

SURVEY INFORMATION:

HORIZONTAL DATUM AND BASIS OF BEARINGS:
NAD 83/91
BASIS OF BEARINGS BEING N45°56'37"E, 7553.66' BETWEEN PIERCE COUNTY MONUMENTS PCWGS-463 (SW COR. S35, T20N, R4E, WM) AND PCWGS-86 (NE COR. S35, T20N, R4E, WM).

VERTICAL DATUM:
NAVD88 ESTABLISHED BY GPS OBSERVATION UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) USING NGS GEOID 2012B.

TAX PARCEL NUMBER – ADDRESS – LOT AREA:
0420354039 – 2007 SHAW RD – 320,127.14± S.F. (7.35± AC)

DATES OF SURVEY:
THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON 2/8/2022. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN JANUARY AND FEBRUARY OF 2022.

FLOOD INFORMATION:
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FLOOD INSURANCE RATE MAP (FIRM) NO. 53053C0342E PANEL 342 OF 1375, DATED 3/7/2017. THE SUBJECT PROPERTY IS IN ZONE X (UNSHADED), AN AREA OF MINIMAL FLOOD HAZARD.

SURVEYOR'S NOTES:
• ALL DISTANCES SHOWN HEREON ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET.
• THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP REPRESENT DEED LINES ONLY, AND DON'T PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.
• UNDERGROUND UTILITIES AND FEATURES DEPICTED HEREON ARE BASED ON FIELD OBSERVATION, MARKINGS, DEVELOPMENT PLANS, AND/OR AVAILABLE RECORDED DOCUMENTS ONLY. THE TRUE LOCATION, NATURE AND/OR EXISTENCE OF BELOW GROUND FEATURES, DETECTED OR UNDETECTED SHOULD BE VERIFIED.
• THE LEGAL DESCRIPTION AND SPECIAL EXCEPTIONS SHOWN HEREON ARE PER THE TITLE REPORT REFERENCED HEREON UNLESS OTHERWISE NOTED.
• THIS SURVEY HAS DEPICTED ALL VISIBLE OCCUPATIONAL INDICATORS (IE. FENCE LINES, BUILDINGS, WALLS, ETC. –SEE MAP FOR PARTICULARS) PER W.A.C. 332-130. LINES OF OCCUPATION, AS DEPICTED, MAY INDICATE AREAS OF POTENTIAL CLAIMS OF UNWRITTEN OWNERSHIP. THIS SURVEY HAS ONLY DEPICTED THE RELATIONSHIP BETWEEN LINES OF OCCUPATION AND DEEDED LINES OF RECORD. NO RESOLUTION OF OWNERSHIP BASED ON UNWRITTEN RIGHTS HAS BEEN MADE BY THIS SURVEY OR BY ANY PERSONNEL OF BARGHAUSEN CONSULTING ENGINEERS, INC.
• THIS IS A FIELD TRAVERSE SURVEY. A TRIMBLE R12i GPS AND A TRIMBLE S-7 ROBOTIC TOTAL STATION (TRIMBLE TSC7 DATA COLLECTOR) WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN W.A.C. 332-130-090. ALL INSTRUMENTS AND EQUIPMENT HAVE BEEN MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURERS' SPECIFICATION AND USED BY APPROPRIATELY TRAINED PERSONNEL.
• THE RECORD DESCRIPTION FOR THE SUBJECT PROPERTY MATHEMATICALLY CLOSES.
• ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS STATED WITHIN W.A.C. 332-130-145 FOR TOPOGRAPHIC MAPS, INCLUDING THE FOLLOWING: THE SOURCE OF THE CONTOURS SHOWN HEREON ARE BASED UPON DIRECT FIELD OBSERVATIONS. THE CONTOUR ACCURACY IS PER NATIONAL MAPPING STANDARDS, BEING ONE HALF OF THE TWO FOOT CONTOUR INTERVAL. THE PURPOSE OF THIS SURVEY IS TO MAP THE CURRENT CONDITIONS FOR ENGINEERING DESIGN.

TITLE INFORMATION:

TITLE COMMITMENT:
ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT NO. 0223369-16 (REVISION 3RD COMMITMENT), DATED FEBRUARY 24, 2022 AT 08:00 AM. INCLUDED ARE APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSURE. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

LEGAL DESCRIPTION:
(AS PER ABOVE REFERENCED TITLE REPORT)

FOR APN/PARCEL ID(S): 042035-4039:
THE SOUTH HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M., IN PIERCE COUNTY, WASHINGTON, LYING EASTERLY OF SHAW RD;
RECORDS OF PIERCE COUNTY, WASHINGTON,
AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF PUYALLUP BY INSTRUMENT RECORDED OCTOBER 2, 1991 UNDER RECORDING NO. 9110020348,
RECORDED OCTOBER 22, 2009 UNDER RECORDING NO. 200910220021, RECORDS OF PIERCE COUNTY, WASHINGTON,
SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

EXISTING:

POWER VAULT

LUMINAIRE (LUM.)

POWER METER

POWER POLE

JUNCTION BOX (AS NOTED)

CATCH BASIN (CB)

STORM MANHOLE (SDMH)

SANITARY SEWER MANHOLE (SSMH)

GAS VALVE

WATER VALVE (WV)

FIRE HYDRANT (FH)

WATER METER

SIGN

WELL

GUARD POST (GP)

FLAG POLE (FP)

MAILBOX

SURVEY MONUMENT (AS NOTED)

BENCHMARK

SECTION CORNER (AS NOTED)

FOUND REBAR/CAP (AS NOTED)

FOUND LEAD/TACK

CONCRETE

GRAVEL

PAVEMENT

WATER LINE

SANITARY SEWER LINE

STORM DRAINAGE LINE

GAS LINE

TELEPHONE UNDERGROUND

POWER UNDERGROUND

POWER OVERHEAD

CHAIN LINK FENCE

BARBED WIRE FENCE

WOOD FENCE

ROCKERY RETAINING WALL

LOCK AND LOAD RETAINING WALL

CONTOUR (MAJOR)

CONTOUR (MINOR)

