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WEST ELEVATION

PROJECT NAME: **PIONEER APARTMENT HOMES**

PROJECT DESCRIPTION:
 36 2-BEDROOM APARTMENTS & 2 1-BEDROOM APARTMENTS (39,640 S.F.) IV/ ATTACHED OFFICE (2,206 S.F.) AND CAFE (1,917 S.F.), AND 38 PARKING STALLS.

3D RENDERING NOTES:
 3D ELEVATIONS ARE FOR REFERENCE ONLY. THESE SHOULD NOT BE USED TO DETERMINE ANY PORTION OF THE CONSTRUCTION OTHER THAN GENERAL MATERIAL AND APPEARANCE. REFER TO ELEVATION SHEETS FOR DETAILS.

BUILDING DEPARTMENT NOTES:

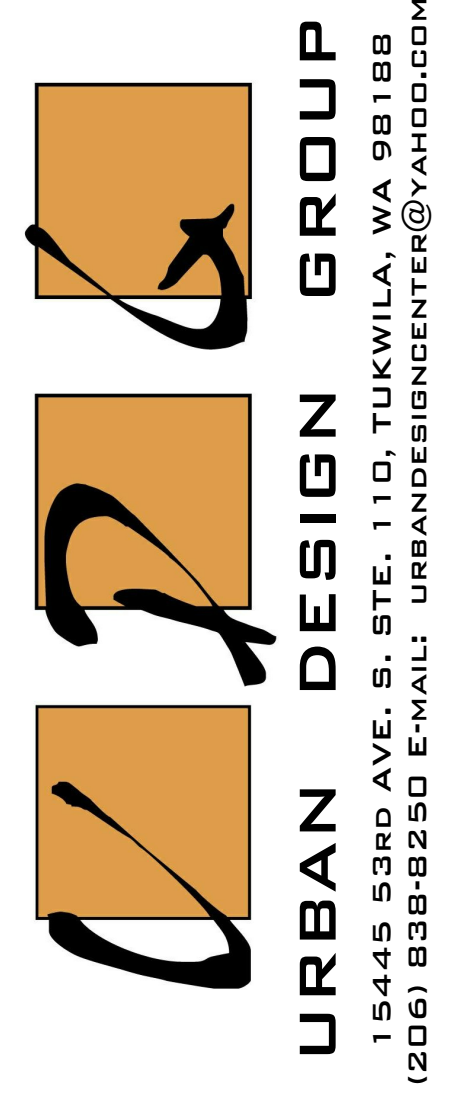
PROJECT DATA:	PARCEL NO.: 0420213238 & 0420213251	DESIGN TEAM: URBAN DESIGN GROUP 15445 53rd AVE. S. STE. 110 TUKWILA, WA 98188 (206) 838-8250 urbandesigncenter@yahoo.com CONTACT: ALEXEY ANCHEYEV
LEGAL DESCRIPTION: SECTION 27 TOWNSHIP 20 RANGE 04 QUARTER 31 : BEG 525 FT S & 690 FT E OF NE COR OF NW OF SW OF SEC TH S 135 FT TH E 55 FT TH N 135 FT TO S LI PIONEER AVE TH W 55 FT TO BEG LESS STATE HWY SEG F 8120 & SECTION 27 TOWNSHIP 20 RANGE 04 QUARTER 31 : BEG 525 FT S & 745 FT E OF NE COR OF NW OF SW TH S 135 FT TH E 145 FT M/L TH S 82.2 FT TH E 171.1 FT M/L TO A PT 263.5 FT W OF E LI SW SEC 27 TH N 82.2 FT TH W 50 FT TH N 135 FT TO S LI PIONEER AVE TH W ALG SD LI TO BEG LESS STATE HWY SEG G 0088	PROPERTY TYPE: R LAND AREA: 6,970 SF & 26,136 SF ACRES: 0.16 & 0.6 RTSQR: 04-20-27-31 & 04-20-27-31 ADDRESS: 702, 708 E PIONEER FUYALLUP, WA 98371 ZONING: CBD MIN SETBACKS: FRONT: 0 SIDE: 0 REAR: 0 35-55 FT.	STRUCTURAL ENGINEER: NN ENGINEERING P.O. BOX 39681 LAKEWOOD, WA 98499 (253) 250-6651 nnengineering@comcast.net CONTACT: NORM P. NAVARRO
	MAX HEIGHT:	OWNER(S): SIDHU FARMS LLC sidhufarms@gmail.com (253) 651-3755 CONTACT: KAMAL
	WATER: WATER INSTALLED SEWER/SEPTIC: SEWER/SEPTIC INSTALLED ROAD ACCESS: PUBLIC STREET SURFACE: PAVED	



