

**SURVEY INFORMATION:**

**HORIZONTAL DATUM AND BASIS OF BEARINGS:**

NAD 83/91.  
BASIS OF BEARINGS BEING N45°56'37"E, 7553.66' BETWEEN PIERCE COUNTY MONUMENTS PCWGS-463 (SW COR. S35, T20N, R4E, WM) AND PCWGS-86 (NE COR. S35, T20N, R4E, WM).

**VERTICAL DATUM:**

NAVD88 ESTABLISHED BY GPS OBSERVATION UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) USING NGS GEOID 2012B.

**TAX PARCEL NUMBER - ADDRESS - LOT AREA:**

0420354039 - 2007 SHAW RD - 320,127.14± S.F. (7.35± AC)

**DATES OF SURVEY:**

THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON 2/8/2022. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JANUARY AND FEBRUARY OF 2022.

**FLOOD INFORMATION:**

FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FLOOD INSURANCE RATE MAP (FIRM) NO. 53053C0342E PANEL 342 OF 1375, DATED 3/7/2017. THE SUBJECT PROPERTY IS IN ZONE X (UNSHADED), AN AREA OF MINIMAL FLOOD HAZARD.

**SURVEYOR'S NOTES:**

- ALL DISTANCES SHOWN HEREON ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET.
- THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY, AND DON'T PURPORT TO SHOW OWNERSHIP LINES THAT MAY BE DETERMINED BY A COURT OF LAW. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.
- UNDERGROUND UTILITIES AND FEATURES DEPICTED HEREON ARE BASED ON FIELD OBSERVATION, MARKINGS, DEVELOPMENT PLANS, AND/OR AVAILABLE RECORDED DOCUMENTS ONLY. THE TRUE LOCATION, NATURE AND/OR EXISTENCE OF BELOW GROUND FEATURES, DETECTED OR UNDETECTED SHOULD BE VERIFIED.
- THE LEGAL DESCRIPTION AND SPECIAL EXCEPTIONS SHOWN HEREON ARE PER THE TITLE REPORT REFERENCED HEREON UNLESS OTHERWISE NOTED.
- THIS SURVEY HAS DEPICTED ALL VISIBLE OCCUPATIONAL INDICATORS (IE. FENCE LINES, BUILDINGS, WALLS, ETC. -SEE MAP FOR PARTICULARS) PER W.A.C. 332-130. LINES OF OCCUPATION, AS DEPICTED, MAY INDICATE AREAS OF POTENTIAL CLAIMS OF UNWRITTEN OWNERSHIP. THIS SURVEY HAS ONLY DEPICTED THE RELATIONSHIP BETWEEN LINES OF OCCUPATION AND DEEDED LINES OF RECORD. NO RESOLUTION OF OWNERSHIP BASED ON UNWRITTEN RIGHTS HAS BEEN MADE BY THIS SURVEY OR BY ANY PERSONNEL OF BARGHAUSEN CONSULTING ENGINEERS, INC.
- THIS IS A FIELD TRAVERSE SURVEY. A TRIMBLE R12i GPS AND A TRIMBLE S-7 ROBOTIC TOTAL STATION (TRIMBLE TSC7 DATA COLLECTOR) WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN W.A.C. 332-130-090. ALL INSTRUMENTS AND EQUIPMENT HAVE BEEN MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURERS' SPECIFICATION AND USED BY APPROPRIATELY TRAINED PERSONNEL.
- THE RECORD DESCRIPTION FOR THE SUBJECT PROPERTY MATHEMATICALLY CLOSES.
- ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS STATED WITHIN W.A.C. 332-130-145 FOR TOPOGRAPHIC MAPS, INCLUDING THE FOLLOWING: THE SOURCE OF THE CONTOURS SHOWN HEREON ARE BASED UPON DIRECT FIELD OBSERVATIONS. THE CONTOUR ACCURACY IS PER NATIONAL MAPPING STANDARDS, BEING ONE HALF OF THE TWO FOOT CONTOUR INTERVAL. THE PURPOSE OF THIS SURVEY IS TO MAP THE CURRENT CONDITIONS FOR ENGINEERING DESIGN.

**TITLE INFORMATION:**

**TITLE COMMITMENT:**

ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT NO. 0223369-16 (REVISION 3RD COMMITMENT), DATED FEBRUARY 24, 2022 AT 08:00 AM. INCLUDED ARE APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY SAID COMMITMENT. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

**LEGAL DESCRIPTION:**

(AS PER ABOVE REFERENCED TITLE REPORT)

FOR APN/PARCEL ID(S): 042035-4039:

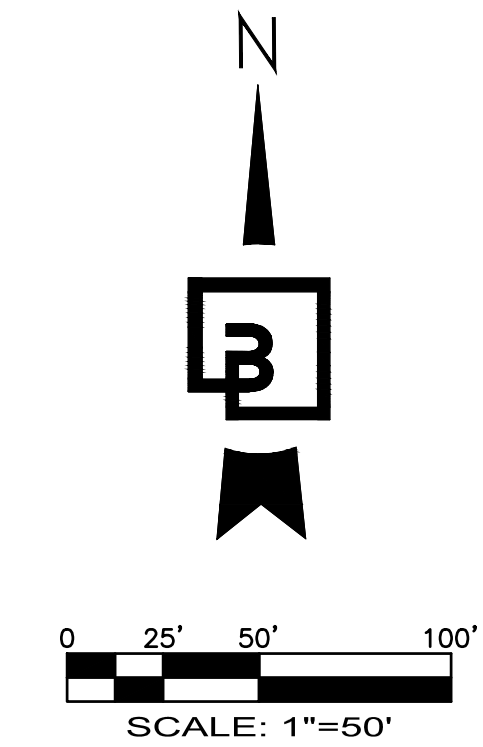
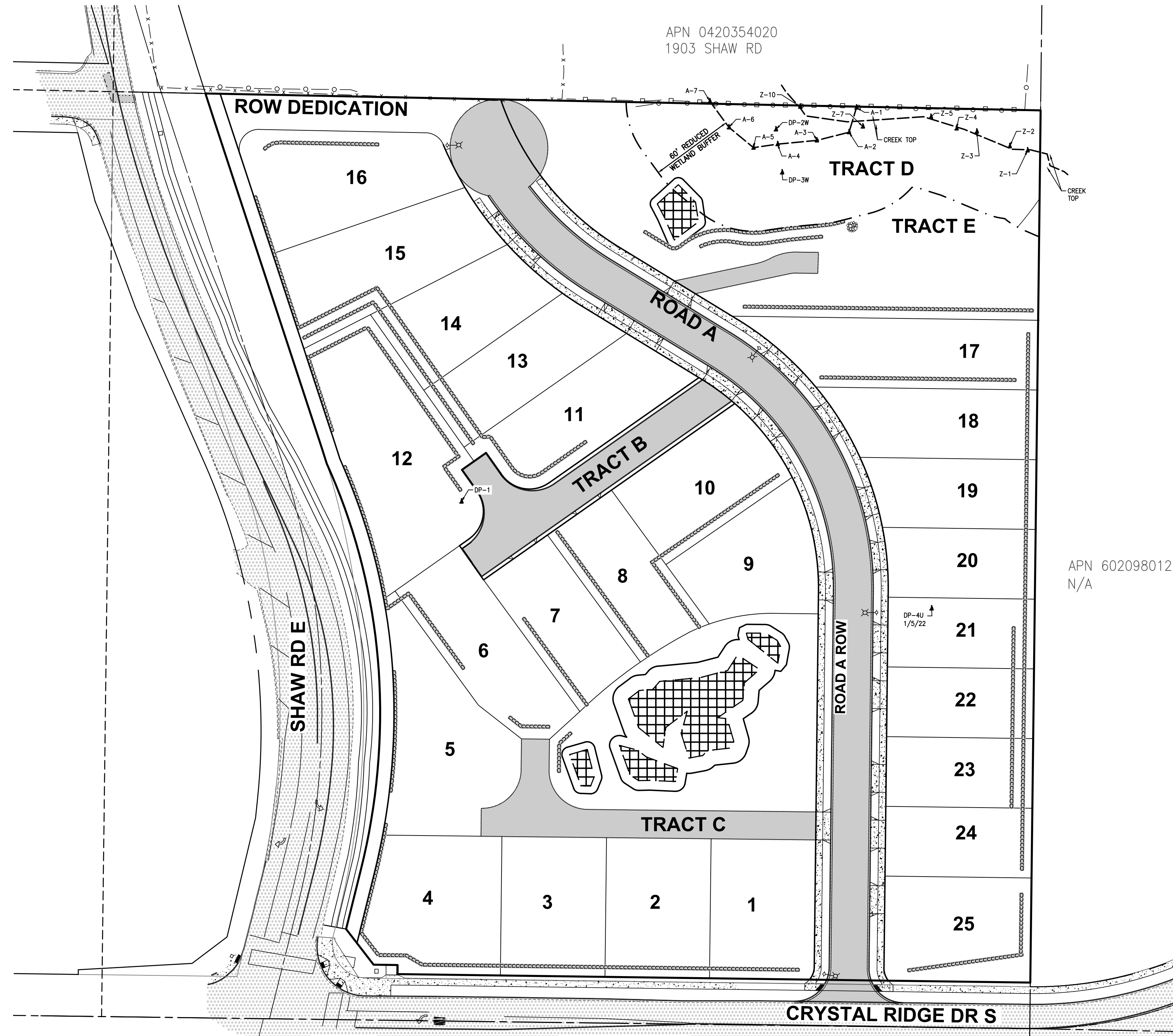
THE SOUTH HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M., IN PIERCE COUNTY, WASHINGTON, LYING EASTERLY OF SHAW ROAD; EXCEPT THAT PORTION CONVEYED TO THE CITY OF PUYALLUP BY INSTRUMENT RECORDED OCTOBER 2, 1991 UNDER RECORDING NO. 9110020348, RECORDS OF PIERCE COUNTY, WASHINGTON; AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF PUYALLUP BY INSTRUMENT RECORDED OCTOBER 22, 2009 UNDER RECORDING NO. 200910220021, RECORDS OF PIERCE COUNTY, WASHINGTON. SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

**PRELIMINARY COVER SHEET**

OF

**NORMANDY HEIGHTS - PDR**

PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



EXISTING:	PROPOSED:

**OWNER:**

KOLOWINSKI, CARRIE A  
ADDRESS: C/O SHERRIE KLEINHUIZEN  
1401 18TH ST NW  
PUYALLUP, WA 98371-3821

**ENGINEER:**

BARGHAUSEN CONSULTING ENGINEERS  
CONTACT: CARA VISINTAINER, PE  
ADDRESS: 18215 72ND AVENUE SOUTH  
KENT, WA 98032  
PHONE: (425) 251-6222

**SURVEYOR:**

BARGHAUSEN CONSULTING ENGINEERS  
CONTACT: MARK DUFFNER, P.L.S.  
ADDRESS: 18215 72ND AVENUE SOUTH  
KENT, WA 98032  
PHONE: (425) 251-6222

**GEOTECHNICAL ENGINEER:**

EARTH SOLUTIONS NW LLC  
CONTACT: SCOTT RIEGEL, L.G.  
ADDRESS: 2881 152ND AVE NE  
REDMOND, WA, 98052  
PHONE: (425) 284-3300

**BIOLOGIST:**

SOUNDVIEW CONSULTANTS LLC  
ADDRESS: 2907 HARBORVIEW DRIVE,  
SUITE D  
GIG HARBOR, WA 98335  
CONTACT: JON PICKETT

**APPLICANT:**

RM HOMES  
ADDRESS: 2913 5TH AVE. NE  
SUITE 201  
PUYALLUP, WA 98372  
CONTACT: JAMES KERBY

**GENERAL SITE DATA:**

ADDRESS: 2007 SHAW RD  
TAX PARCEL ID: 0420354039  
RS-10 LOW URBAN DENSITY SINGLE FAMILY  
EXISTING ZONING: 308,061± SF (7.35± AC)  
GROSS SITE AREA:  
WETLAND AREA: 4,367 SF (0.10 AC)  
PUBLIC ROAD R.O.W.: 35,268 SF (0.81 AC)  
NET SITE AREA: 280,492 S.F. (6.44 AC)  
MINIMUM DENSITY: NO MINIMUM  
MAXIMUM DENSITY: 4 DU/AC (29 LOTS MAX)  
SITE DENSITY: 25 DU / 6.44 NET ACRES = 3.9 DU/AC  
SMALLEST PROPOSED LOT: 5,255 SF  
LARGEST PROPOSED LOT: 13,579 SF  
FRONT SETBACK: 25 FT  
SIDE YARD SETBACK: 5 FT MIN, 16 FT TOTAL  
SIDE YARD ADJ. TO ROW: 15 FT  
REAR YARD SETBACK: 25 FT  
WETLAND BUFFER SETBACK: 15 FT

**UTILITY CONTACT LIST**

WATER / SEWER: CITY OF PUYALLUP  
333 S MERIDIAN  
FLOOR 3  
PUYALLUP, WA 98371  
(253) 841-5550  
POWER/GAS: PUGET SOUND ENERGY  
CUSTOMER CONSTRUCTION SERVICES  
14616 SE 192ND ST  
RENTON, WA 98058  
(253) 630-9900  
CABLE/TEL: COMCAST CABLE COMMUNICATIONS  
4020 AUBURN WAY NORTH  
PUYALLUP, WA 98371  
(253) 288-7538  
FIRE: CENTRAL PIERCE FIRE AND RESCUE  
17520 22ND AVE. E  
SPANAWAY, WA 98387  
(253) 538-6400