GUARD RAIL/CABLE FENCE

PROJECT BOUNDARY LINE

SECTION LINE

RIGHT-OF-WAY

CENTERLINE

PROPOSED LOT LINE

EASEMENT LINE

PHASE LINE

SAWCUT

HOGWIRE FENCE

STREAM/CREEK

WETLAND BOUNDARY

STREAM BUFFER

WETLAND BUFFER

WETLAND/STREAM DATA POINT

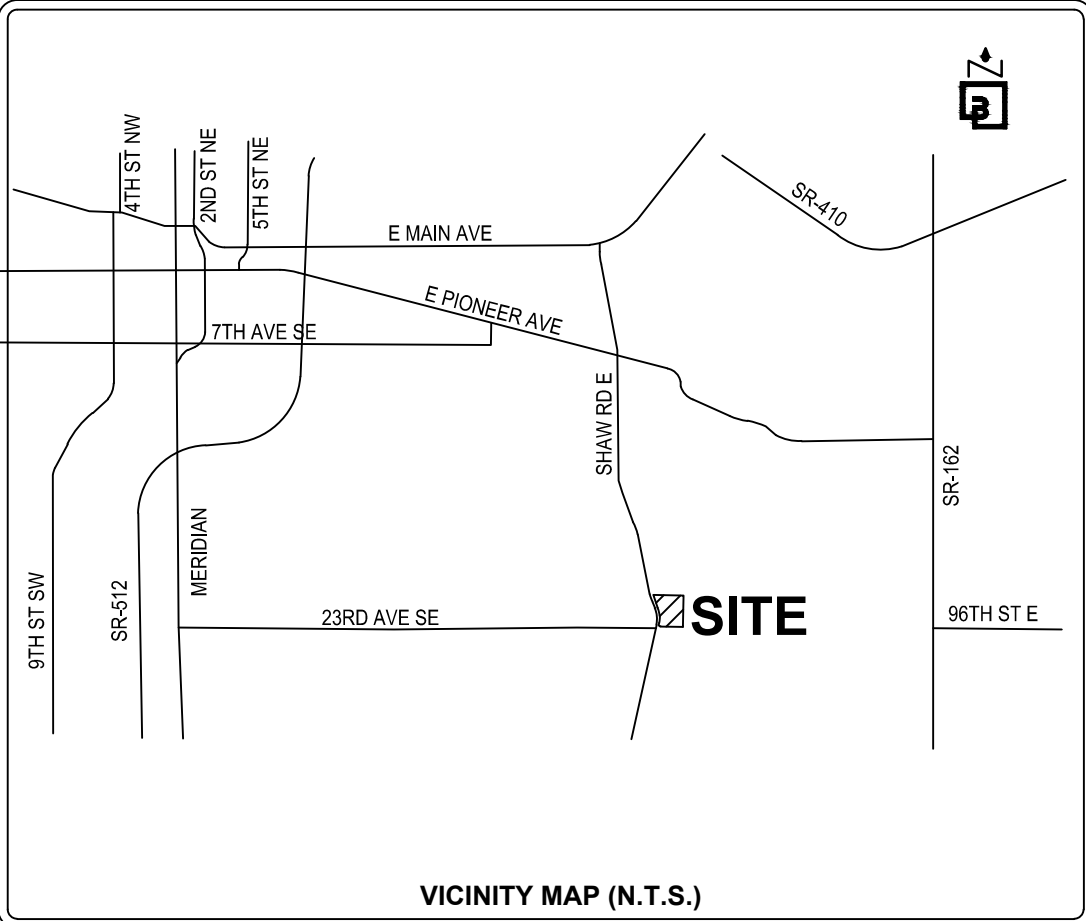
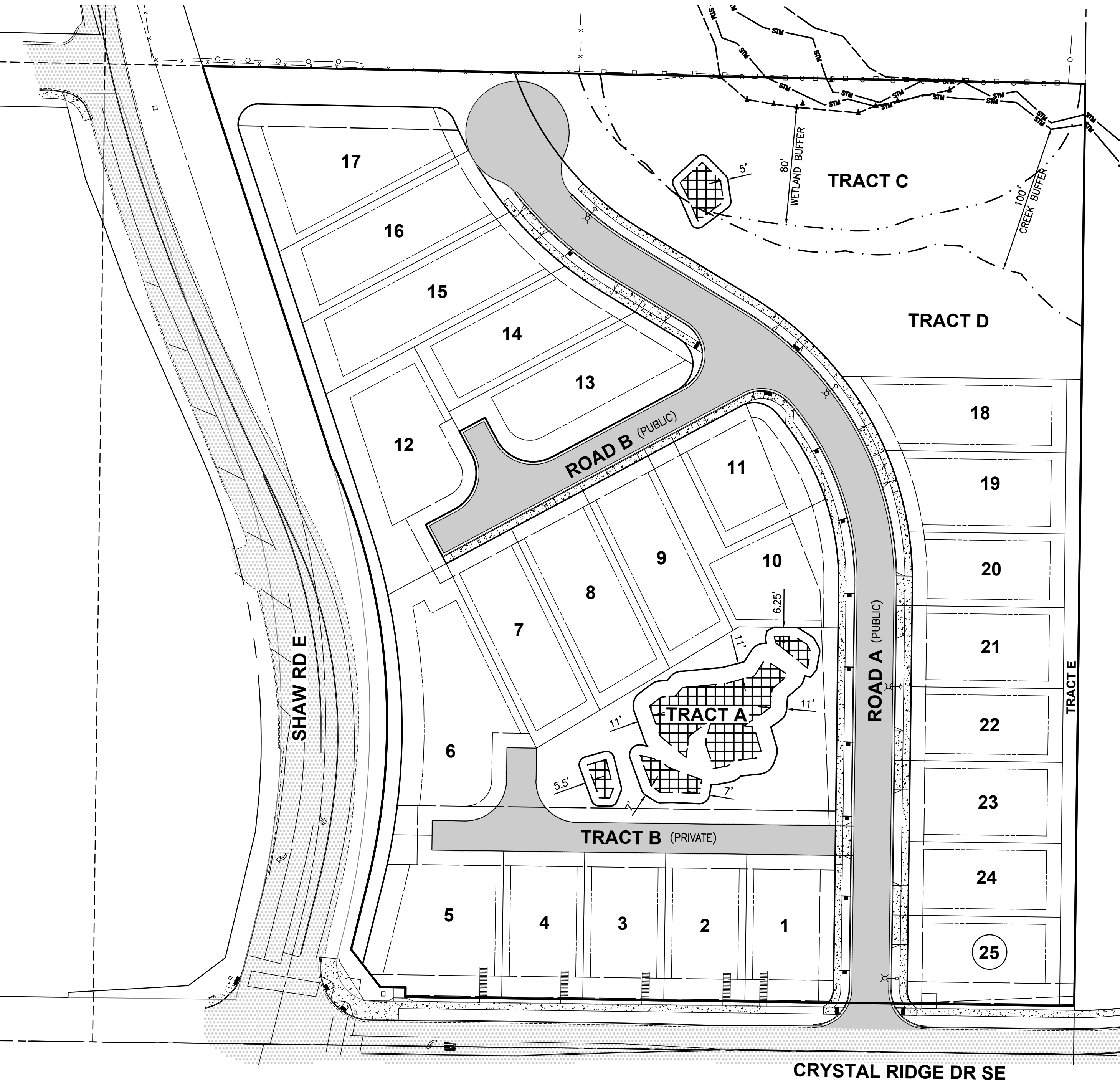
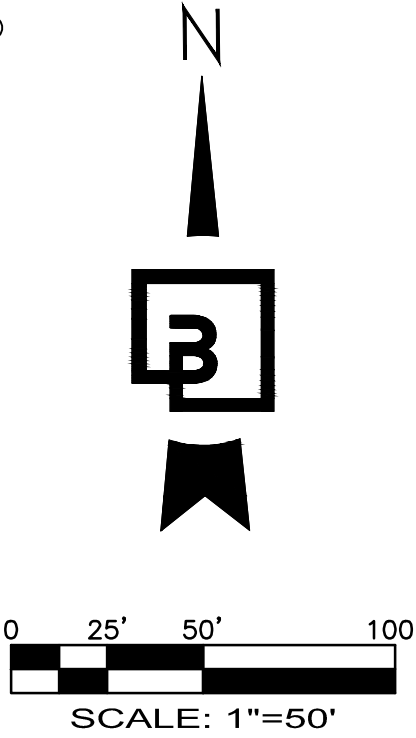
STEEP SLOPE AREA & BUFFER

PROPOSED:

CRITICAL AREA NOTES

1. TRACT A, C, & D
- THESE TRACTS CONTAIN A STEEP SLOPE/LANDSLIDE HAZARD AND/OR EROSION HAZARD AREA. THESE AREAS ARE PRONE TO MASS LAND MOVEMENT AND/OR SOIL EROSION. RETENTION OF VEGETATION AND LAND COVERED BY VEGETATION IS KEY TO PREVENTING IMPACTS TO LIFE, STRUCTURES AND IMPROVEMENTS IN THESE AREAS. MODIFICATION OF LAND OR VEGETATION AND/OR ENCROACHMENT/CONVERSION OF THESE AREAS IS STRICTLY PROHIBITED WITHOUT PRIOR GOVERNMENT APPROVAL.
2. TRACT C
- THIS TRACT CONTAINS A WETLAND AND/OR WETLAND BUFFER THAT IS PROTECTED BY FEDERAL, STATE AND LOCAL REGULATIONS. A WETLAND IS A PERMANENTLY, SEMI-PERMANENTLY, OR SEASONALLY FLOODED AREA OF LAND WITH A DISTINCT ECOSYSTEM BASED ON HYDROLOGY, HYDRIC SOILS, AND VEGETATION ADAPTED FOR LIFE IN WATER SATURATED SOILS. WETLANDS PROVIDE NUMEROUS BENEFITS TO THE NATURAL ENVIRONMENT INCLUDING WATER QUALITY, FLOOD CONTROL, WILDLIFE HABITAT, SHORELINE STABILITY, AND AESTHETIC VALUES. MODIFICATION OF LAND OR VEGETATION AND/OR ENCROACHMENT/CONVERSION OF THESE AREAS IS STRICTLY PROHIBITED WITHOUT PRIOR GOVERNMENT APPROVAL.

PRELIMINARY COVER SHEET
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



SHEET INDEX

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LANDSCAPE SHEET INDEX

L1	OF	2	LANDSCAPE PLAN
L2	OF	2	LANDSCAPE PLAN

OWNER:

RM HOMES
ADDRESS: 2913 5TH AVE. N.E. SUITE 201
PUYALLUP, WA 98327

BIOLOGIST:

SOUNDVIEW CONSULTANTS LLC
ADDRESS: 2907 HARBORVIEW DRIVE,
SUITE D
GIG HARBOR, WA 98335
CONTACT: JON PICKETT

ENGINEER:

BARGHAUSEN CONSULTING ENGINEERS
CONTACT: CARA VISITAINER, PE
ADDRESS: 18215 72ND AVENUE SOUTH
KENT, WA 98032
(425) 251-6222

APPLICANT:

RM HOMES
ADDRESS: 2913 5TH AVE. NE
SUITE 201
PUYALLUP, WA 98372
CONTACT: JAMES KERBY

SURVEYOR:

BARGHAUSEN CONSULTING ENGINEERS
CONTACT: MARK DUFFNER, P.L.S.
ADDRESS: 18215 72ND AVENUE SOUTH
KENT, WA 98032
(425) 251-6222

GEOTECHNICAL ENGINEER:

EARTH SOLUTIONS NW LLC
CONTACT: SCOTT RIEGEL, L.G.
ADDRESS: 2881 152ND AVE NE
REDMOND, WA, 98052
(425) 284-3300

UTILITY CONTACT LIST

WATER / SEWER:
CITY OF PUYALLUP
333 S MERIDIAN
FLOOR 3
PUYALLUP, WA 98371
(253) 841-5550
POWER/GAS: PUGET SOUND ENERGY
CUSTOMER CONSTRUCTION SERVICES
14616 SE 192ND ST
RENTON, WA 98058
(253) 630-9900
CABLE/TEL: COMCAST CABLE COMMUNICATIONS
4020 AUBURN WAY NORTH
PUYALLUP, WA 98371
(253) 288-7538
FIRE: CENTRAL PIERCE FIRE AND RESCUE
17520 22ND AVE E
SPANAWAY, WA 98387
(253) 538-6400

GENERAL SITE DATA:

*SEE SHEET 3 FOR LIST OF MASTER SITE PLAN DEVELOPMENT STANDARDS.

