalt Proposed Open-Graded Gravel Proposed Perforated Aluminum Landing Proposed Landscape Area Proposed Infiltration Trench Proposed Catch Basin Type 1, Open Grate Proposed Cleanout Existing Catch Basin

Proposed Storm Drain Line Existing Storm Drain Line

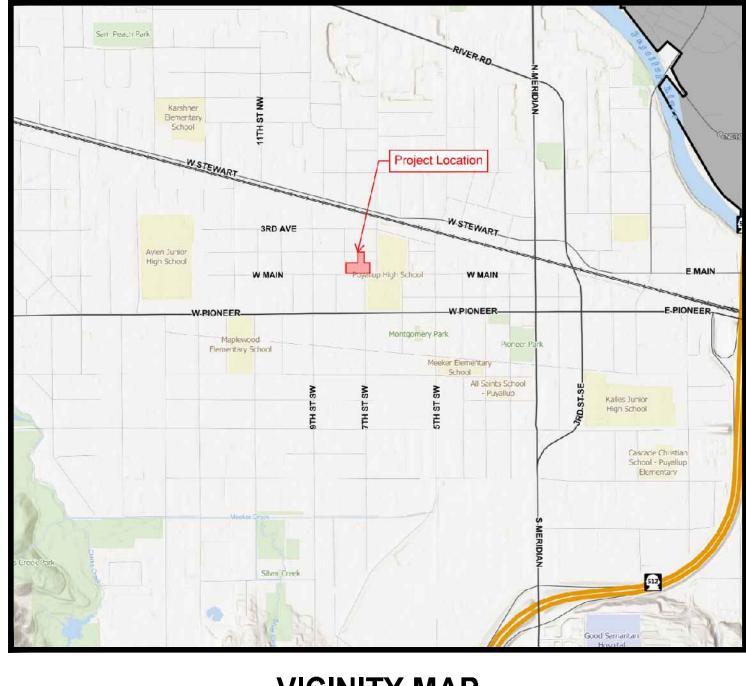
## SITE DATA

- Total Lot Area:
  - ea: 43,574 SF (1.00 AC)
- Total Project Site Area:
  Tax Parcel Numbers:
- 16,587 SF (0.38 AC) 5870000171, 5870000190, 587000020
- Zoning:

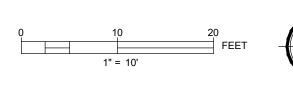
5870000171, 5870000190, 5870000200, 5870000231 PF- Public Facilities

# PROPOSED LOT COVERAGE

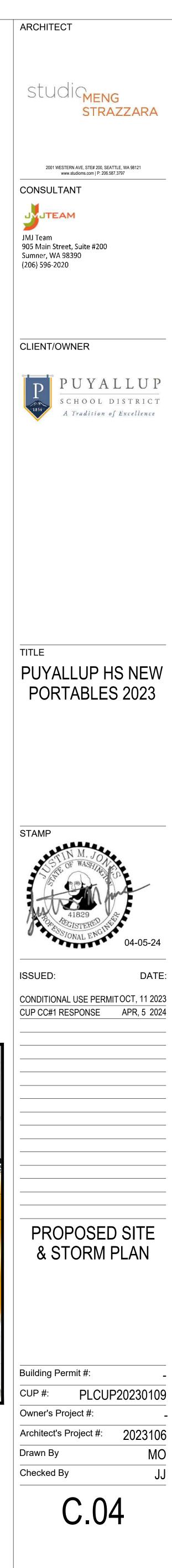
Total Lot Area	43,574 SF (1.00 AC)				
Coverage	Area (SF)	Area (SF) Area (AC)			
Impervious					
Ex. Roof	1,722	0.04			
Ex. Concrete Sidewalk	964	0.03			
Ex. Asphalt Parking Lot	6,686 0.15				
New Roof	5,785	0.12			
New Permeable Asphalt Sidewalk	663	0.02			
New Open-Graded Gravel Pad	1,570	0.04			
New Perforated Aluminum Landing	660	0.02			
Total New Impervious	8,678	0.20	20.0%		
Total Site Impervious	18,050	0.42	42.0%		
Pervious					
Landscape	25,524	0.58			
Total Site Pervious	25,524	0.58	58.0%		

