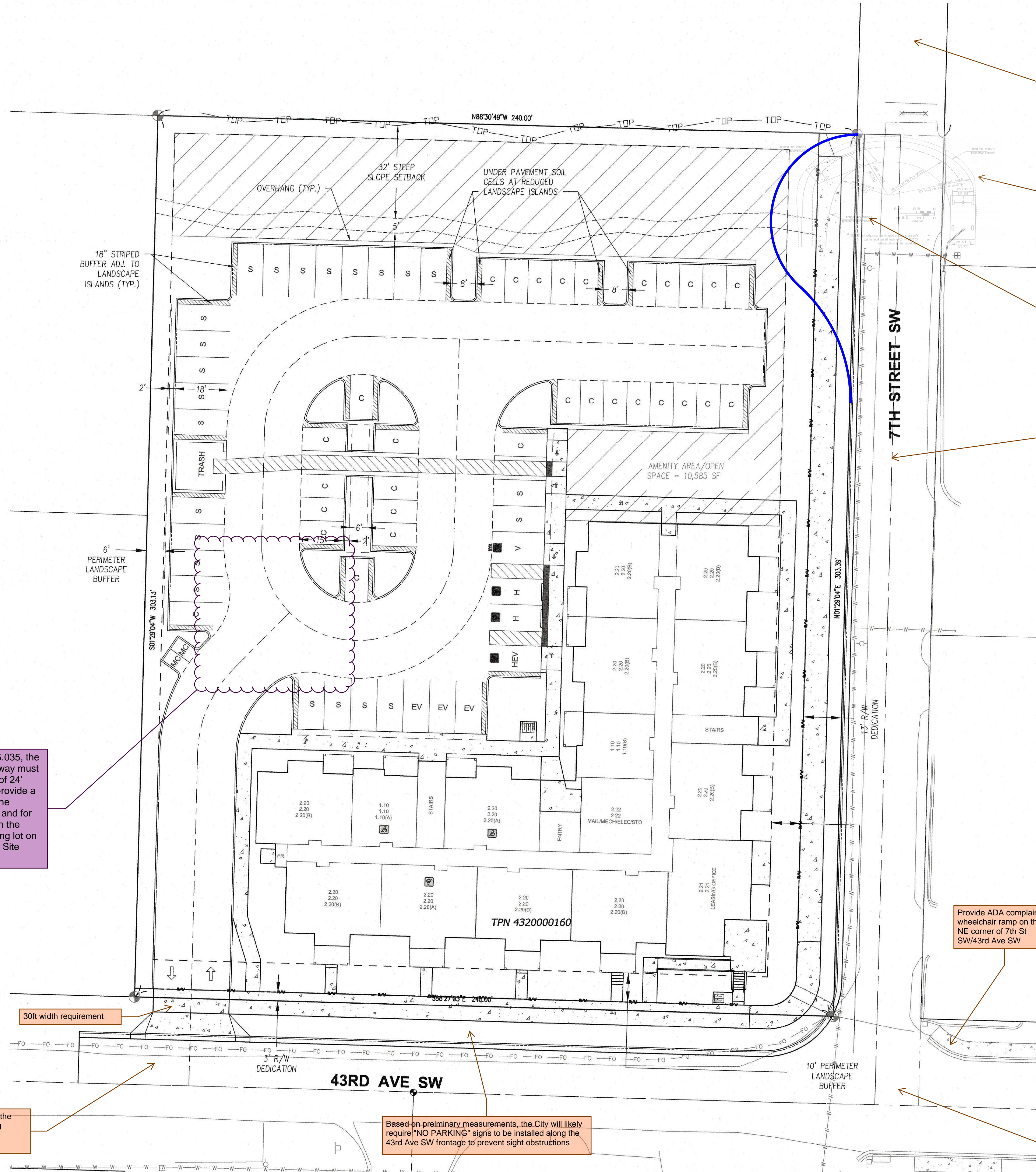
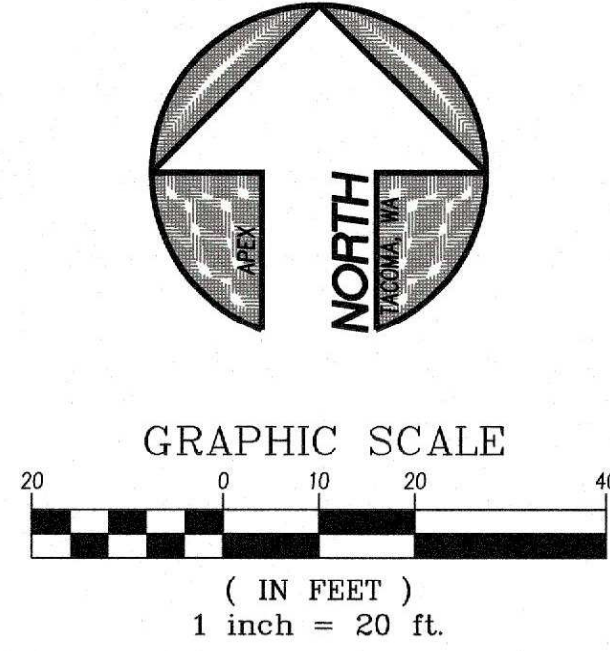


43RD AVENUE MULTI-FAMILY

PRELIMINARY SITE PLAN

A PORTION OF THE NW 1/4 OF THE NE 1/4, SECTION 9, TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON



The City of Puyallup is not requiring this development to extend 7th St SW for vehicular connectivity. However, the City will require a pedestrian connection path (within City ROW). Please reference planning comments for more details.