**SHEET INDEX**

- C1 OF 5 PRELIMINARY COVER SHEET
- C2 OF 5 PRELIMINARY PLAT MAP
- C3 OF 5 PRELIMINARY GRADING AND UTILITY LAYOUT
- C4 OF 5 MASTER SITE PLAN
- C5 OF 5 ENTERING SIGHT DISTANCE EXHIBIT

**LANDSCAPE SHEET INDEX**

- L1 OF 2 LANDSCAPE PLAN
- L2 OF 2 LANDSCAPE PLAN

No.	Date	By	Clk.	Appr.	CMV	MSC	TDM	REVISED PER CITY COMMENTS
1	2/19/24							

PRELIMINARY COVER SHEET  
OF  
NORMANDY HEIGHTS - PDR

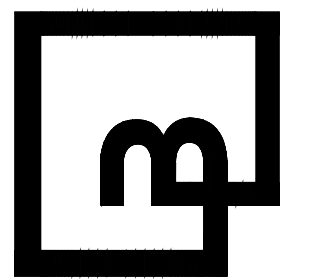
RM HOMES  
2913 5TH AVE. N.E.  
SUITE 201  
PUYALLUP, WA 98372

For:



Designed	TDM	Drawn	TDM	Checked	MSC	Approved	CMV	Date	4/3/24
Scale:	Horizontal	1"=50'	Vertical	N/A					

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



Job Number  
**12663**  
Sheet  
**C1** of **5**

**PRELIMINARY PLAT MAP**

OF

**NORMANDY HEIGHTS - PDR**

PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE

APN 0420354020  
1903 SHAW RD



0 20' 40' 80'  
SCALE: 1"=40'

**BUILDING SETBACKS**

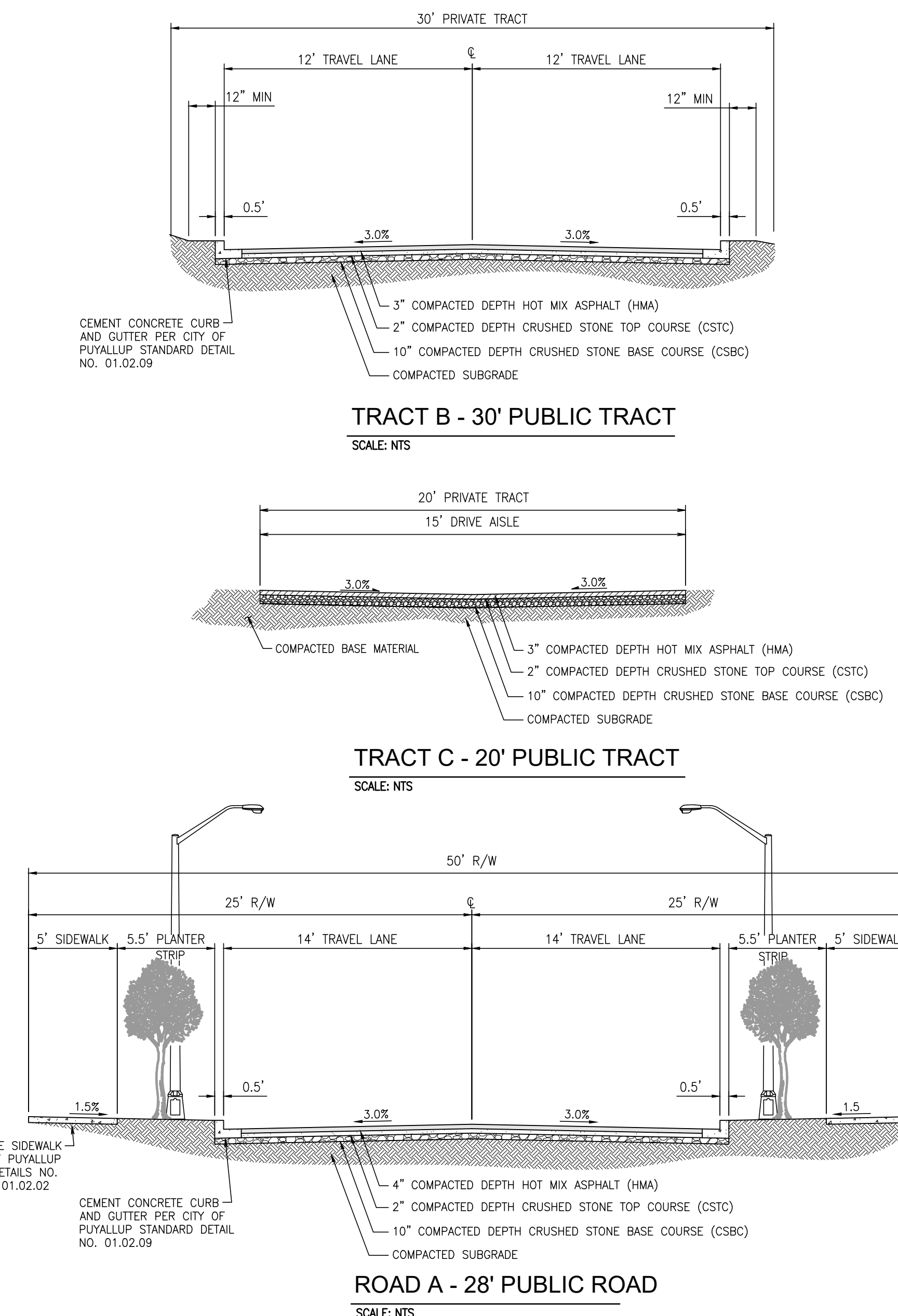
FRONT: 25'  
REAR: 25'  
INTERIOR: 5' MIN, 16' TOTAL  
SIDE YARD ADJACENT TO ROW: 15'

**CURVE TABLE**

Curve #	Length	Radius	Delta
C2	27.50	473.50	3.33
C3	44.36	28.00	90.77
C4	109.79	473.50	13.29
C5	43.99	28.00	90.03
C6	60.54	440.00	7.88
C7	56.14	350.15	9.19
C8	41.17	350.15	6.74
C9	15.46	138.63	6.39
C10	46.24	138.63	19.11
C14	39.72	24.21	94.02
C15	39.59	24.20	93.72
C16	105.56	440.00	13.75
C17	11.50	613.00	1.07
C23	16.12	14.00	65.96
C26	74.00	225.00	18.84
C27	59.72	225.00	15.21
C28	52.86	225.00	13.46
C29	45.96	225.00	11.70
C30	9.79	14.00	40.07
C33	46.21	60.00	44.13
C34	9.16	60.00	8.75
C35	36.18	60.00	34.55
C36	14.35	50.00	16.44
C37	15.20	50.00	17.42
C38	138.51	200.00	39.68
C39	6.97	105.26	3.79
C40	8.87	5.00	101.62
C41	6.29	5.00	72.10
C42	14.94	528.79	1.62
C43	7.34	60.00	7.01
C44	37.45	60.00	35.76