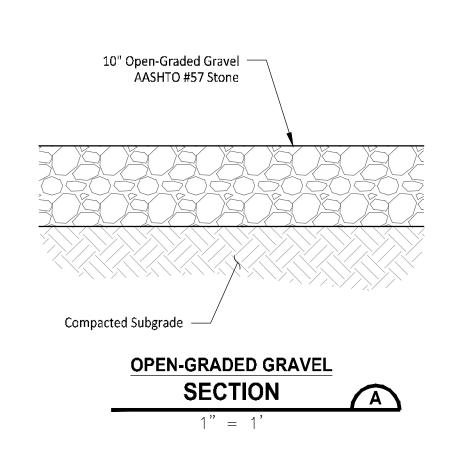


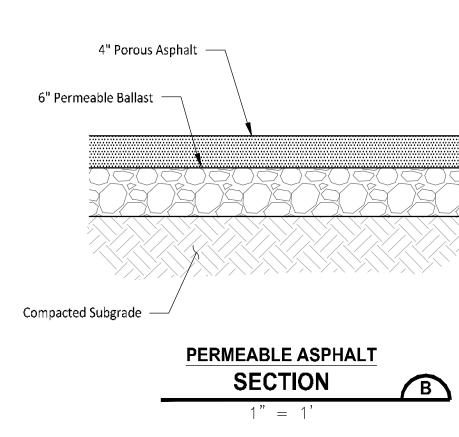
# VICINITY MAP

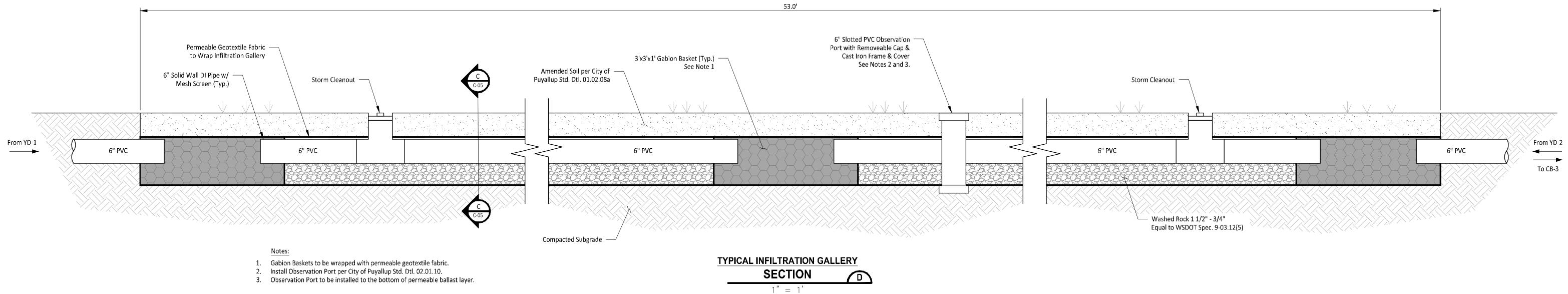


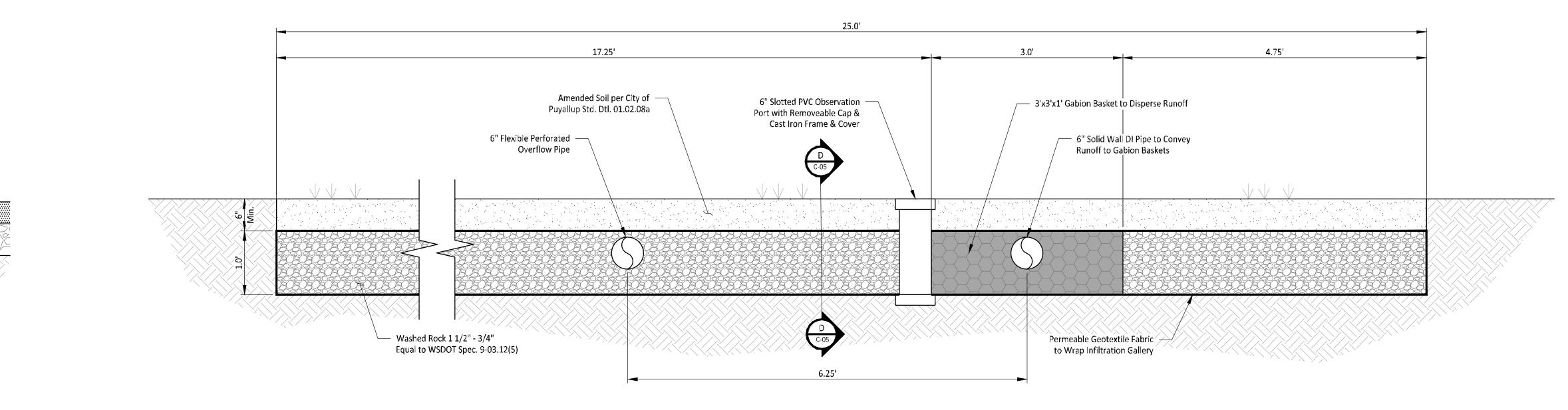


