

STALL TYPES	EV%
	5%
EV INSTALLED	2%
OTHER	94%

WAC 51-50-0429 ELECTRIC VEHICLE PARKING

NAME	AREA	AREA %
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AMENITY AREA / OPEN SPACE	282 SF	0%
LANDSCAPE	1,232 SF	2%
LANDSCAPE BUFFER	1,488 SF	2%
RIGHT OF WAY	4,647 SF	7%
WALKWAY	548 SF	1%
	<b>8,196 SF</b>	<b>12%</b>

**IMPERVIOUS**

BUILDING FOOTPRINT	15,337 SF	22%
DRIVE / PARKING	24,889 SF	35%
WALKWAY	2,026 SF	3%

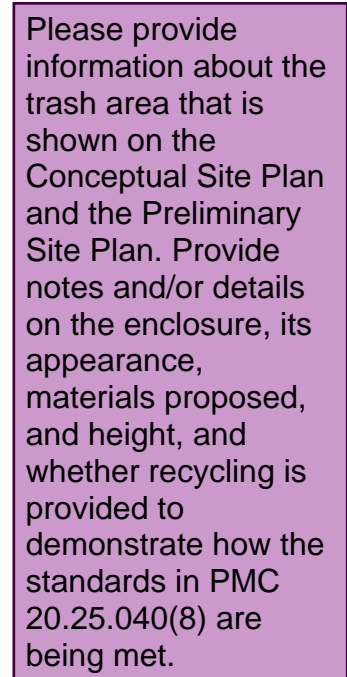
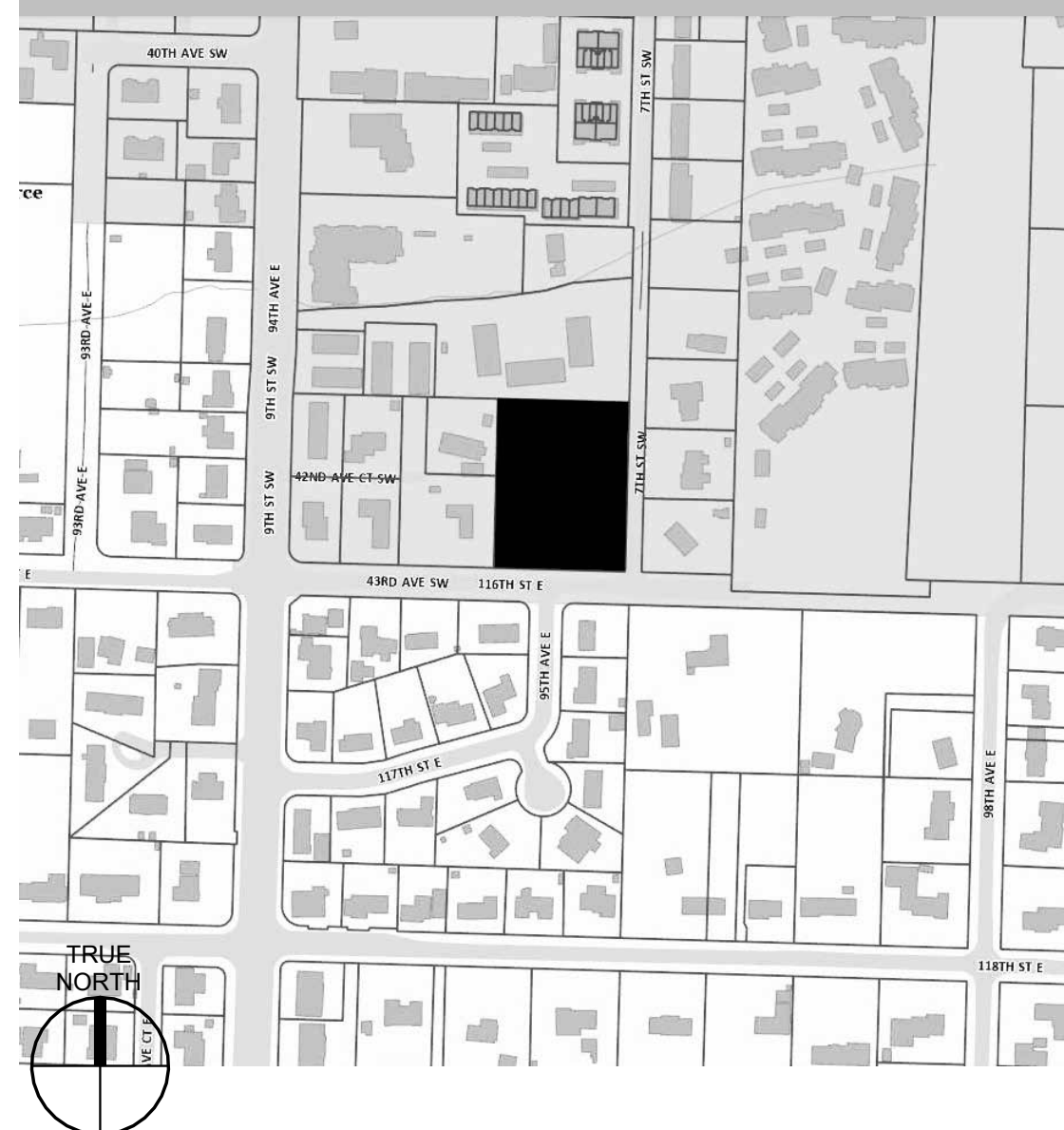
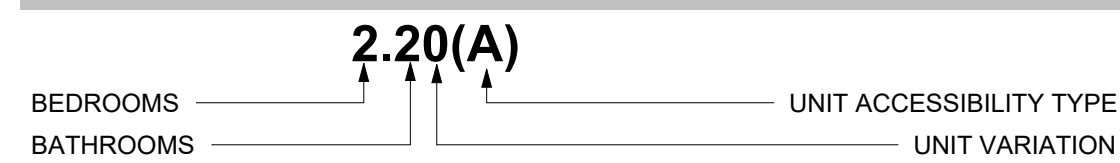
**PERVIOUS**