ADDRESS: 2007 SHAW RD
TAX PARCEL ID: 0420354039
EXISTING ZONING: RS-10 LOW URBAN DENSITY SINGLE FAMILY
GROSS SITE AREA: 320,127± SF (7.35± AC)
WETLAND AREA: 4,367 SF (0.10 AC)
PUBLIC ROAD R.O.W.: 55,940 SF (1.28 AC)
MINIMUM DENSITY: NO MINIMUM
MAXIMUM DENSITY: 4 DU/AC (29 LOTS MAX)
SITE DENSITY: 25 DU / 6.44 NET ACRES = 3.9 DU/AC
SMALLEST PROPOSED LOT: 5,165 SF (LOT 22)
LARGEST PROPOSED LOT: 11,338 SF (LOT 6)
PROPOSED BUILDING SETBACKS:
FRONT: 10 FT
GARAGE: 20 FT
INTERIOR SIDE YARD: 5 FT
STREET SIDE YARD: 15 FT
REAR YARD: 10 FT

PRELIMINARY COVER SHEET

PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

Title:

RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372

For:

Scale:

Horizontal 1"=50'
Vertical 1"=50'

Designed

Drawn

Checked

Approved

Date

Barghausen Consulting Engineers, LLC.

18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number

12663

Sheet

1 of 12



PRELIMINARY PLAT MAP
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE

EASEMENT KEYNOTES:

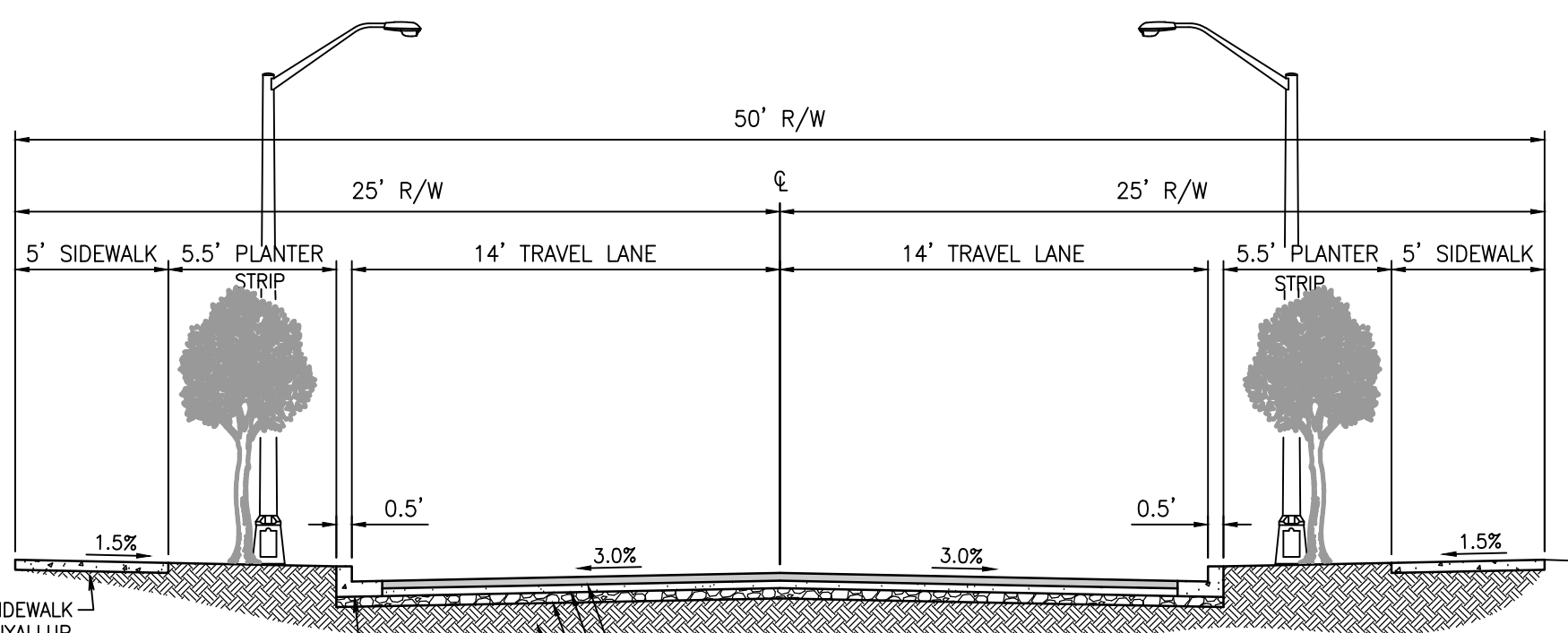
① TEMPORARY PUBLIC TURN AROUND EASEMENT - 35' RADIUS TO BE EXTINGUISHED UPON EXTENSION OF THE PUBLIC ROAD. AREA TO BE RESTORED UPON EXTENSION OF THE PUBLIC ROAD.

ABBREVIATIONS:

UE	UTILITY EASEMENT (ALL UTILITIES PUBLIC AND PRIVATE)
PSDE	PRIVATE STORM DRAINAGE EASEMENT
WLE	PUBLIC WATERLINE EASEMENT
SSE	PUBLIC SANITARY SEWER EASEMENT
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
PSE	PUBLIC STORM DRAINAGE EASEMENT
SE	SIDEWALK EASEMENT
BSBL	BUILDING SETBACK LINE
ESD	ENTERING SIGHT DISTANCE