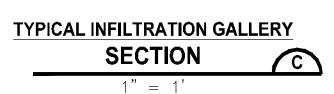


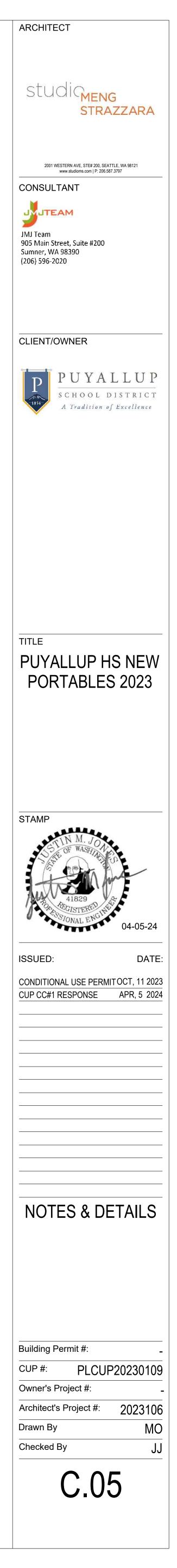


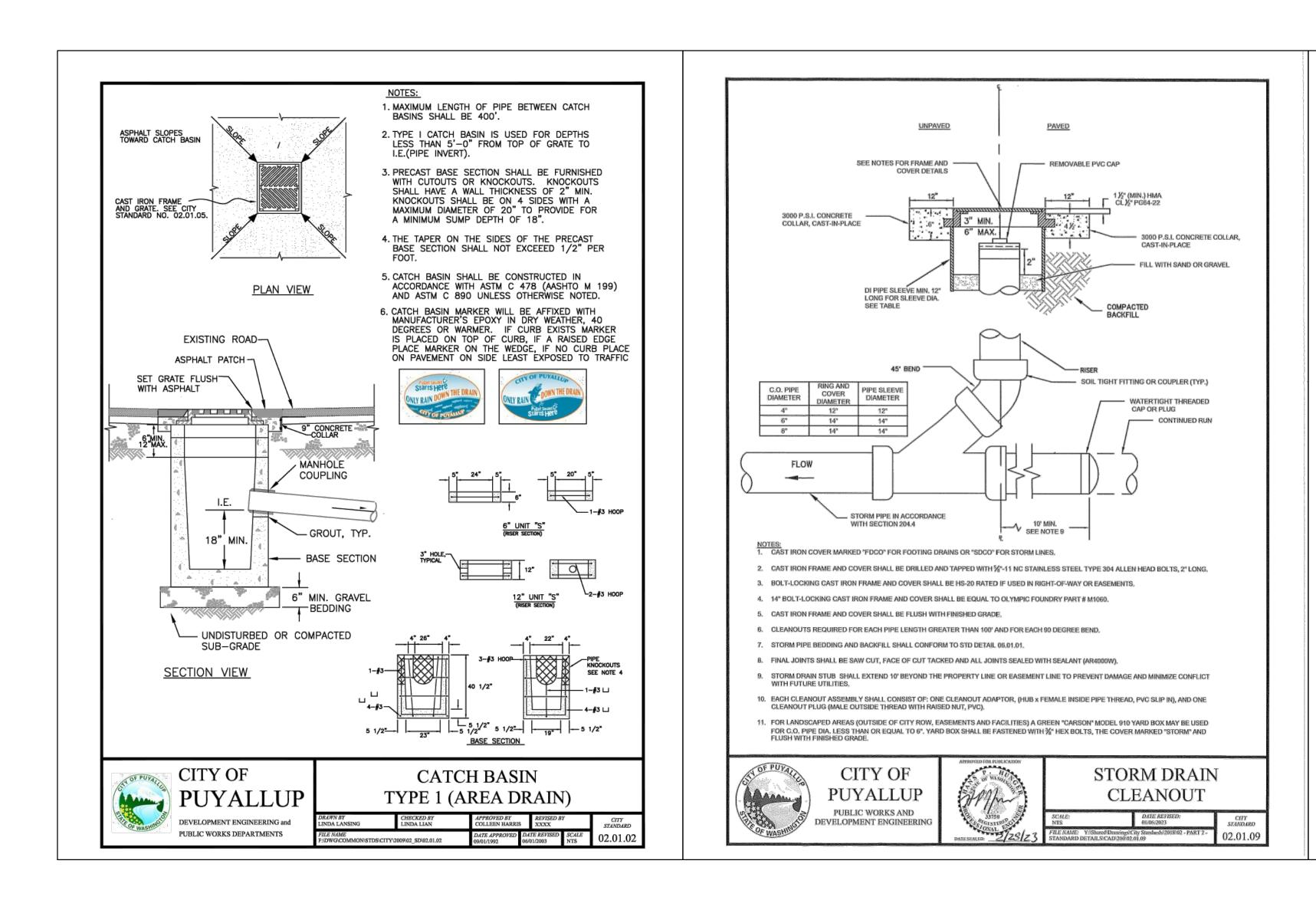


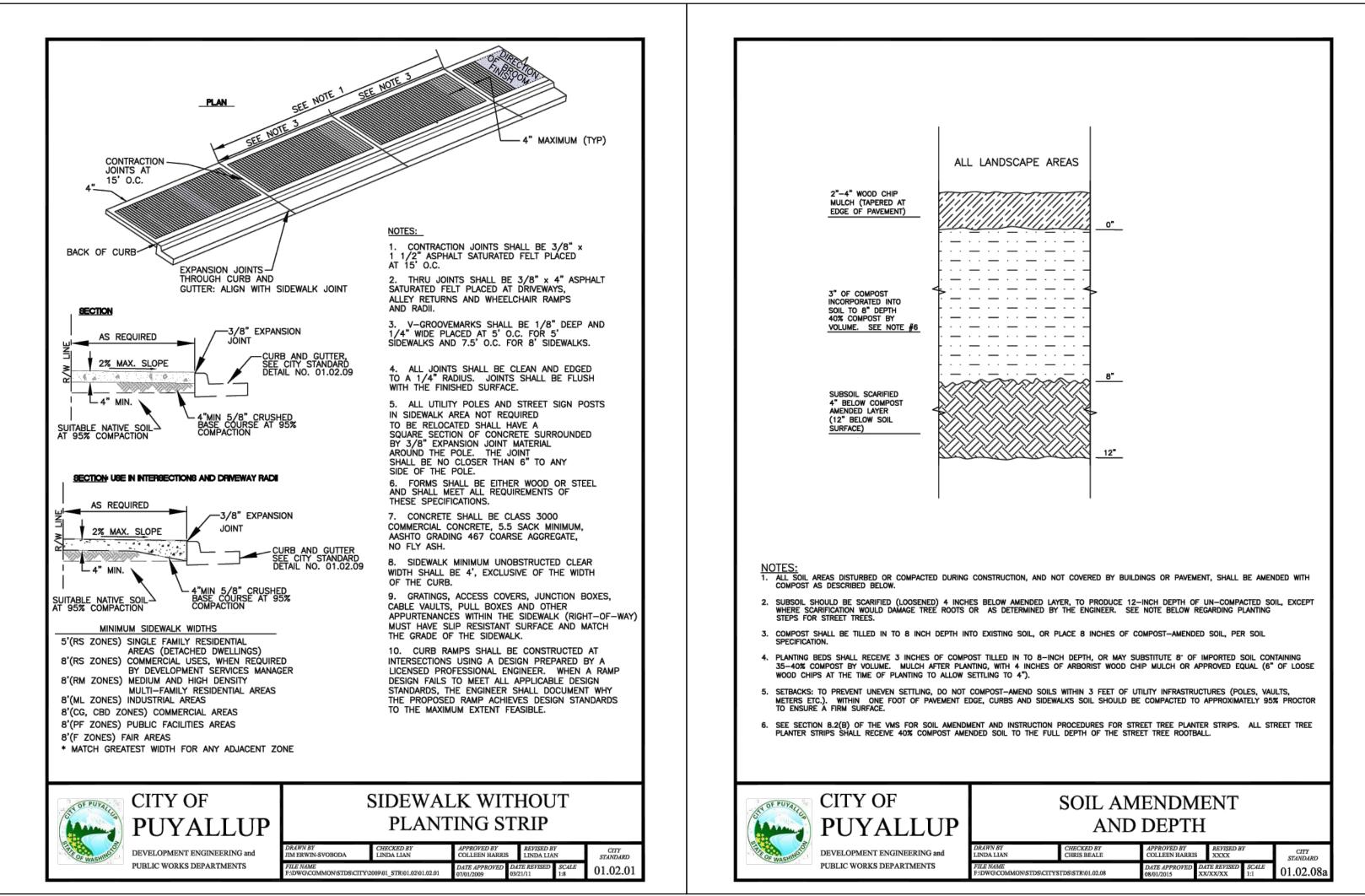


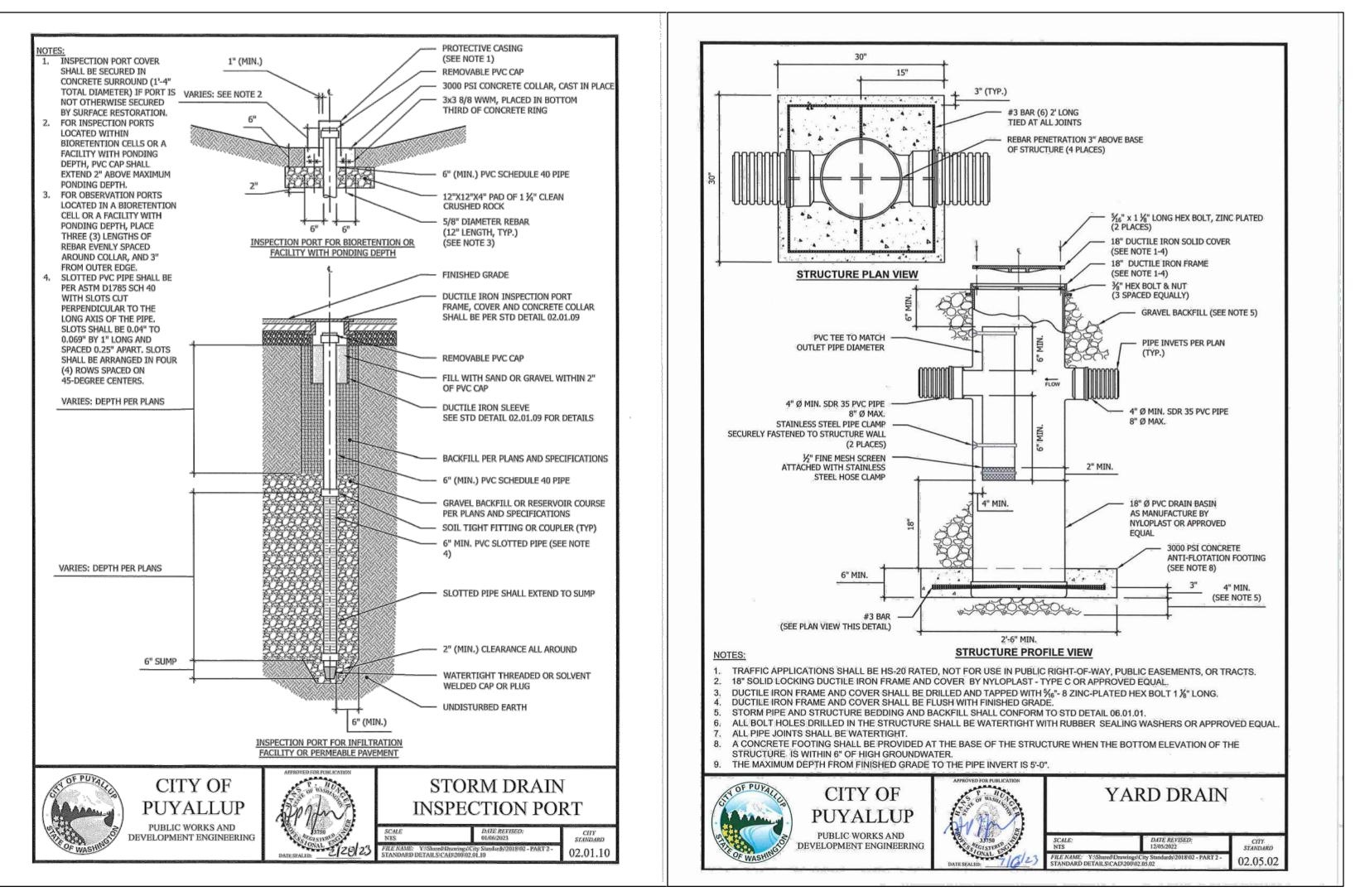