Place a City standard streetlight along the northern segment of 7th Street SW. Can be installed on the east side of the road to avoid overhead utilities. Use the following Leotek LED fixture: GCJ3-30J-MV-40K-2R-GY-080-XX

Required roadway widening will allow for on-street parking on the west side of 7th street SW. To safely accommodate circulation of vehicles on this street (dead end) provide a small turnaround at northern terminus of 7th street SW.

The 7th Street SW centerline alignment (from 39th Ave SW) is 5ft farther west of the CL shown here. Adjust ROW dedication and frontage design (shift face of curb offset 5ft farther west).

SITE DATA

SITE AREA : 72,782+/- SF. (1.67+/- ACRES)
PARCEL NUMBERS : 432000-016-0
EXISTING ZONING : RM-CORE
PROPOSED USE : MULTI-FAMILY APARTMENTS
NUMBER OF BUILDINGS : 1
NUMBER OF UNITS : 41
1 BEDROOM = 8
2 BEDROOM = 26
3 BEDROOM = 6
NUMBER OF PARKING REQUIRED : 62 (1.5 SPACES PER UNIT)
NUMBER OF PARKING PROVIDED : 62
30 COMPACT SPACE
30 TOTAL STANDARD SPACE
23 STANDARD SPACE
2 STANDARD HANDICAP
1 STANDARD HANDICAP VAN ACCESSIBLE
1 STANDARD HANDICAP ELECTRIC VEHICLE
3 STANDARD ELECTRIC VEHICLE
2 MOTORCYCLE SPACES
BOUNDARY & TOPOGRAPHY : SURVEY WAS PERFORMED BY HUITT-ZOLLARS AND SUPPLIED TO APEX ENGINEERING LLC BY THE CLIENT
R/W DEDICATION : 4,647+/- SF.
26' FIRE LANE : 545+/- LF. 13,726+/- SF.
NET ACREAGE : 51,426+/- SF. (1.18+/- ACRES)
OPEN SPACE CALC. : 51,426 SF. X 10% = 5,143+/- SF.
OPEN SPACE/AMENITY AREA SHOWN : 10,585+/- SF. (20.6%)
MAX. BUILDING HEIGHT : 50 FEET

Provide ADA complaint wheelchair ramp on the NE corner of 7th St SW/43rd Ave SW

Revise the notes on the preliminary site plan regarding open space to accurately reflect the requirement for 10% of net lot area to be amenity areas (PMC 20.25.040(2)). First, the Conceptual site plan says 5,290 sf provided and the Preliminary Site Plan says 10,585 sf. Please resolve.

Second, PMC 20.15.005 defines "Lot area, net" as "the total area, exclusive of streets, alleys, road easements or private roads within the boundary lines of a lot" and "Private road or easement" means "a parcel of land not dedicated as a public street but intersecting or connecting with a public street, or another private street, and for which a private easement for road purposes has been granted to owners of property contiguous or adjacent thereto and which has been recorded with the office of the county recorder." The drive aisle (noted as a 26' Fire Lane on the prelim. site plan) is not considered a street, alley, road easement, or private road and should be included in the net area of the site.

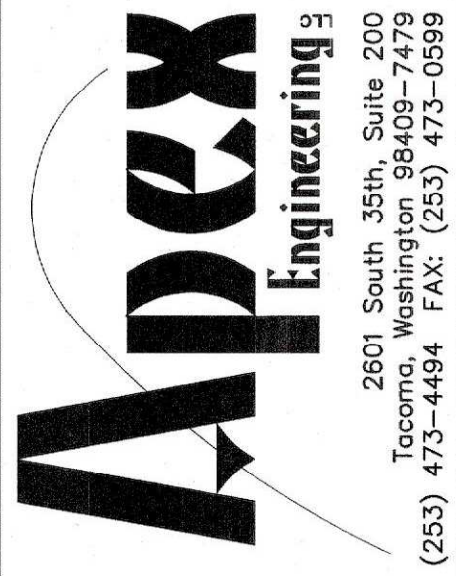
Place a City standard streetlight near this intersection. Can be installed on the south side of intersection to avoid overhead utilities. Use the following Leotek LED fixture: GCJ3-30J-MV-40K-2R-GY-080-XX

Per PMC 20.55.035, the aisle and driveway must be a minimum of 24' wide. Please provide a dimension for the driveway width and for the aisles within the proposed parking lot on the Preliminary Site Plan.

Place a City standard streetlight near the proposed driveway. Use the following Leotek LED fixture: GCJ3-30J-MV-40K-2R-GY-080-XX

Based on preliminary measurements, the City will likely require "NO PARKING" signs to be installed along the 43rd Ave SW frontage to prevent sight obstructions

REV NO	REVISION DESCRIPTION	DATE	BY



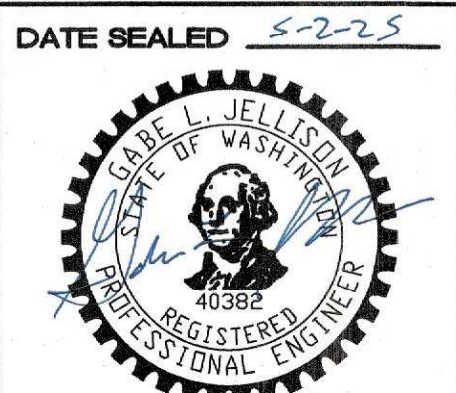
43RD AVENUE MULTI-FAMILY
PRELIMINARY SITE PLAN

DJL INVESTMENTS LLC
P.O. BOX 26446
FEDERAL WAY, WA 98001
ATTN: DAVID LITOWITZ (253) 986-8815

TITLE CLIENT



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DATE 01/16/25

SHEET 1 OF 1
FILE NO 35043-01
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