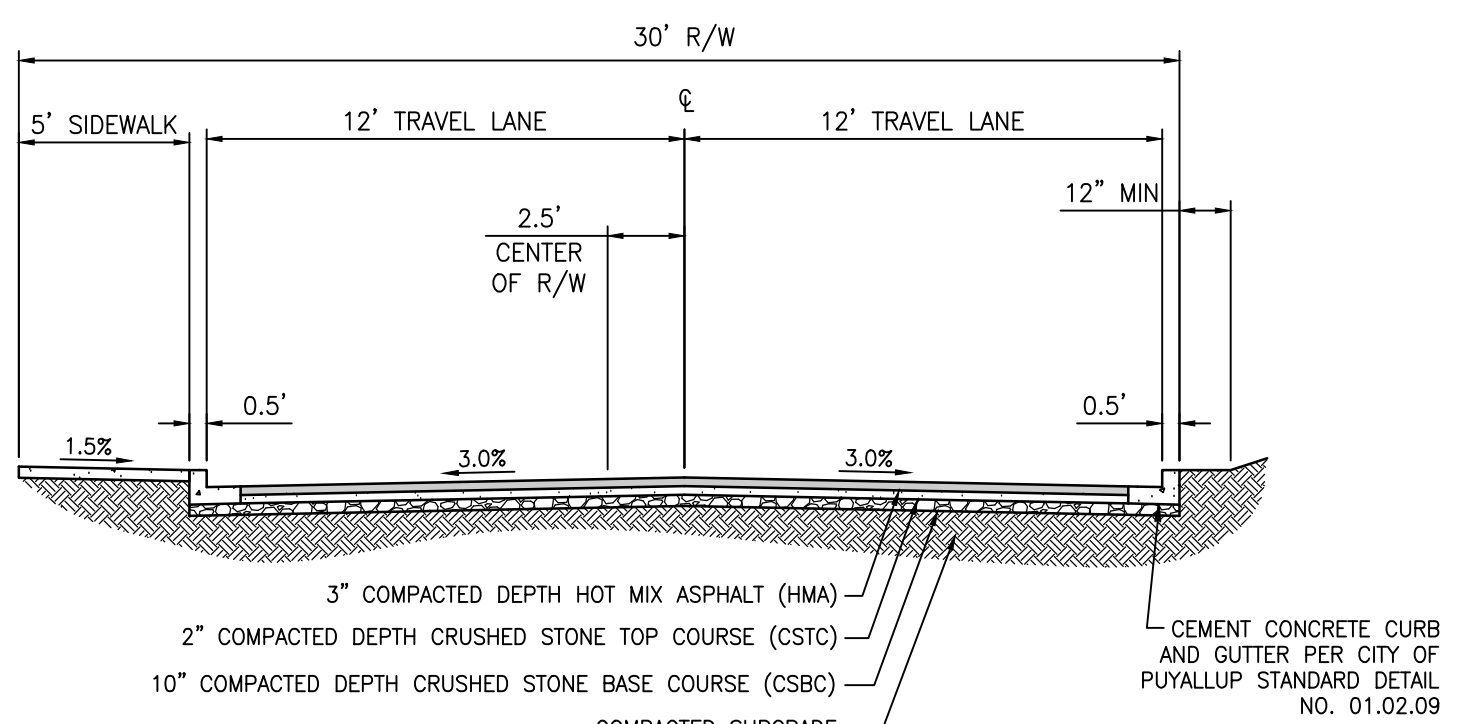
BUILDING SETBACKS

FRONT:	10 FT
GARAGE:	20 FT
INTERIOR SIDE YARD:	5 FT
STREET SIDE YARD:	15 FT
REAR YARD:	10 FT



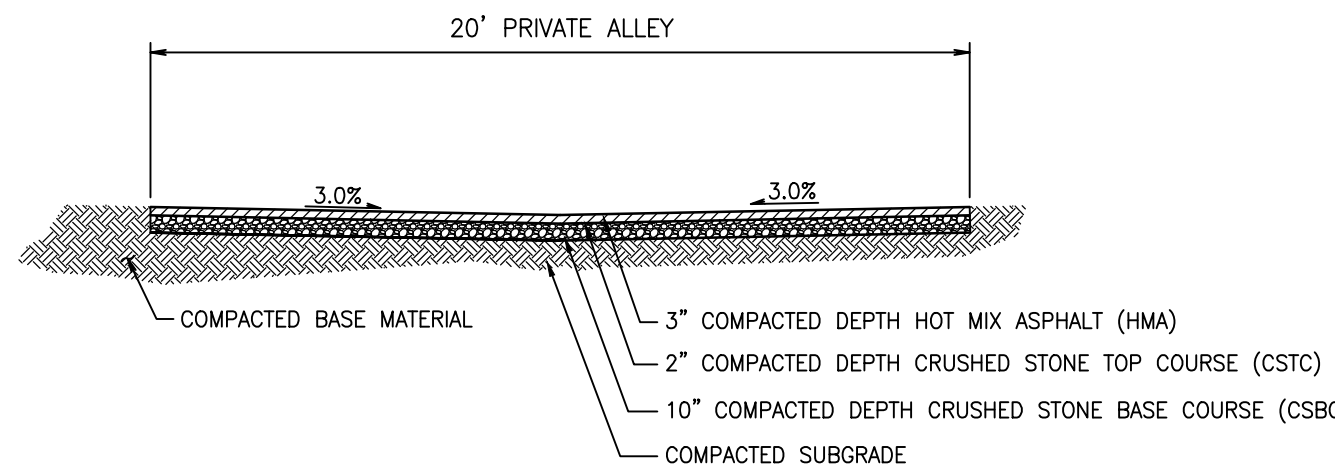
ROAD A - 28' PUBLIC ROAD

SCALE: NTS



ROAD B - 30' PUBLIC ROAD

SCALE: NTS



TRACT B - 20' ALLEY (PRIVATE)

SCALE: NTS

Revision		No.	Date	By	Appr.
2	9/18/25	1	14/14/25	CMW	CMW
1	9/17/24			CMW	CMW

PRELIMINARY PLAT MAP

RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372

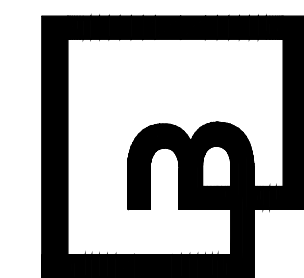
For:



Scale:
Horizontal 1"=40'
Vertical

Designed	CHK
Drawn	CHK
Checked	CHK
Approved	CMW
Date	10/17/25

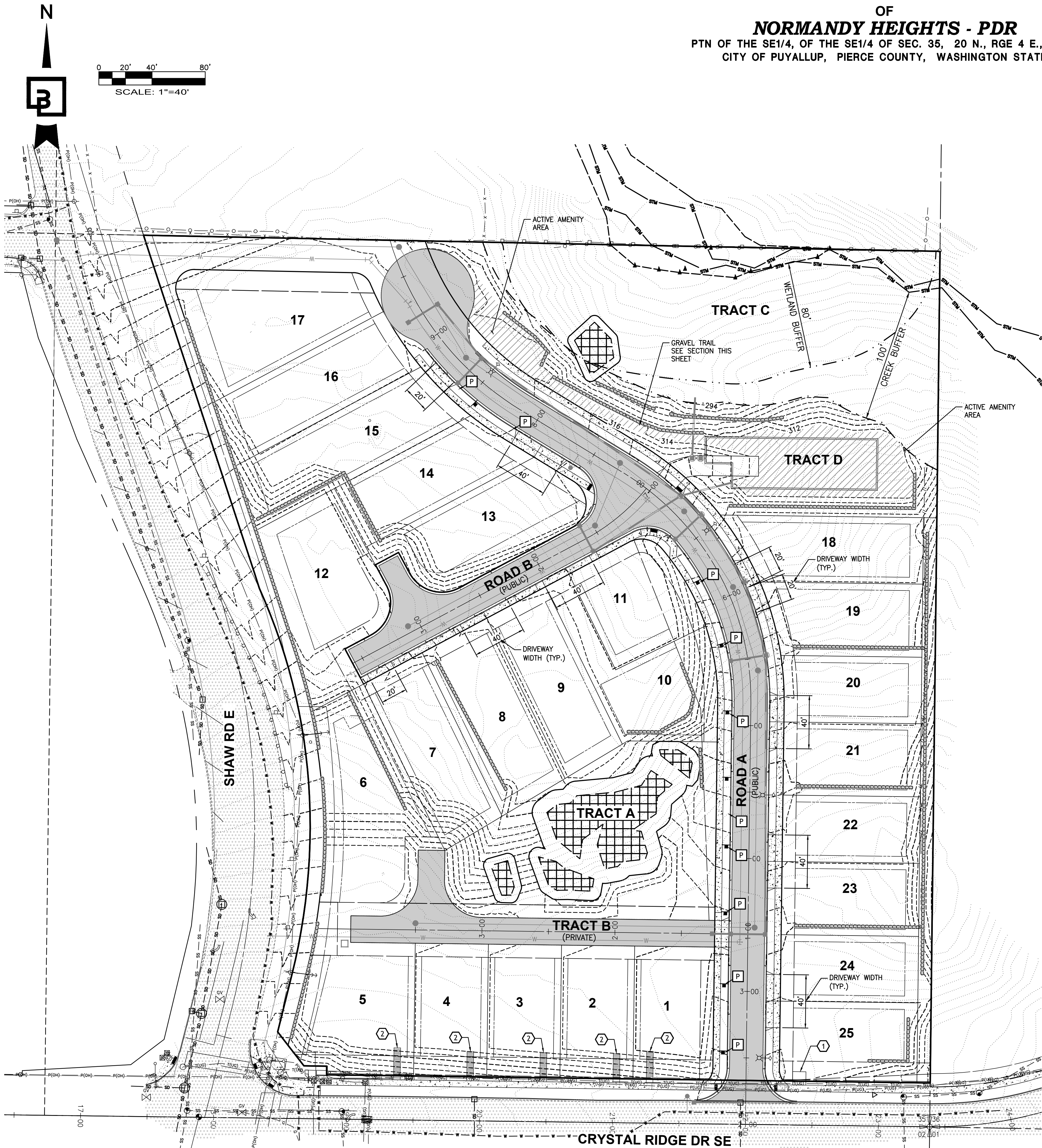
Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number
12663

Sheet
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MASTER SITE PLAN
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



SPECIFIC DEVELOPMENT STANDARD NOTES:

- TAX #: 0420354039
- SITE AREA: 320,127± S.F. (7.35± AC)
- SITE ADDRESS: 2007 SHAW ROAD
- EXISTING USE: UNDEVELOPED
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL
- EXISTING ZONING: RS-10 (LOW URBAN DENSITY SINGLE FAMILY RESIDENTIAL)
- SURROUNDING ZONING: NORTH: RS-10
SOUTH: RS-10
EAST: RS-10
WEST: RS-10
- EXISTING COMPREHENSIVE PLAN DESIGNATION: LOW DENSITY RESIDENTIAL
- PROPOSED MIN. LOT WIDTH: 50 FT
- PROPOSED MIN. LOT AREA: 5,165 SF
- GROSS PARCEL AREA (EXCLUDING PUBLIC ROW): 272,651 SF
- COMMON OPEN SPACE REQ'D: 27,265 SF (10%)
- COMMON OPEN SPACE PROVIDED: 84,292 SF (32%)
- NET LOT AREA: 173,288 SF
- AMENITY AREA REQ'D: 8,664 SF (5.0%)
- AMENITY AREA PROVIDED: 8,736 SF (5.5%)
- MAX BASE HEIGHT OF BUILDINGS: 36 FEET
- PROPOSED SETBACKS:
FRONT: 10 FT
GARAGE: 20 FT
INTERIOR SIDE YARD: 5 FT
STREET SIDE YARD: 15 FT
REAR YARD: 10 FT
MAX LOT COVERAGE: 45%
MAXIMUM FLOOR AREA RATIO: 0.65
PROPOSED REAR YARD GARAGES (20%): LOTS 1 THRU 5
- PROPOSED SHARED DRIVEWAYS (52%): LOTS 8-11, 13 & 14, 18-25
- CURB CUT CALCULATION:
TOTAL STREET FRONTAGE: ±1,885 LF
CURB CUT PER LOT (APPROACH WIDTH): 20 FT
MIN. LOT WIDTH: 50 FT
CURB CUT % PER LOT: 20 LF MAX/ 50 FT = 40%
LOTS ALONG CURB FRONTAGE: 19 LOTS
TOTAL (LF) OF CURB CUT: 20 FT X 19 LOTS = 380 LF
TOTAL CURB CUT %: 380 LF / 1,885 LF = 20%

LOT AREA TABLE

LOT NO.	AREA (SF)	LOT NO.	AREA (SF)
1	5,990	16	7,592
2	5,498	17	9,630
3	5,496	18	6,808
4	5,495	19	6,214
5	8,732	20	5,194
6	11,335	21	5,678
7	7,244	22	5,165
8	7,438	23	5,684
9	6,633	24	5,171
10	7,556	25	6,202
11	5,526	TRACT A	21,414
12	9,607	TRACT B	6,809
13	8,328	TRACT C	35,859
14	6,460	TRACT D	22,767
15	8,547	TRACT E	4,251

COMMON OPEN SPACE

LOT NO.	AREA (SF)	DESCRIPTION
TRACT A	21,414	PRIVATE CRITICAL AREA
TRACT C	35,859	PRIVATE CRITICAL AREA
TRACT D	22,767	PRIVATE STORM FACILITY
TRACT E	4,251	OPEN SPACE

WATER MAIN NOTE:

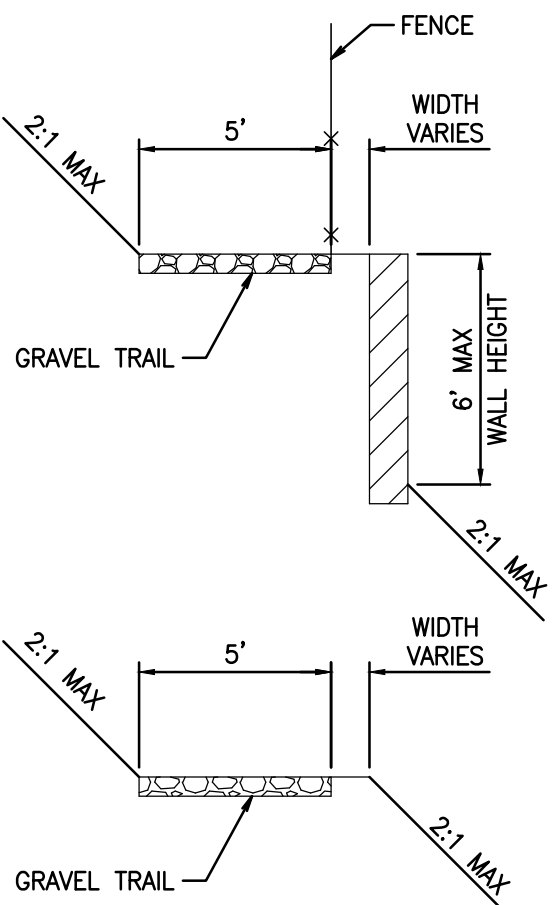
- ONCE THE NEW WATER MAIN LOOP HAS PASSED PURITIES AND PRESSURE CHECKS AND HAS BEEN TIED INTO THE WATER SYSTEM, THE EXISTING WATER MAIN ON SHAW ROAD WILL BE ABANDONED BETWEEN THE TWO CONNECTION POINTS.

KEYNOTES:

- INSTALL SCHOOL BUS WAITING AREA
- INSTALL STAIRS FOR ACCESS TO FRONTAGE LOTS 1-5
- INSTALL "NO PARKING" SIGN, NO PARKING PROVIDED ON WEST SIDE OF ROAD A. 60 FT SPACING ON CENTER MAX.

LEGEND

AMENITY AREA/ACTIVE RECREATION



TRAIL SECTION

SCALE: NTS

2 9/18/25 CMW BSK BSK CMW
1 4/14/25 CMW BSK BSK CMW
Revised per DRT Letter 9/17/24
Revised per DRT Letter 9/17/24

Title:

MASTER SITE PLAN

RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372

For:



Scale:

Horizontal

Vertical

Designed BSK

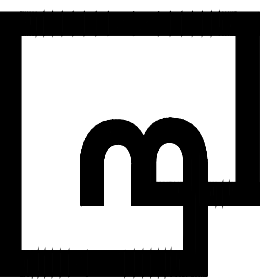
Drawn BSK

Checked BSK

Approved CMW

Date 10/16/25

Barghausen
Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

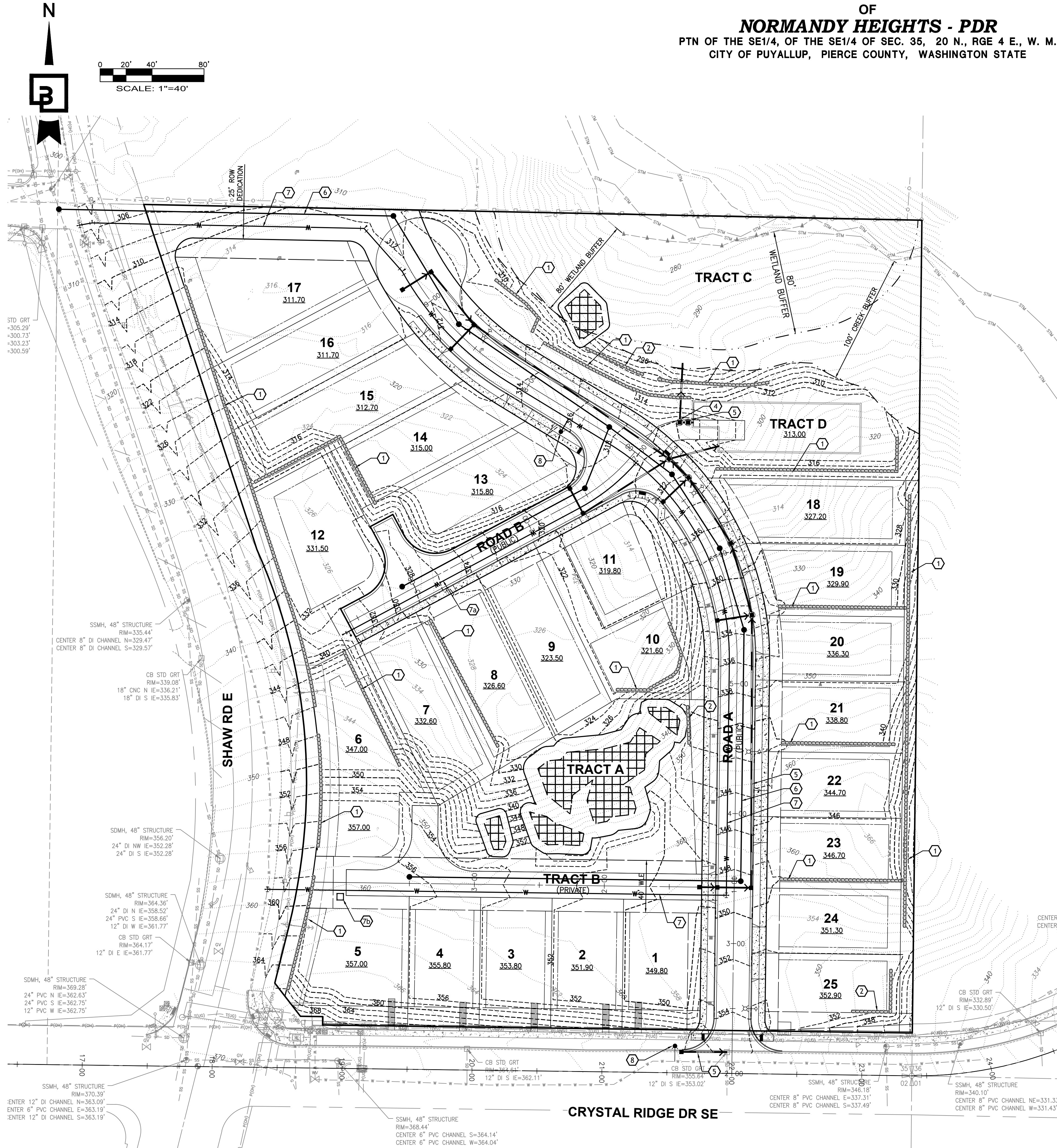


Job Number
12663

Sheet

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PRELIMINARY GRADING AND UTILITY LAYOUT
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