WEST ELEVATION



SOUTH ELEVATION



PROJECT NAME
PIONEER APARTMENT HOMES
 702, 708 E PIONEER
 FUYALLUP, WA 98371
 PARCEL NO.: 0420213238 &
 0420213251

PREPARED FOR
SIDHU FARMS LLC

SUBMITTAL/REVISION DATE
 SUBMITTED: 4/5/2024
 REVISED: -

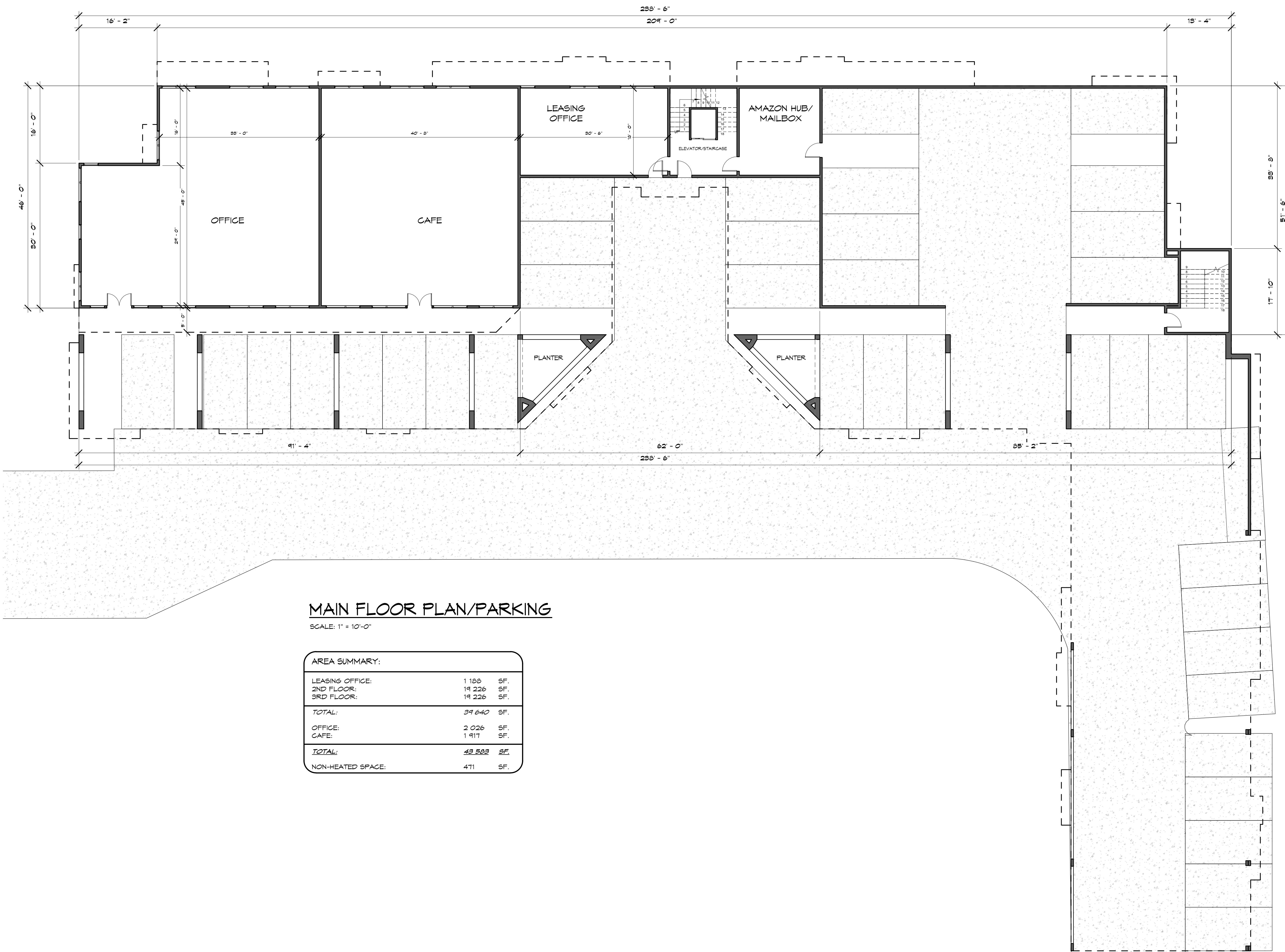
DESIGNED BY:
A.ANCHEYEV
 DRAFTED BY:
HANNA SHADRINA

SHEET TITLE
COVER SHEET

PROJECT NUMBER
24137

SHEET NUMBER

AO



MAIN FLOOR PLAN/PARKING
SCALE: 1" = 10'-0"

AREA SUMMARY:		
LEASING OFFICE:	1 100	SF.
2ND FLOOR:	19 226	SF.
3RD FLOOR:	19 226	SF.
TOTAL:	39 640	SF.
OFFICE:	2 026	SF.
CAFE:	1 917	SF.
TOTAL:	43 503	SF.
NON-HEATED SPACE:	471	SF.