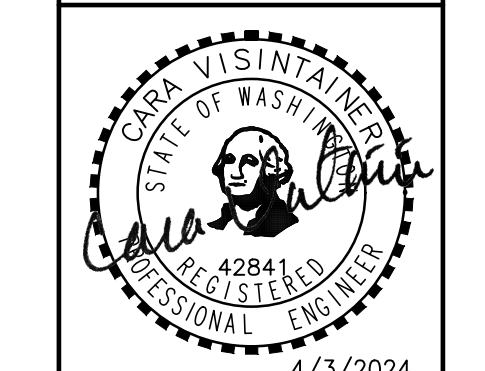


PARCEL LINE TABLE			PARCEL LINE TABLE			PARCEL LINE TABLE		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction
L2	71.66	N89° 13' 49.23"W	L32	30.00	N35° 04' 12.94"W	L61	50.00	S0° 40' 37.89"W
L3	75.00	S89° 22' 40.98"E	L33	8.03	S54° 55' 47.06"W	L62	50.00	S0° 38' 52.31"W
L4	75.00	N89° 13' 49.23"W	L34	18.18	S35° 14' 04.06"E	L63	50.00	S0° 40' 37.89"W
L5	75.00	S89° 22' 40.98"E	L35	10.75	S54° 55' 47.06"W	L64	50.00	S0° 38' 52.31"W
L6	75.00	N89° 13' 49.23"W	L36	10.75	S54° 55' 47.06"W	L65	50.00	S0° 40' 37.89"W
L7	75.00	S89° 22' 40.98"E	L37	18.31	N35° 12' 33.52"W	L66	65.99	S0° 38' 52.31"W
L8	73.86	N89° 13' 49.23"W	L38	12.21	N35° 14' 04.06"W	L67	75.00	S0° 40' 37.89"W
L9	6.50	N0° 46' 10.77"E	L39	50.00	N35° 14' 04.06"W	L68	56.63	N89° 13' 49.23"W
L10	17.15	N89° 13' 49.23"W	L41	66.35	N35° 14' 04.06"W	L69	101.75	N89° 13' 49.23"W
L11	19.52	N37° 37' 21.78"W	L42	71.57	N18° 11' 09.13"W	L72	15.95	S84° 41' 59.30"W
L12	52.14	N13° 59' 05.67"E	L43	53.61	S62° 52' 18.99"W	L73	26.80	S84° 32' 10.80"W
L13	70.50	S89° 21' 07.69"E	L46	71.76	N18° 11' 09.36"W	L74	23.81	S75° 47' 08.75"W
L14	15.00	S89° 22' 40.98"E	L47	58.93	N18° 11' 09.25"W	L75	2.35	S86° 05' 07.66"W
L15	20.00	S0° 38' 52.31"W	L48	46.25	N18° 11' 09.25"W	L76	19.26	N72° 45' 30.09"W
L16	9.87	S54° 52' 23.48"W	L49	201.22	S88° 50' 32.76"E	L77	34.57	N65° 24' 58.77"W
L17	39.26	S51° 55' 42.50"E	L50	89.99	S88° 50' 32.76"E	L78	12.85	N66° 49' 55.46"W
L18	20.00	S89° 21' 07.69"E	L51	5.02	S58° 34' 11.89"E	L79	59.88	S0° 40' 37.89"W
L19	22.00	S0° 38' 52.31"W	L52	94.98	S58° 34' 11.89"E	L81	24.57	S53° 20' 19.64"W
L20	22.08	S0° 38' 52.31"W	L53	50.00	S0° 40' 37.89"W	L83	28.67	N25° 02' 15.19"W
L21	29.49	N47° 41' 44.71"E	L54	50.00	S0° 40' 37.89"W	L87	23.20	N36° 16' 23.14"W
L22	56.58	S54° 52' 23.48"W	L55	50.00	S0° 40' 37.89"W	L89	60.78	S58° 34' 11.89"E
L24	56.01	S54° 55' 47.06"W	L56	50.00	S0° 40' 37.89"W	L90	2.37	S58° 34' 11.89"E
L25	56.01	S54° 55' 47.06"W	L57	4.37	S0° 38' 52.31"W	L91	16.90	S0° 38' 55.84"W
L26	66.13	S36° 09' 42.85"E	L58	50.00	S0° 40' 37.89"W	L92	142.09	S0° 38' 55.84"W
L27	52.82	S36° 09' 42.85"E	L59	50.00	S0° 38' 52.31"W	L93	20.00	S0° 38' 55.84"W
L28	32.71	S89° 21' 07.69"E	L60	50.00	S0° 38' 52.31"W	L94	91.19	S0° 38' 55.84"W



**PRELIMINARY PLAT MAP**  
 OF  
**NORMANDY HEIGHTS - PDR**

**RM HOMES**  
**2913 5TH AVE. N.E.**  
**SUITE 201**  
**PUYALLUP, WA 98372**



Scale:	Horizontal	1"=40'	Vertical	
Designed	TDM	Drawn	TDM	Checked
			MSC	Approved
			CMV	Date
				4/3/24

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
[barghausen.com](http://barghausen.com)

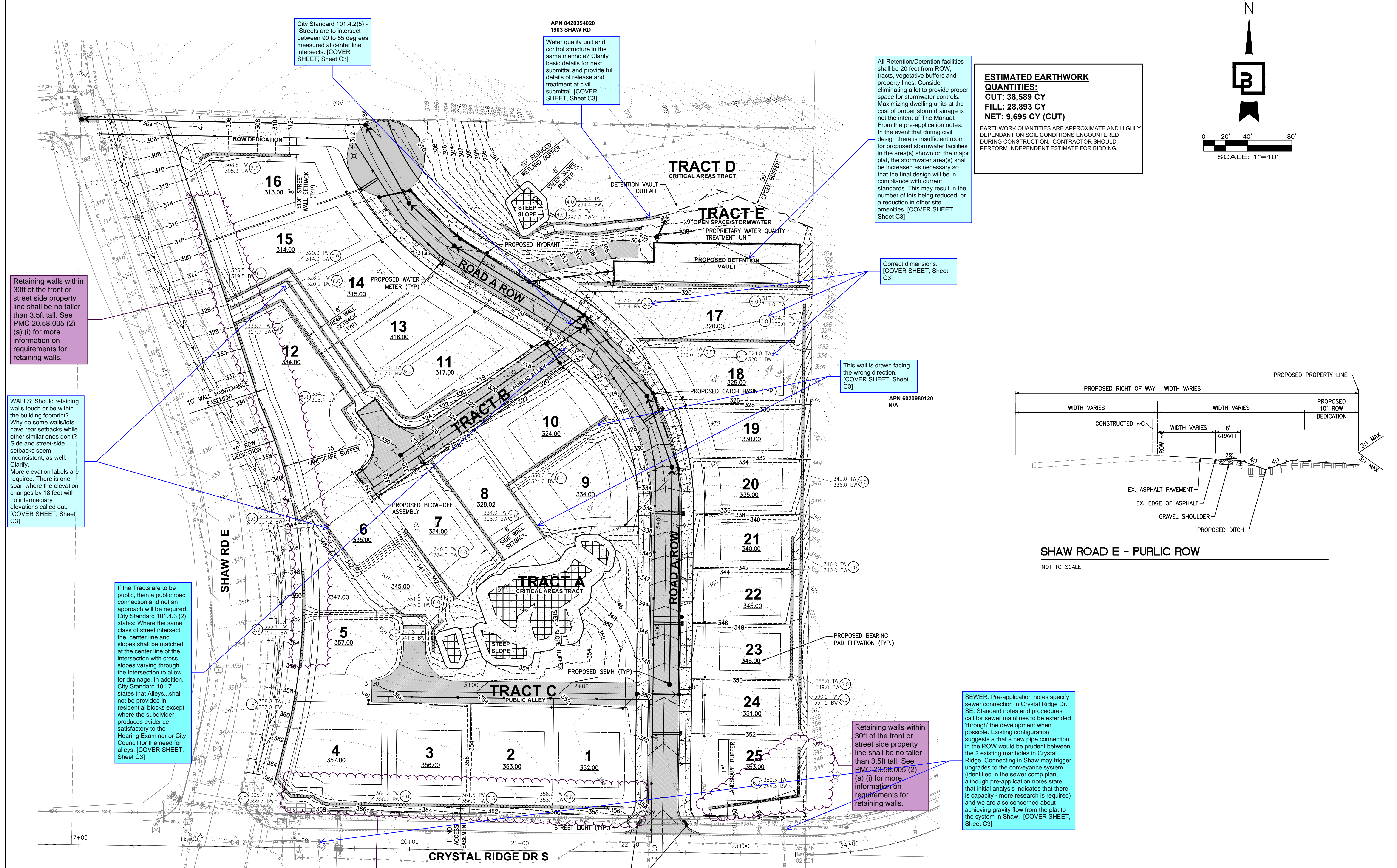
Job Number  
**12663**  
 Sheet  
**C2** of **5**