TRACT D - STORMWATER FACILITY
DETENTION VAULT:

DETENTION VAULT
LIVE STORAGE DEPTH = 14.5 FT
TOP OF VAULT EL = 311.50
DESIGN WATER SURFACE EL = 310.00
BOTTOM DETENTION EL = 295.50
VOLUME REQUIRED = 60,900 CF
VOLUME PROVIDED = 62,150 CF

ESTIMATED EARTHWORK:

CUT: 44,200 CY
FILL: 21,200 CY
NET: 23,000 CY (CUT)

EARTHWORK QUANTITIES PROVIDED ARE PRELIMINARY ESTIMATES AND REPRESENT THE CUT/FILL VOLUME DIFFERENCE BETWEEN DESIGN AND EXISTING GROUND SURFACE. THESE ESTIMATES ARE INTENDED FOR PLANNING ONLY AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION OR BIDDING PURPOSES.

KEYNOTES:

- 1 6 FT MAX HEIGHT WALL
- 2 3.5 FT MAX HEIGHT WALL
- 3 STORMWATER CONTROL STRUCTURE
- 4 STORMWATER FACILITY WATER QUALITY STORMFILTER
- 5 PROPOSED STORMWATER SYSTEM
- 6 PROPOSED SANITARY SEWER SYSTEM
- 7 PROPOSED 8" WATER MAIN
- 7a PROPOSED 4" WATER MAIN
- 7b RELOCATED PRV
- 8 INSTALL FIRE HYDRANT

GENERAL STORMWATER
REQUIREMENTS:

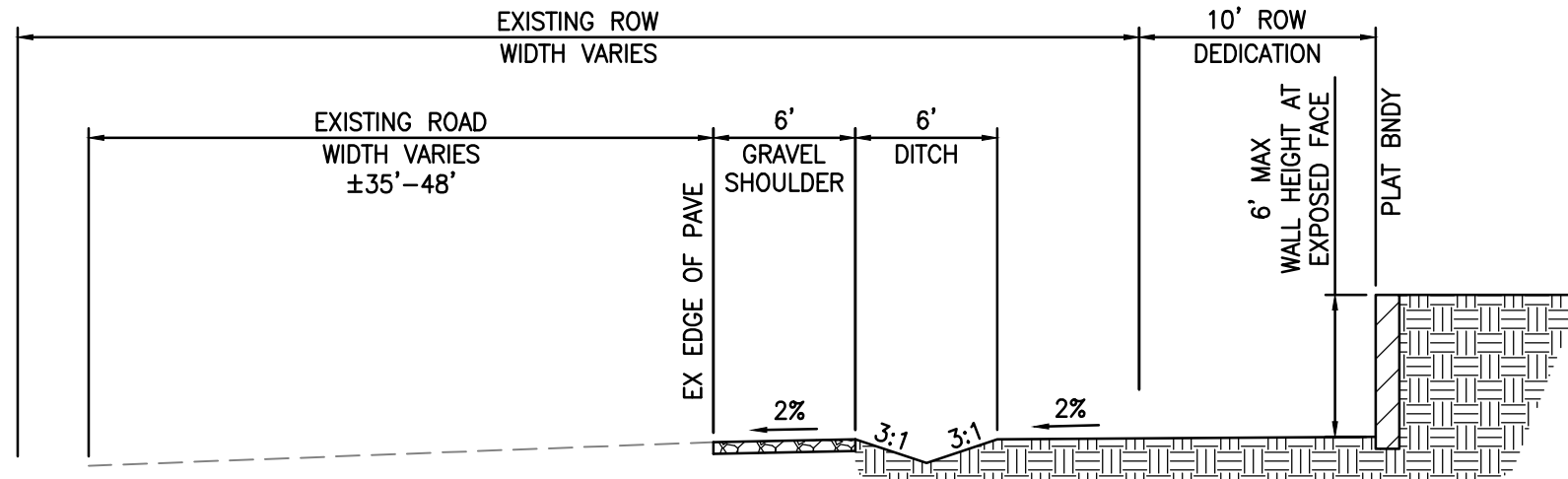
1. THE GENERAL DESIGN AND CONSTRUCTION REQUIREMENTS FOR THE CITY OF PUYALLUP SHALL BE THOSE CONTAINED IN THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION; AND THE UNIFORM PLUMBING CODE AS ADOPTED BY THE WASHINGTON STATE BUILDING CODE COUNCIL, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP DESIGN STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").

GENERAL SEWER
REQUIREMENTS:

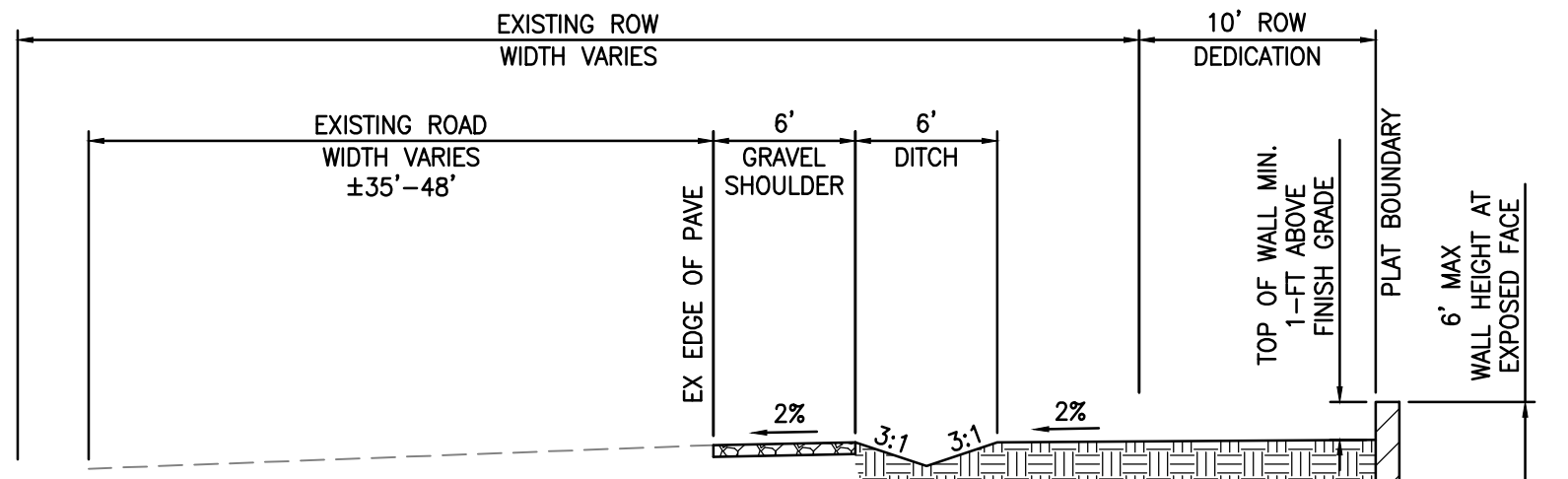
1. THE DESIGN OF SANITARY SEWERS SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF THE STATE OF WASHINGTON, DEPARTMENT OF ECOLOGY MANUAL, CRITERIA FOR SEWAGE WORKS DESIGN, REVISED AUGUST 2008, AS THERE AFTER; AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUYALLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
2. SIDE SEWERS SHALL BE INSTALLED FROM THE CITY SEWER MAIN TO 15 FEET BEYOND THE PROPERTY LINE AT ALL BUILDING SITES AND SHALL BE A MINIMUM OF 6 INCHES IN DIAMETER WITH A 0.02 FOOT PER FOOT MINIMUM SLOPE. THE DEPTH AT THE PROPERTY LINE SHALL BE A MINIMUM OF 5 FEET.