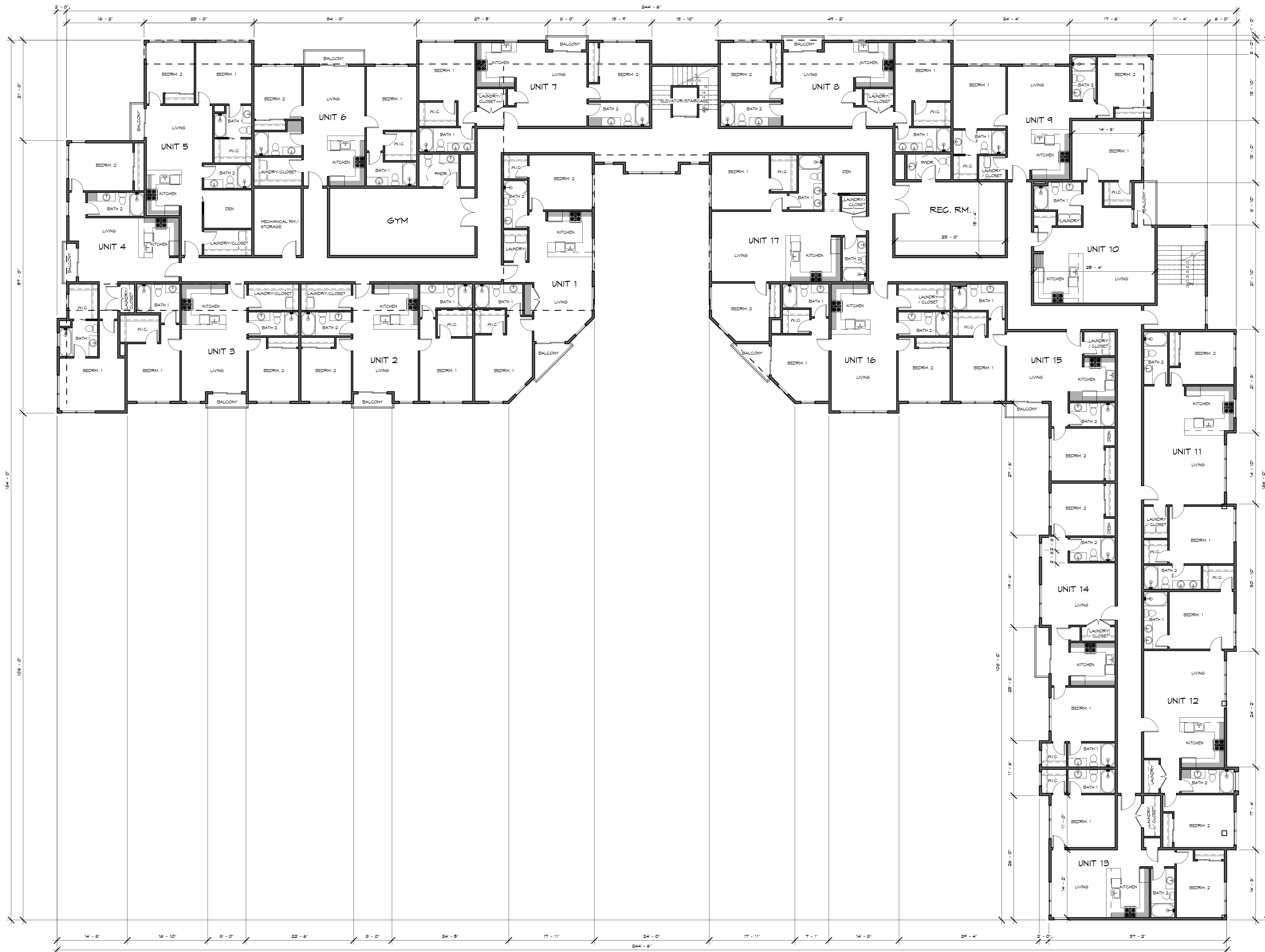


2ND & 3RD FLOOR PLAN

SCALE: 1" = 10'-0"

AREA SUMMARY:

LEASING OFFICE:	1 188	SF.
2ND FLOOR:	19 226	SF.
3RD FLOOR:	19 226	SF.
TOTAL:	39 640	SF.
OFFICE:	2 026	SF.
CAFE:	1 917	SF.
TOTAL:	43 583	SF.
NON-HEATED SPACE:	471	SF.



PROJECT NAME

PIONEER APARTMENT HOMES
702, 708 E PIONEER
PUYALLUP, WA 98371
PARCEL NO.: 0420273238 &
0420273257

PREPARED FOR

SIDHU FARMS LLC

SUBMITTAL/REVISION DATE
SUBMITTED: 4/5/2024
REVISED: -

DESIGNED BY:

A.ANCHEYEV

DRAFTED BY:

HANNA
SHADRINA

SHEET TITLE

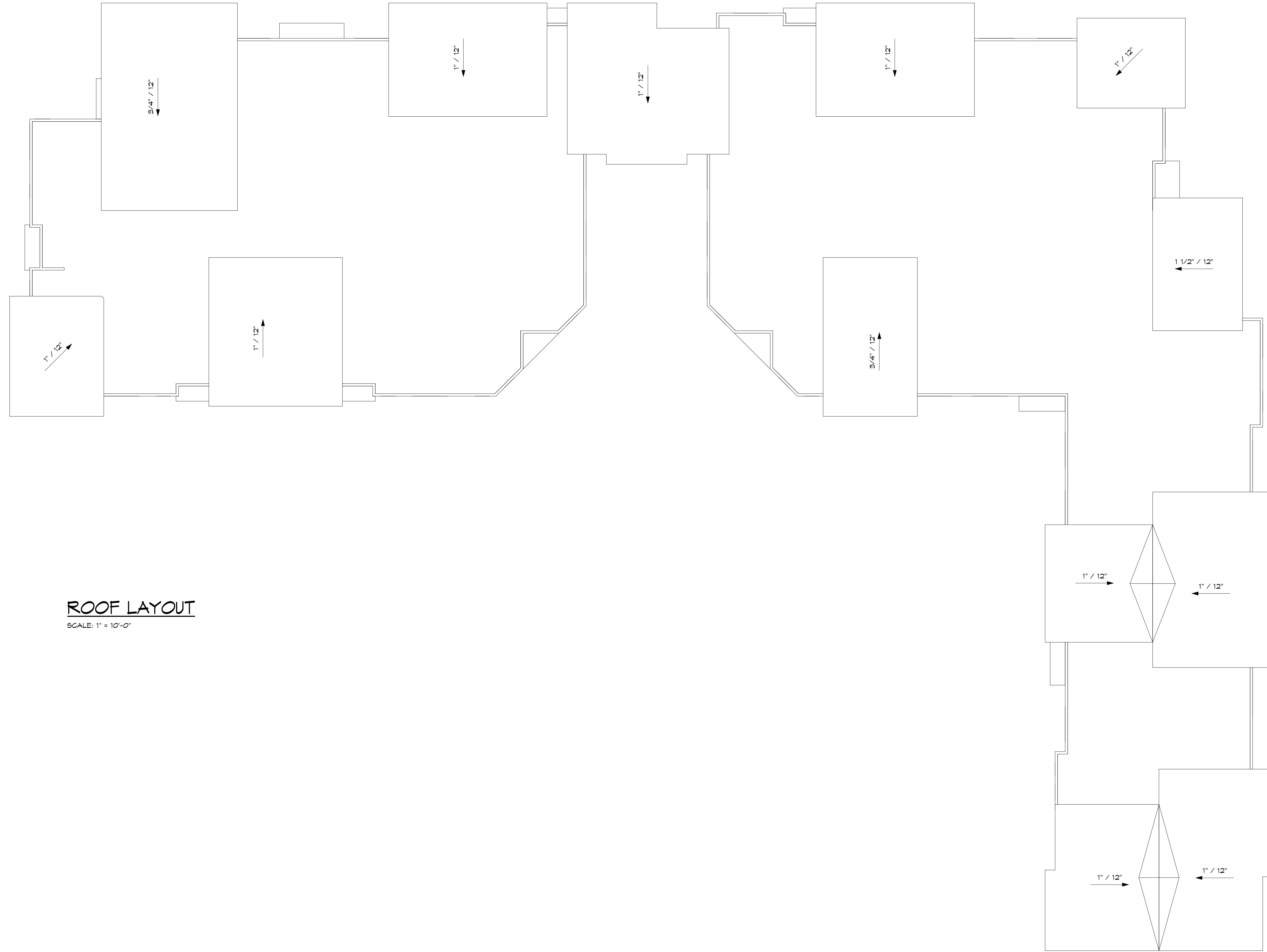
2ND & 3RD
FLOOR
PLANS

PROJECT NUMBER

24137

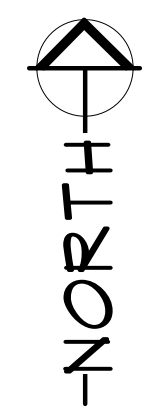
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A2



ROOF LAYOUT

SCALE: 1" = 10'-0"