**PRELIMINARY GRADING AND UTILITY LAYOUT**

OF

**NORMANDY HEIGHTS - PDR**

PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



Retaining walls within 30ft of the front or street side property line shall be no taller than 3.5ft tall. See PMC 20.58.005 (2) (a) (i) for more information on requirements for retaining walls.

WALLS: Should retaining walls touch or be within the building footprint? Why do some walls/lots have rear setbacks while other similar ones don't? Side and street-side setbacks seem inconsistent, as well. Clarify. More elevation labels are required. There is one span where the elevation changes by 18 feet with no intermediary elevations called out. [COVER SHEET, Sheet C3]

If the Tracts are to be public, then a public road connection and not an approach will be required. City Standard 101.4.3 (2) states: Where the same class of street intersect, the center line and slopes shall be matched at the center line of the intersection with cross slopes varying through the intersection to allow for drainage. In addition, City Standard 101.7 states that Alleys...shall not be provided in residential blocks except where the subdivider produces evidence satisfactory to the Hearing Examiner or City Council for the need for alleys. [COVER SHEET, Sheet C3]

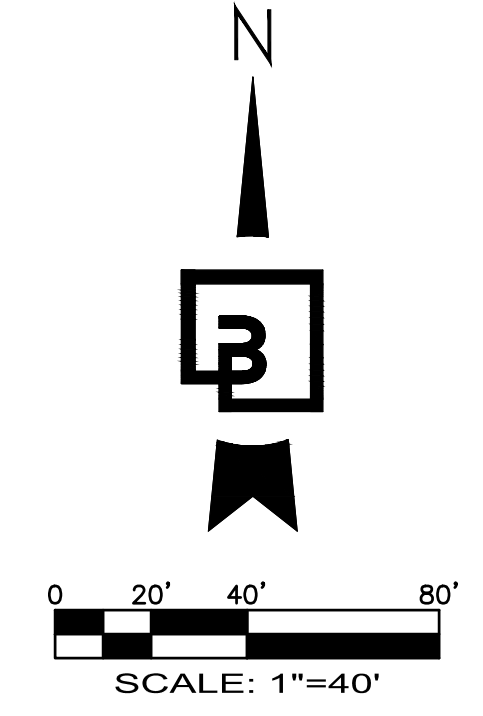
Retaining walls within 30ft of the front or street side property line shall be no taller than 3.5ft tall. See PMC 20.58.005 (2) (a) (i) for more information on requirements for retaining walls.

TYPE SINGLE DIRECTION B RAMP PER WSDOT STD. PLAN F-40.16-03

APN 0420354020  
1903 SHAW RD  
Water quality unit and control structure at same manhole? Clarify basic details for next submittal and provide full details of release and treatment at civil submittal. [COVER SHEET, Sheet C3]

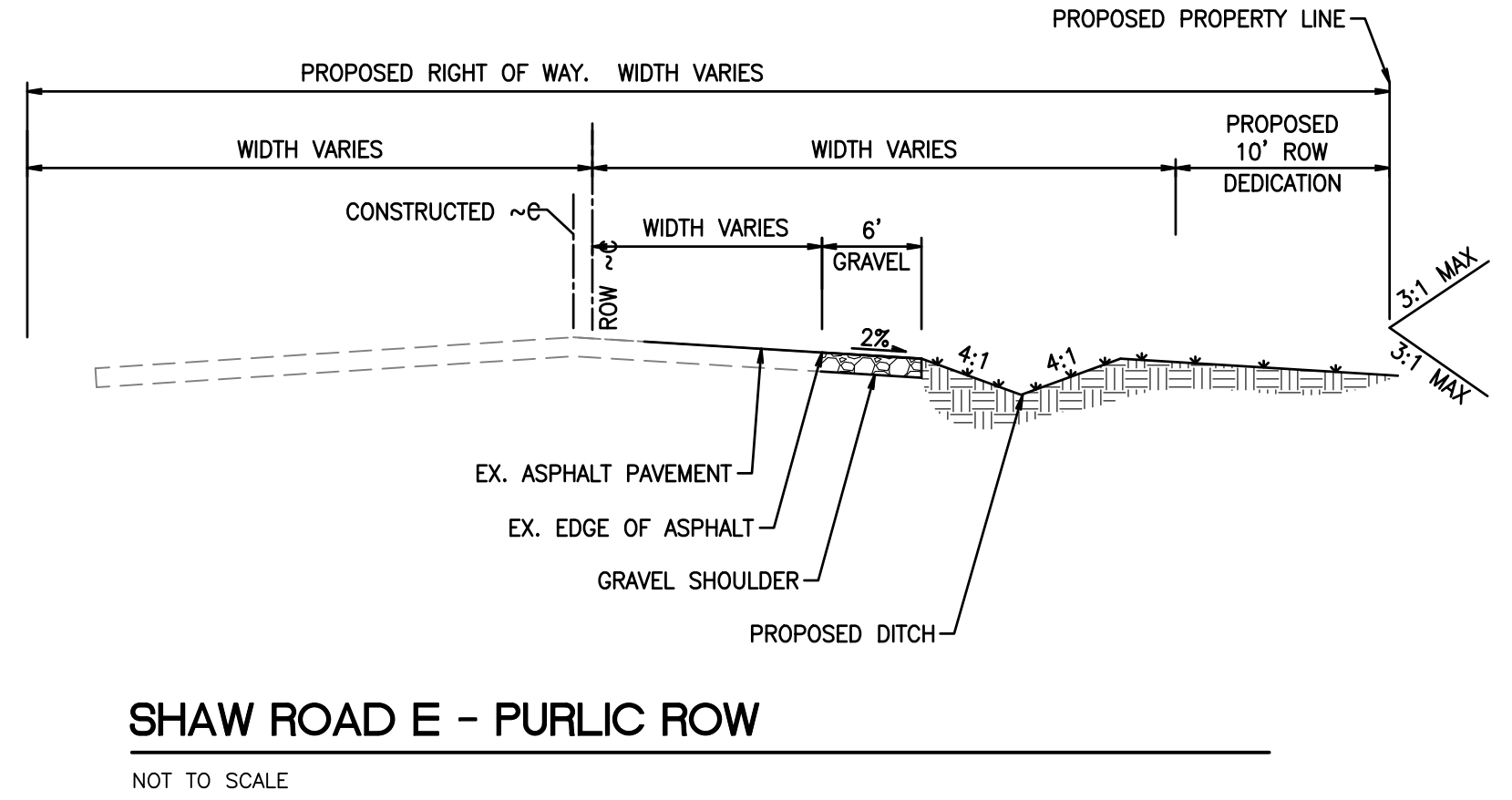
All Retention/Detention facilities shall be 20 feet from ROW, tracts, vegetative buffers and property lines. Consider eliminating a lot to provide proper space for stormwater controls. Maximizing dwelling units at the cost of proper storm drainage is not the intent of The Manual. From the pre-application notes: In the event that during civil design there is insufficient room for proposed stormwater facilities in the area(s) shown on the major plat, the stormwater area(s) shall be increased as necessary so that the final design will be in compliance with current standards. This may result in the number of lots being reduced, or a reduction in other site amenities. [COVER SHEET, Sheet C3]