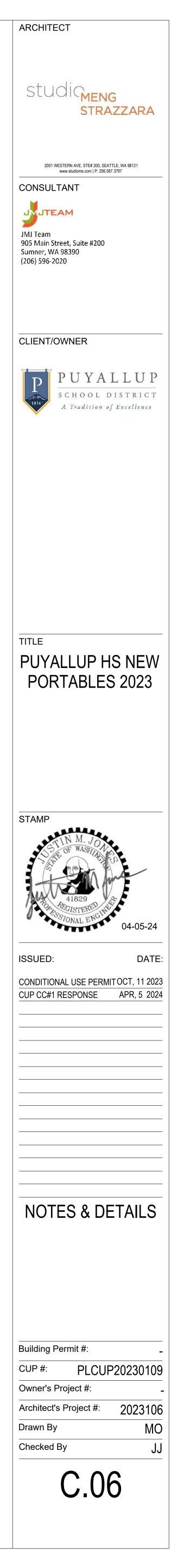


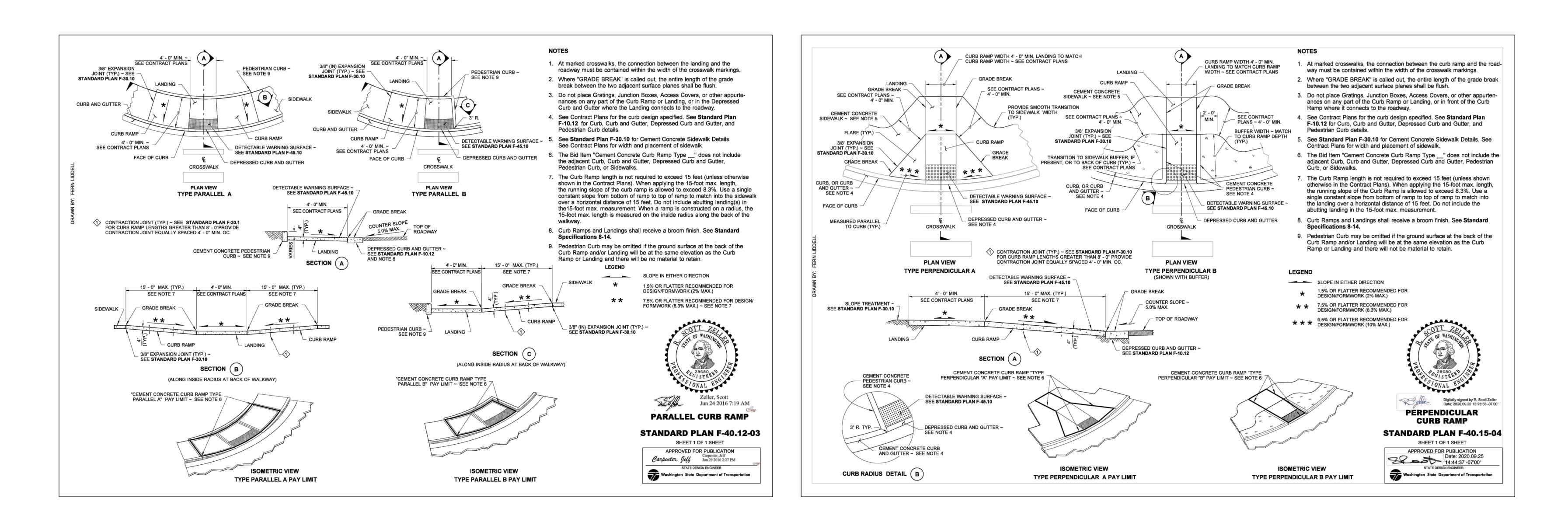


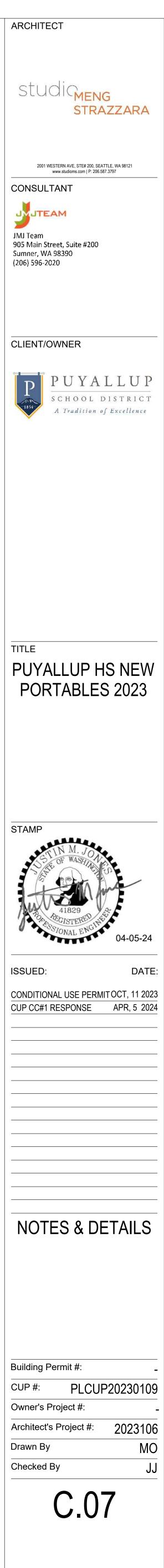


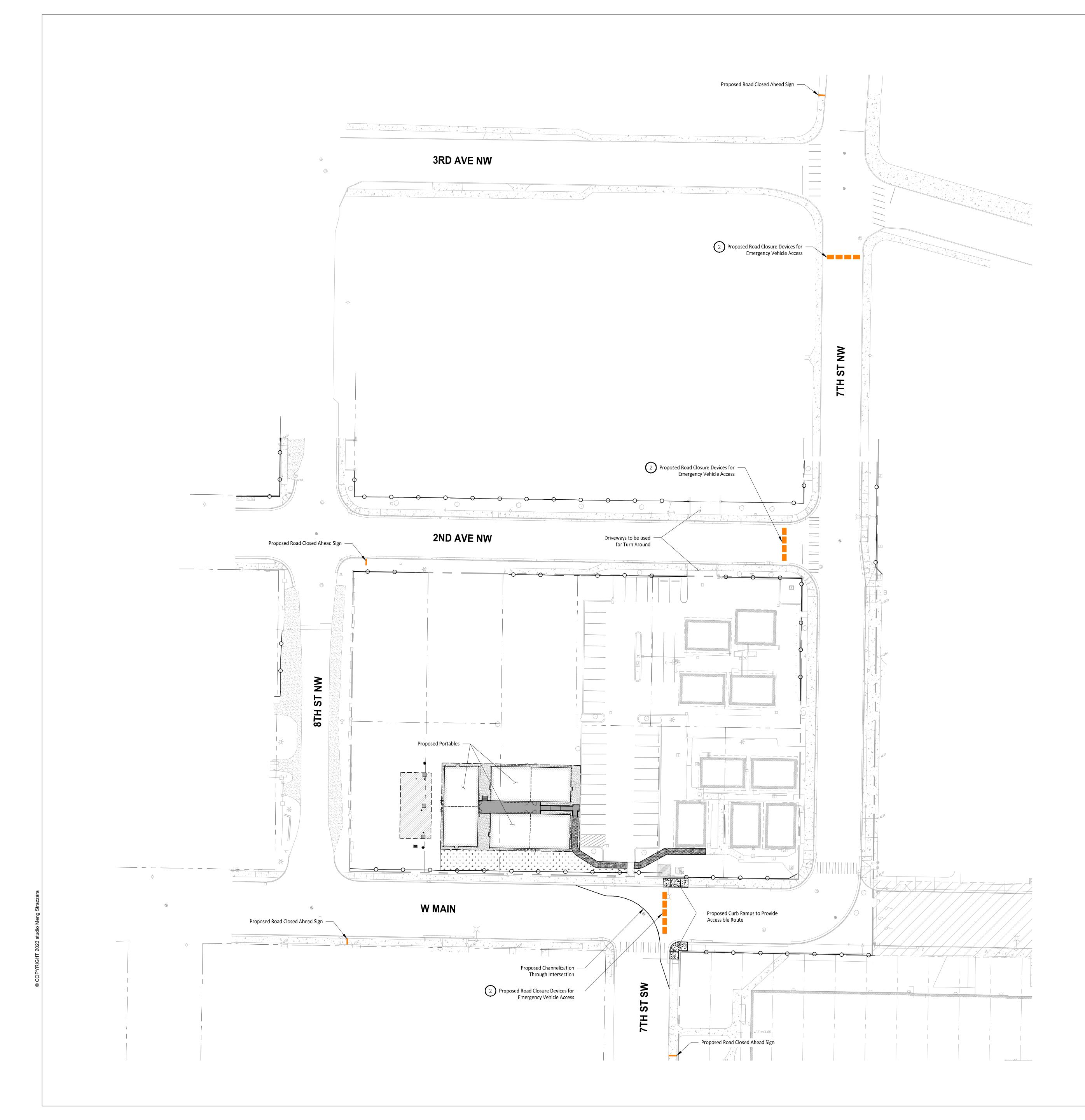


N. I.	CITY OF PUYALLUP	SOIL AMENDMENT AND DEPTH					
NO	DEVELOPMENT ENGINEERING and	DRAWN BY LINDA LIAN	CHECKED BY CHRIS BEALE	APPROVED BY COLLEEN HARRIS	REVISED B XXXX	Y	CHTY STANDARD
80	PUBLIC WORKS DEPARTMENTS	FILE NAME F:\DWG\COMMON\STDS\CITYS	TDS\STR\01.02.08	DATE APPROVED 12 08/01/2015 2	DATE REVISED XX/XX/XX	SCALE 1:1	01.02.08a







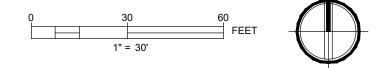


### GENERAL NOTE

- Intersection and Advanced Signage for road closure to meet Manual on Uniform Traffic Control Devices (MUTCD) and City of Puyallup Standards as part of future ROW and Civil Plans.
- 2. Road Closure Device to be Reflective Water Filled Barrier(s) or another MUTCD compliant feature as requested by the City of Puyallup.



PLASTIC WATER FILLED BARRIER EXAMPLE A NOT TO SCALE





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