PROJECT NAME
PIONEER APARTMENT HOMES
 702, 708 E PIONEER
 FUYALLUP, WA 98371
 PARCEL NO.: 0420273238 &
 0420273257

PREPARED FOR
SIDHU FARMS LLC

SUBMITTAL/REVISION DATE
 SUBMITTED: 4/5/2024
 REVISED: -

DESIGNED BY:
A.ANCHEYEV

DRAFTED BY:
**HANNA
 SHADRINA**

SHEET TITLE
**ROOF
 LAYOUT**

PROJECT NUMBER
24137

SHEET NUMBER

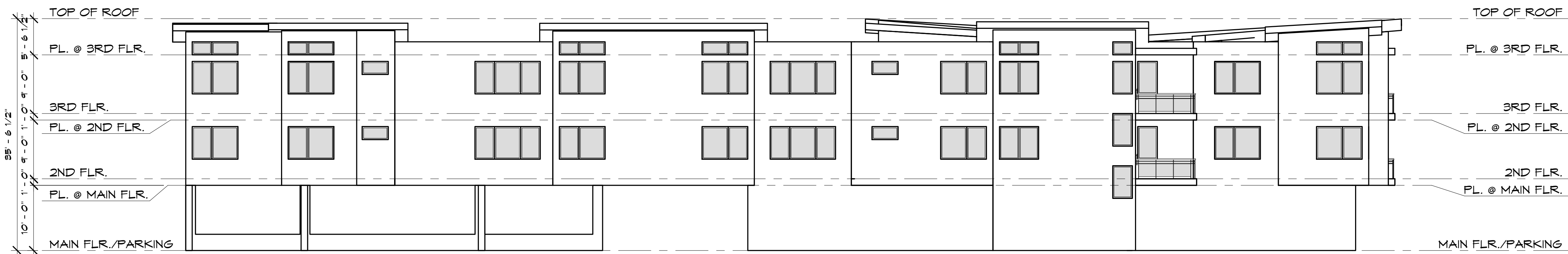
A3



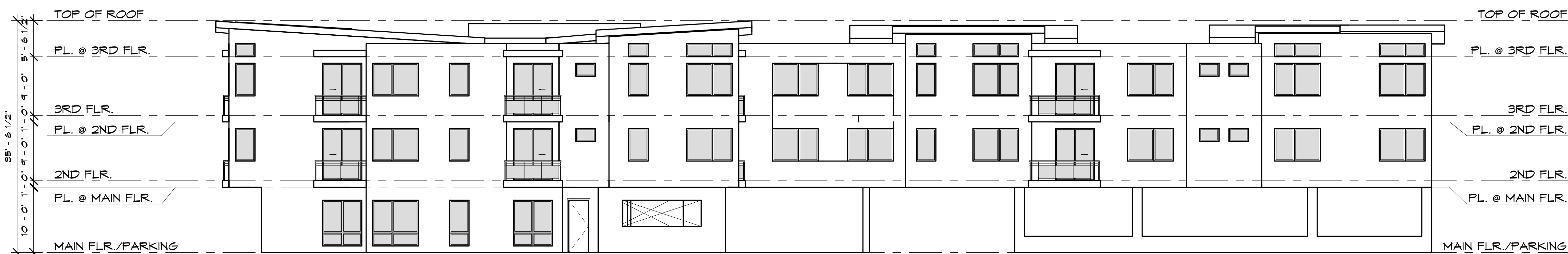
SOUTH ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