**ESTIMATED EARTHWORK QUANTITIES:**  
CUT: 38,589 CY  
FILL: 28,893 CY  
NET: 9,695 CY (CUT)  
EARTHWORK QUANTITIES ARE APPROXIMATE AND HIGHLY DEPENDANT ON SOIL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHOULD PERFORM INDEPENDENT ESTIMATE FOR BIDDING.



Correct dimensions. [COVER SHEET, Sheet C3]

This wall is drawn facing the wrong direction. [COVER SHEET, Sheet C3]



SHAW ROAD E - PUBLIC ROW  
NOT TO SCALE

SEWER: Pre-application notes specify sewer connection in Crystal Ridge Dr. SE. Standard notes and procedures call for sewer mainlines to be extended through the development when possible. Existing configuration suggests a that a new pipe connection in the ROW would be prudent between the 2 existing manholes in Crystal Ridge. Connecting in Shaw may trigger upgrades to the conveyance system (identified in the sewer comp plan, although pre-application notes state that initial analysis indicates that there is capacity - more research is required) and we are also concerned about achieving gravity flow from the plat to the system in Shaw. [COVER SHEET, Sheet C3]

Retaining walls within 30ft of the front or street side property line shall be no taller than 3.5ft tall. See PMC 20.58.005 (2) (a) (i) for more information on requirements for retaining walls.

Revision	Date	By	Clk.	Appr.
1	2/19/24	TD	MSC	CMV

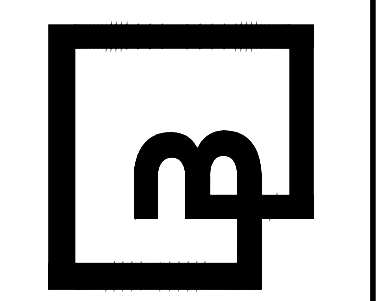
Title:  
**PRELIMINARY GRADING AND UTILITY LAYOUT**  
OF  
**NORMANDY HEIGHTS - PDR**

For:  
**RM HOMES**  
2913 5TH AVE. N.E.  
SUITE 201  
PUYALLUP, WA 98372



Scale:	Horizontal	1"=40'	Vertical	N/A
Designed	TD	Drawn	TD	Checked
				MSC
				CMV
Approved	CMV	Date	4/3/24	

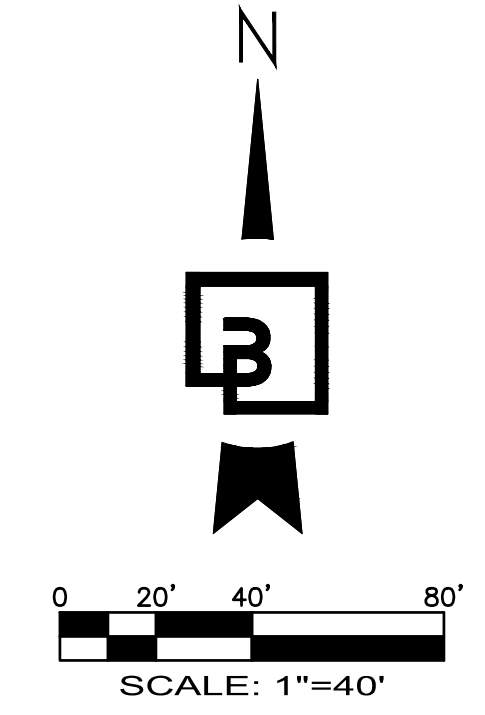
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Job Number  
**12663**  
Sheet  
**C3** of **5**