AMENITY AREA / OPEN SPACE	4,732 SF	7%
LANDSCAPE	10,090 SF	14%
LANDSCAPE BUFFER	5,588 SF	8%
WALKWAY	332 SF	0%

**2.20(A)**

BEDROOMS ———— UNIT ACCESSIBILITY TYPE

BATHROOMS ———— UNIT VARIATION



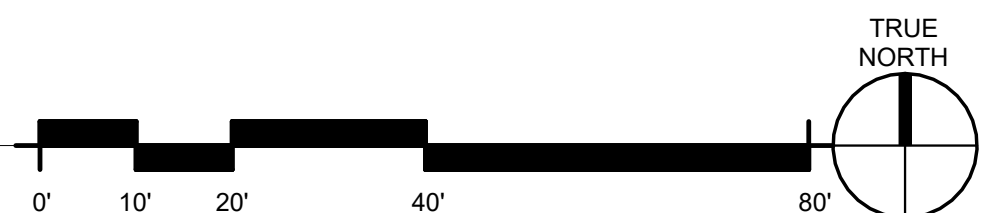
The exterior elevations and renderings indicate the finished grades around the structure will vary however, it is unclear exactly how much the topography will slope. Place finished grade elevation information on the site plan by providing topographic lines and elevations.

Please also provide spot elevation points for the corners of the buildings and along the south and east facing sides of the building as well as sidewalk and/or street grade to show the differences in finished grade at the face of the building and at the sidewalk and street.

Provide EV charging infrastructure as required in 2021 Washington State Building Code, Section 429.2.

Group R occupancies shall have a minimum 10% charging stations, 25% EV ready parking and 10% EV capable parking.

Each infrastructure should be defined and reflected on the site plan.



PROJECT NAME	43rd AVE. APARTMENTS
PROJECT SCOPE	NEW MULTI-FAMILY APARTMENTS
PROJECT LOCATION	PUYALLUP, WASHINGTON
PARCEL	432000-016-0
ZONING	RM-CORE
JURISDICTION	CITY OF PUYALLUP
SITE USE	MULTI-FAMILY DWELLING UNITS
SETBACK - FRONT YARD	5'-0"
SETBACK - REAR YARD	0'-0"
SETBACK - SIDE YARD	0'-0"
MAXIMUM LOT COVERAGE:	90%
MINIMUM LANDSCAPE AREA:	10%
UNIT DENSITY:	16 UNIT/ACRE (MIN) -- NO UNIT LIMIT/ACRE (MAX.)
BUILDING HEIGHT LIMIT:	50'-0" (3-STORIES)

CODE:	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 UNIFORM PLUMBING CODE 2021 INTERNATIONAL FIRE CODE 2021 WSEG (WAC 51-11C) 2017 ICC/ANSI A117.1
OCCUPANCY CLASSIFICATION:	R-2

PROPERTY	AREA	AREA (SF)
PARCEL 43200-016-0	1.67 acres	72,782 SF
	1.67 acres	72,782 SF

BUILDING	FIRE SPRINKLER	OCCUPANCY	CONSTRUCTION TYPE	BUILDING TYPE	COUNT
BUILDING	NFPA 13R	R-2	V-A	3-STORY	1

UNIT MODEL	UNIT COUNT
UNIT 1.10	4
UNIT 2.20	33
UNIT 2.21	2
UNIT 2.22	2
TOTAL UNITS	41

UNIT MODEL	UNIT BED COUNT	UNIT COUNT	PARKING/DU	STALLS REQUIRED
UNIT 1.10	1	4	1.5	6
UNIT 2.20	2	33	1.5	49.5
UNIT 2.21	2	2	1.5	3
UNIT 2.22	2	2	1.5	3
		41		61.5

UNIT TYPE	UNIT COUNT	UNIT %
1 BDRM / 1 BATH	4	9.8%
2 BDRM / 2 BATH	37	90.2%
TOTALS	41	100.0%

DESCRIPTION	TYPE	STALLS PROVIDED	PARKING %
COMPACT (8'-0" x 17'-0")	C	30	50.0%
ELECTRIC VEHICLE (8'-0" x 20'-0")	EV	3	5.0%
EVI HANDICAP (9'-0" x 20'-0")	EVI	1	1.7%
HANDICAP (9'-0" x 20'-0")	H	2	3.3%
STANDARD (9'-0" x 20'-0")	S	23	38.3%
VAN (11'-0" x 20'-0")	H	1	1.7%
TOTAL STALLS		60	100.0%

DESCRIPTION	TYPE	BICYCLE STALLS
MOTORCYCLE (4'-0" x 8'-0")	M	2
PCC 20.55.016 (1)		2

DESCRIPTION	TYPE	BICYCLE STALLS
BICYCLE (OUTDOOR)	B	5
PCC 20.55.016 (2)		5