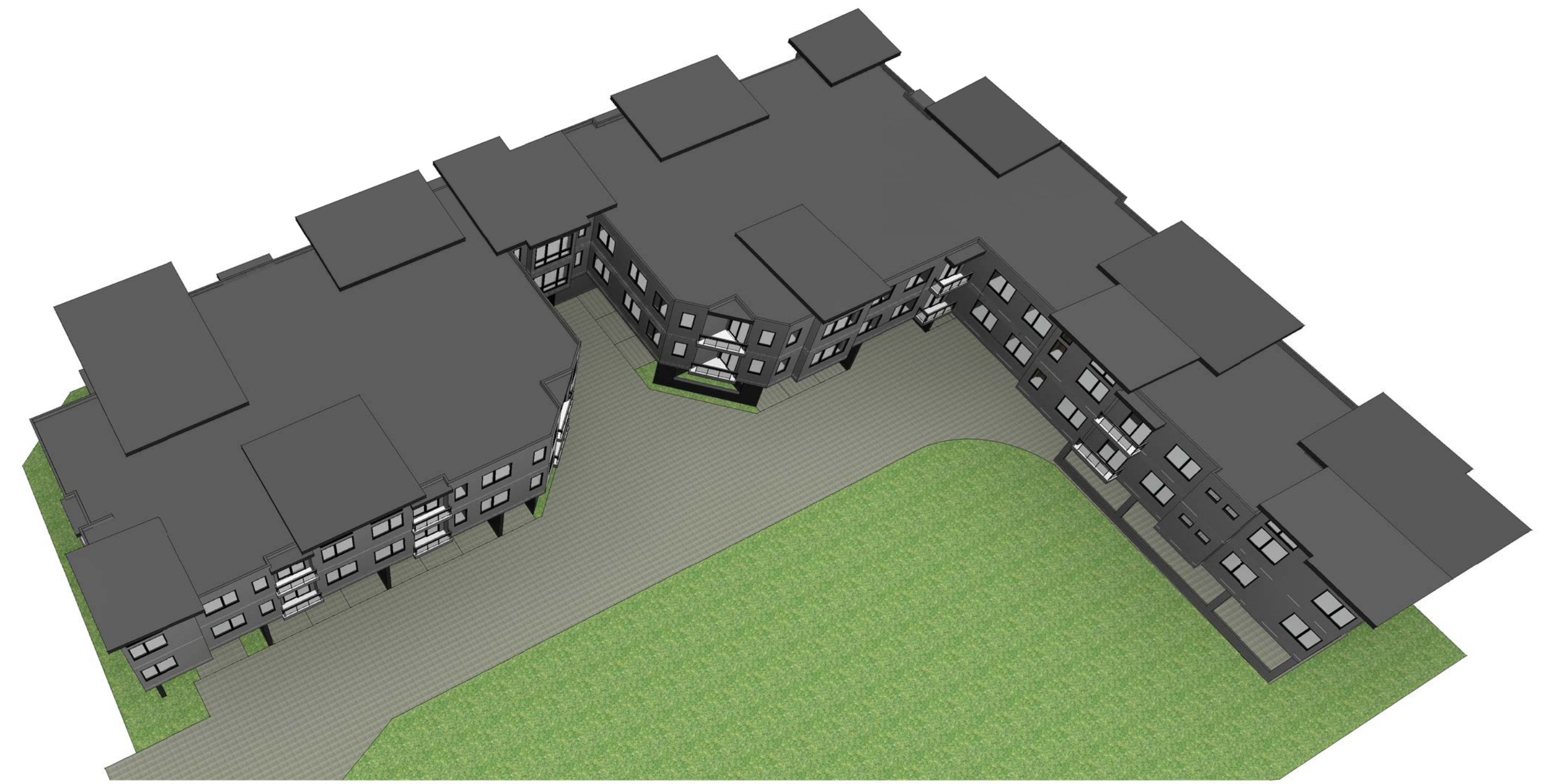
EAST ELEVATION
SCALE: 1" = 10'-0"



WEST ELEVATION
SCALE: 1" = 10'-0"



PERSPECTIVE VIEW: NORTH-WEST VIEW



PERSPECTIVE VIEW: BIRD'S EYE VIEW



PERSPECTIVE VIEW: SOUTH-WEST ELEVATION



PERSPECTIVE VIEW: BIRD'S EYE VIEW/SOUTH ELEVATION



PERSPECTIVE VIEW: EAST ELEVATION

PERSPECTIVE VIEW:

PERSPECTIVE VIEWS ARE FOR REFERENCE ONLY. THEY SHOULD NOT BE USED TO DETERMINE ANY PORTION OF THE CONSTRUCTION OTHER THAN GENERAL MATERIAL APPEARANCE. REFER TO ELEVATION SHEETS FOR DETAILS.