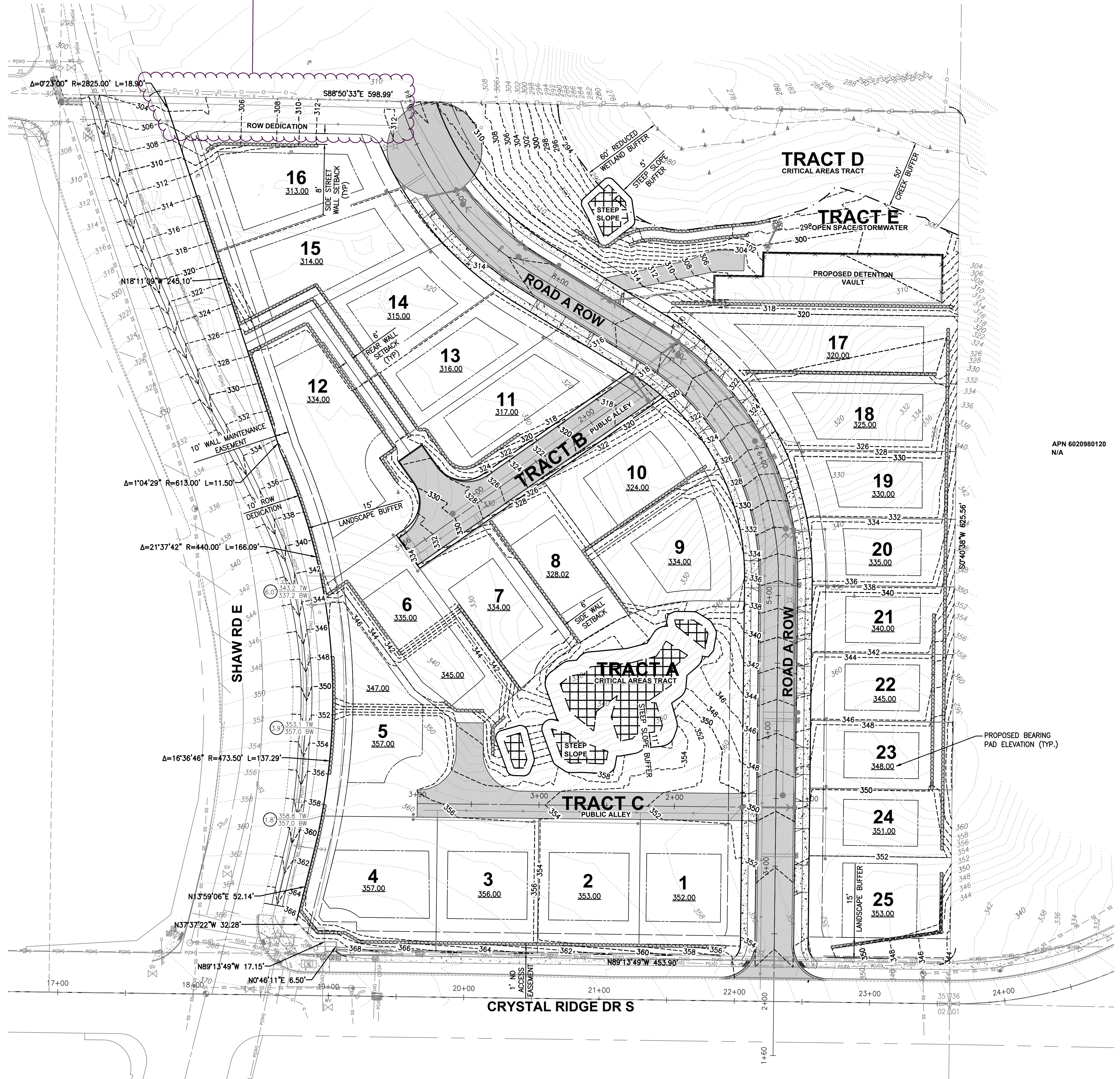
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**MASTER SITE PLAN**  
OF  
**NORMANDY HEIGHTS - PDR**  
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.  
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



Should the pedestrian infrastructure be built?

APN 0420354020  
1903 SHAW RD



**MASTER SITE PLAN NOTES**

- TAX #: 0420354039
- SITE AREA: 320,127± S.F. ( 7.35± AC)
- SITE ADDRESS: 2007 SHAW ROAD
- EXISTING USE: UNDEVELOPED
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- EXISTING ZONING: RS-10 (LOW URBAN DENSITY SINGLE FAMILY RESIDENTIAL)
- SURROUNDING ZONING:
  - NORTH: RS-10
  - SOUTH: RS-10
  - EAST: RS-10
  - WEST: RS-10
- EXISTING COMPREHENSIVE PLAN DESIGNATION: LOW DENSITY RESIDENTIAL
- PROPOSED MIN. LOT WIDTH: 50 FT
- MAXIMUM FLOOR AREA RATIO: 0.65
- PROPOSED AVERAGE LOT AREA: 5,000 SF
- REQUIRED MIN. SETBACKS:
  - FRONT/SIDE STREET: 25'
  - INTERIOR: 5' MIN, 16' TOTAL
  - REAR: 25'
  - SIDE YARD ADJACENT TO ROW: 15'
- MAX BASE HEIGHT OF BUILDINGS: 36 FEET
- MAX IMPERVIOUS COVERAGE: 40 PERCENT
- PROPOSED SHARED DRIVEWAYS (32%):
  - LOTS 4 & LOT 5
  - LOT 6 & LOT 12
  - LOT 11 & LOT 13
  - LOT 14 & LOT 15

**LOT TABLE**

LOT NO.	AREA (SQ. FT)
1	7503
2	7498
3	7484
4	9275
5	10396
6	7973
7	6393
8	6423
9	7053
10	7402
11	8024
12	13562
13	6578
14	6686
15	9310
16	9604
17	9278
18	7057
19	5857
20	5331
21	5258
22	5257
23	5256
24	5255
25	7870

Revision  
1 | 2/19/24 | TDM | MSC | CMV | Appr.  
No. | Date | By | Ckd. |

Title:  
**MASTER SITE PLAN**  
OF  
**NORMANDY HEIGHTS - PDR**

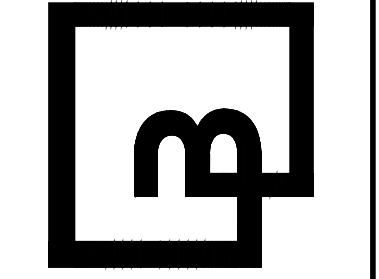
For:  
**RM HOMES**  
**2913 5TH AVE. N.E.**  
**SUITE 201**  
**PUYALLUP, WA 98372**



Scale:  
Horizontal 1"=40'  
Vertical N/A

Designed TDM  
Drawn TDM  
Checked MSC  
Approved CMV  
Date 4/3/24

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)

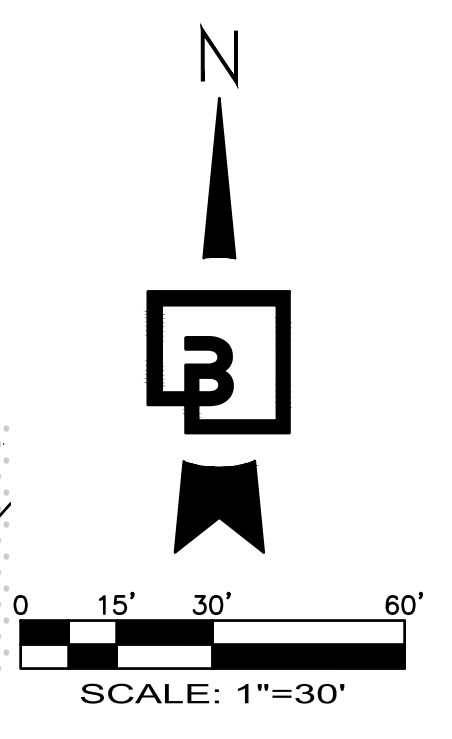
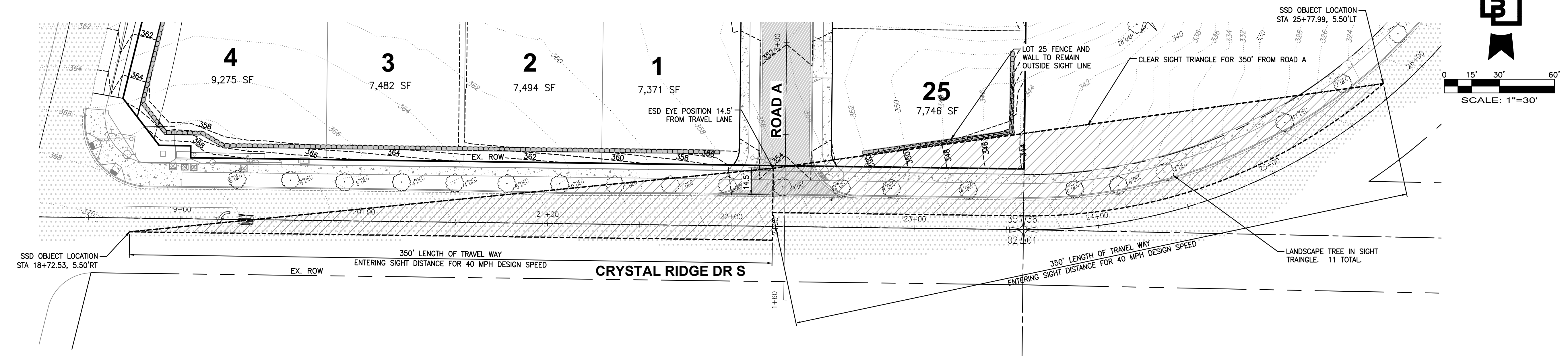


Job Number  
**12663**

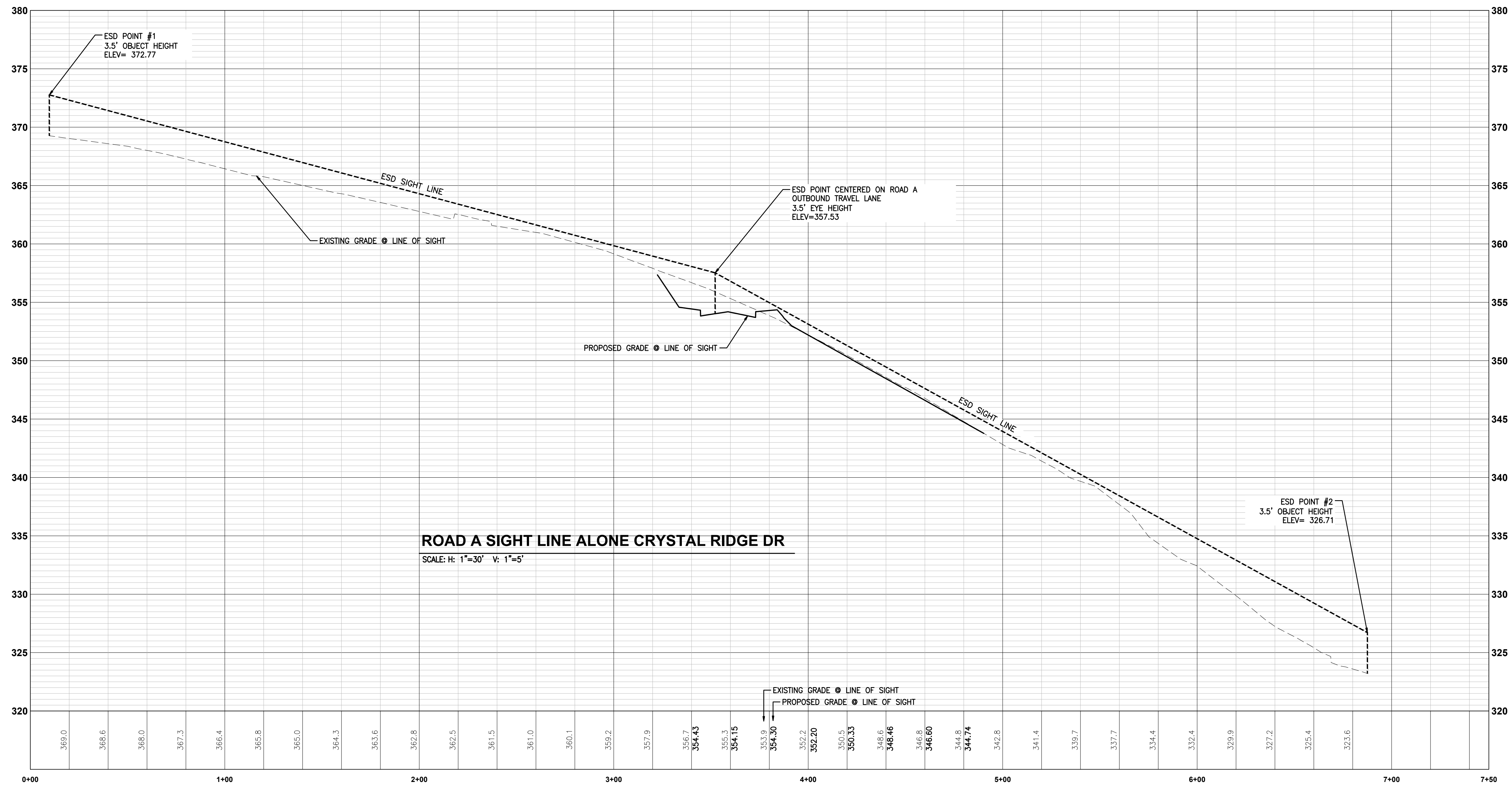
Sheet  
**C4** of **5**

P:\12000a\12663\preliminary\12663 - pd - mp.dwg 4/2/2024 1:48 AM MCOLLING

**ENTERING SIGHT DISTANCE EXHIBIT**  
 OF  
**NORMANDY HEIGHTS - PDR**  
 PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.  
 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



**CRYSTAL RIDGE DRIVE**  
 POSTED SPEED LIMIT 35 MPH  
 DESIGN SPEED LIMIT 40 MPH



Revision	Date	By	Check	Appr.	CMV	MSC	TDM
1	2/19/24						

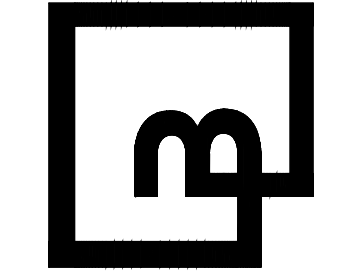
Title: **ENTERING SIGHT DISTANCE EXHIBIT**  
 OF  
**NORMANDY HEIGHTS - PDR**

For: **RM HOMES**  
**2913 5TH AVE. N.E.**  
**SUITE 201**  
**PUYALLUP, WA 98372**



Scale:	Horizontal	Vertical
	1"=40'	N/A
Designed	TDM	
Drawn	TDM	
Checked	MSC	
Approved	CMV	
Date	4/3/24	

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 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)



Job Number  
**12663**

Sheet  
**C5** of **5**

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