WATER NOTE:

PRESSURE REDUCING VALVES
WILL BE REQUIRED FOR EACH
WATER SERVICE



FILL WALL SECTION



CUT WALL SECTION

SHAW ROAD IMPROVEMENTS

SCALE: NTS

Revision	
No.	Date
2	9/18/25
1	4/14/25

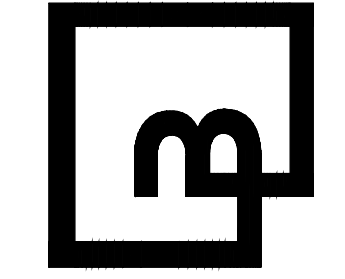
Title:
PRELIMINARY GRADING AND UTILITY LAYOUT

For:
RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



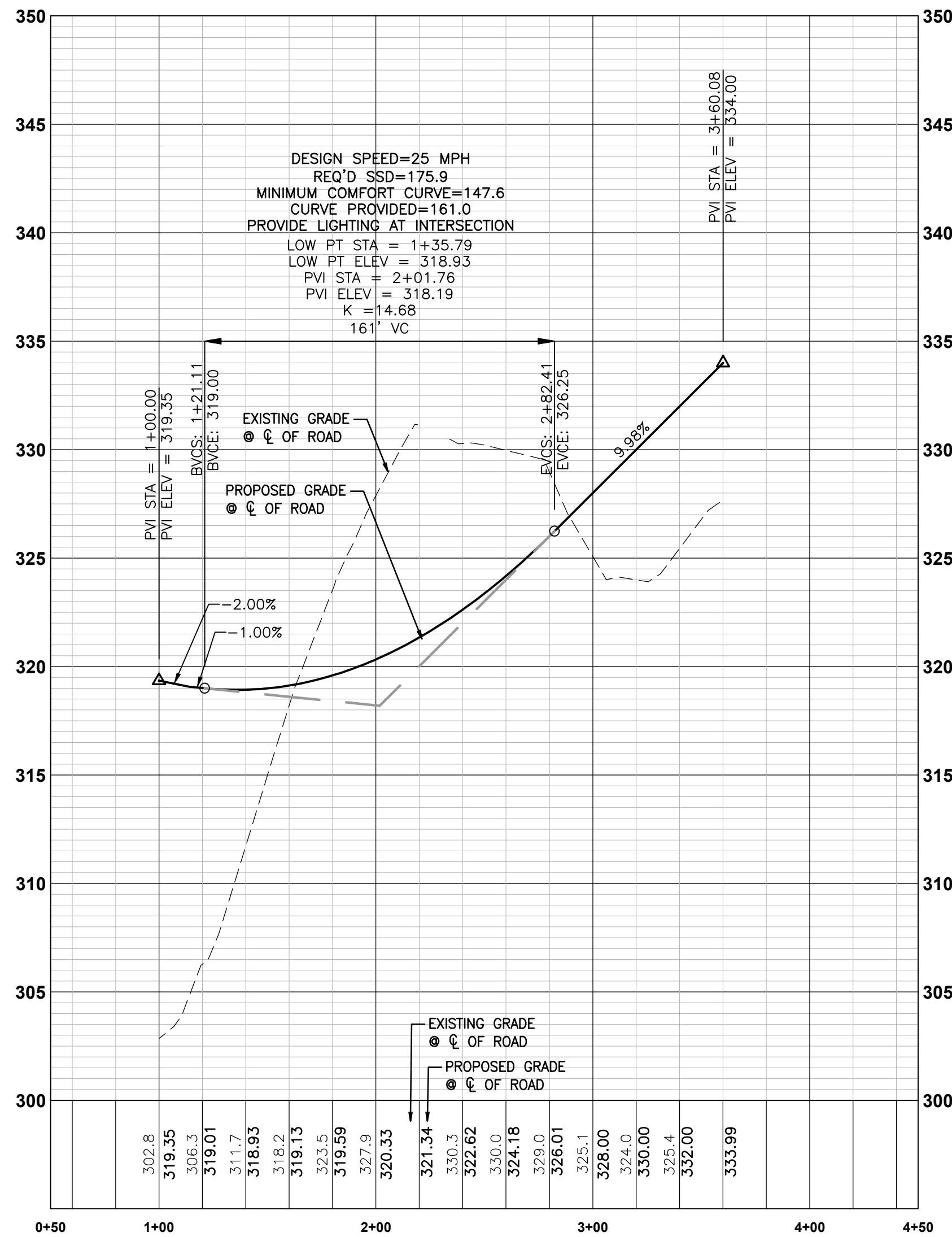
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1"=40'		
Designed	Drawn	Checked
BOK	BOK	BOK
Approved	Approved	Approved
CMW	CMW	CMW
Date	10/16/25	

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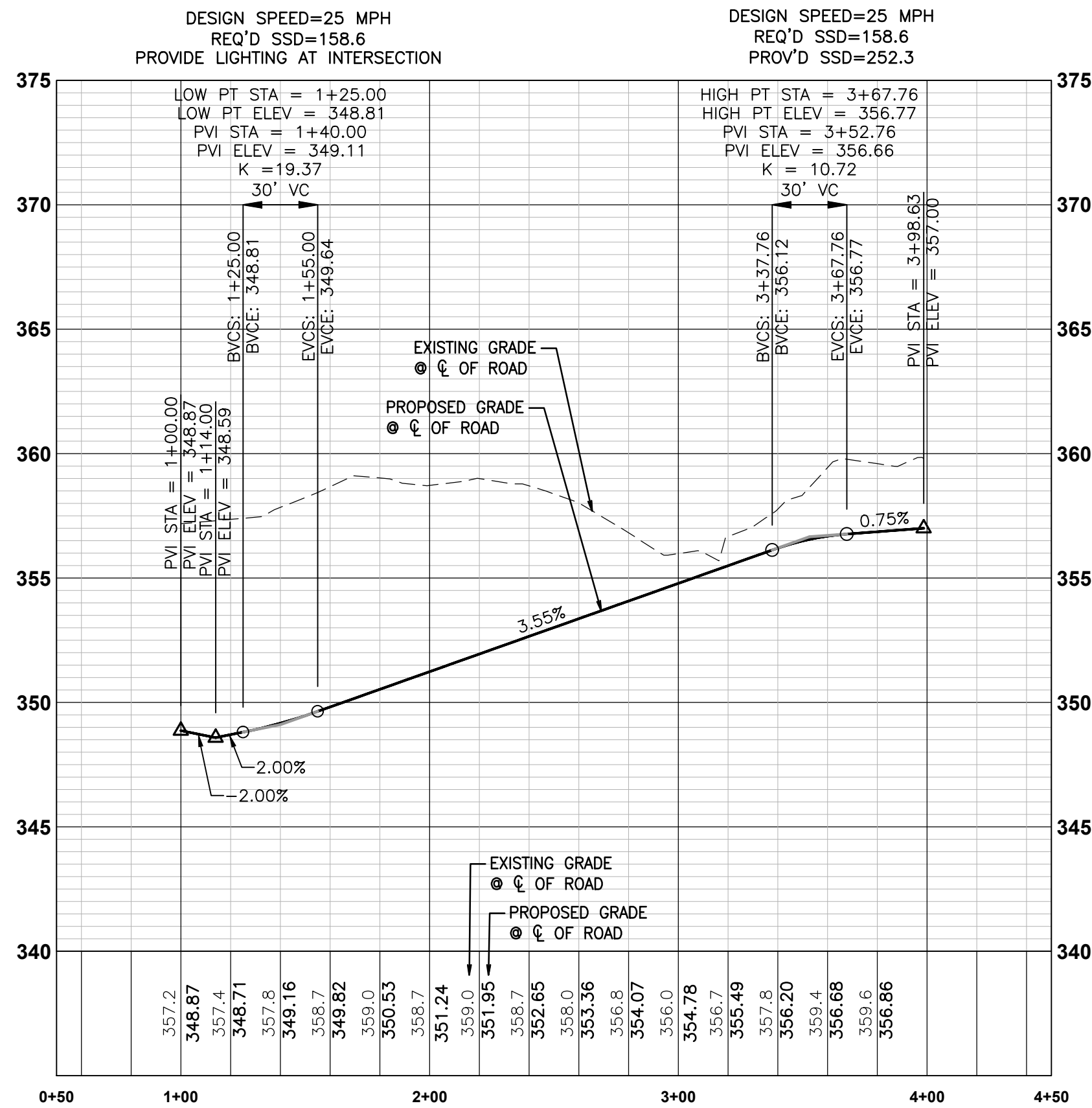
Job Number
12663
Sheet
4 of 12

ROAD B AND TRACT B ALLEY PLAN AND PROFILE
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



ROAD B (PUBLIC)

SCALE: H:1"=50' V:1"=5'



TRACT B - PRIVATE ALLEY

SCALE: H:1"=50' V:1"=5'

No.	Date	By	Ckd.	Appr.	Revised Per DRT Letter
2	9/18/25	BCK	BCK	CW	REVISED PER DRT LETTER
1	4/14/25	BCK	BCK	CW	REVISED PER DRT LETTER 9/17/24

Title:

ROAD B AND TRACT B ALLEY
PLAN AND PROFILE
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

For:

RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



Scale:
Horizontal
1"=50'
Vertical
1"=5'

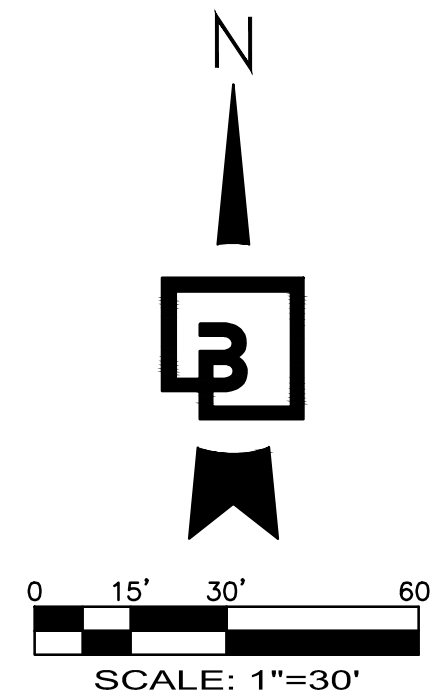
Designed BCK
Drawn BCK
Checked BCK
Approved CW
Date 10/16/25

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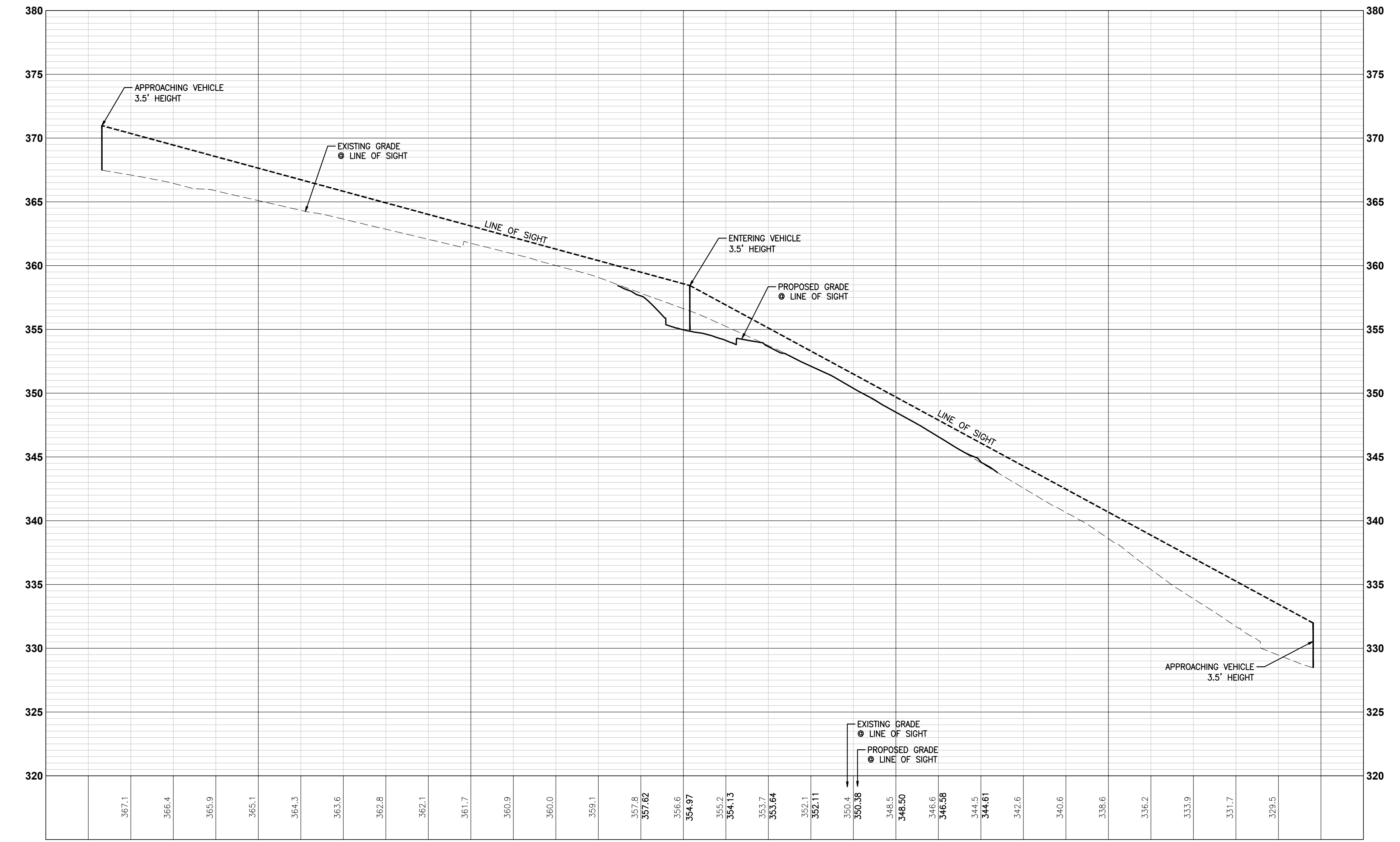
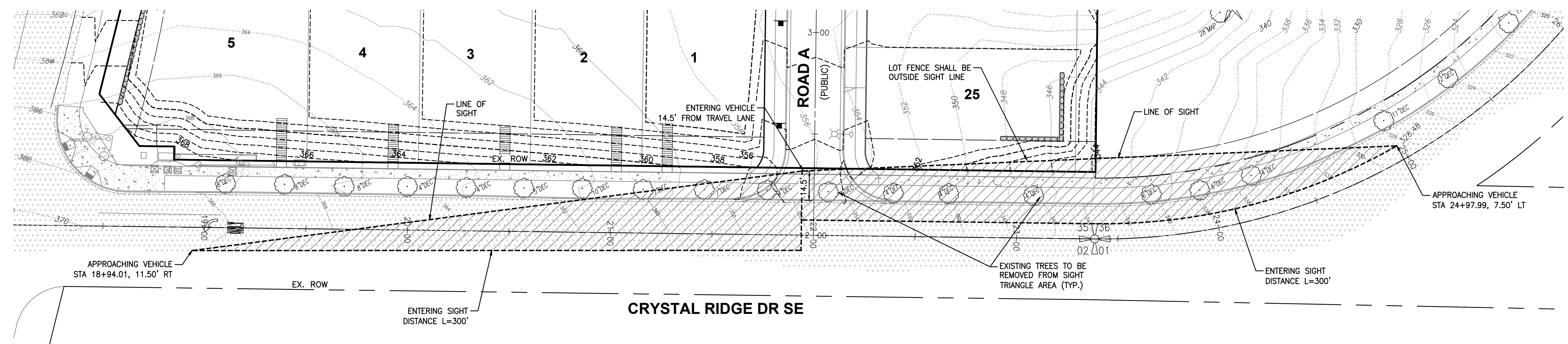
Job Number
12663

Sheet

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ENTERING SIGHT DISTANCE EXHIBIT
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



CRYSTAL RIDGE DR SE ENTERING SIGHT DISTANCE
SCALE: H: 1"=30' V: 1"=5'

CRYSTAL RIDGE DRIVE SE
POSTED SPEED: 25 MPH
DESIGN SPEED: 35 MPH
ESD REQUIRED=300-FEET

No.	Date	By	Chd.	Appr.	Revised
2	9/18/25	BSK	BSK	CMW	REVISED PER DRT LETTER 9/17/24
1	4/14/25	BSK	BSK	CMW	REVISED PER DRT LETTER 9/17/24

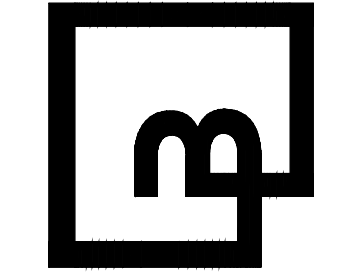
Title: ENTERING SIGHT DISTANCE EXHIBIT
OF
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

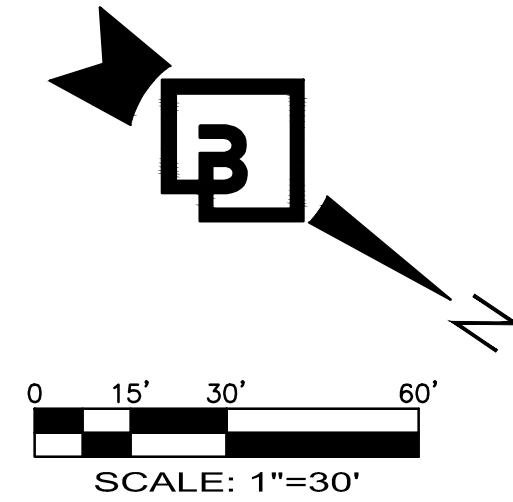
For: RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



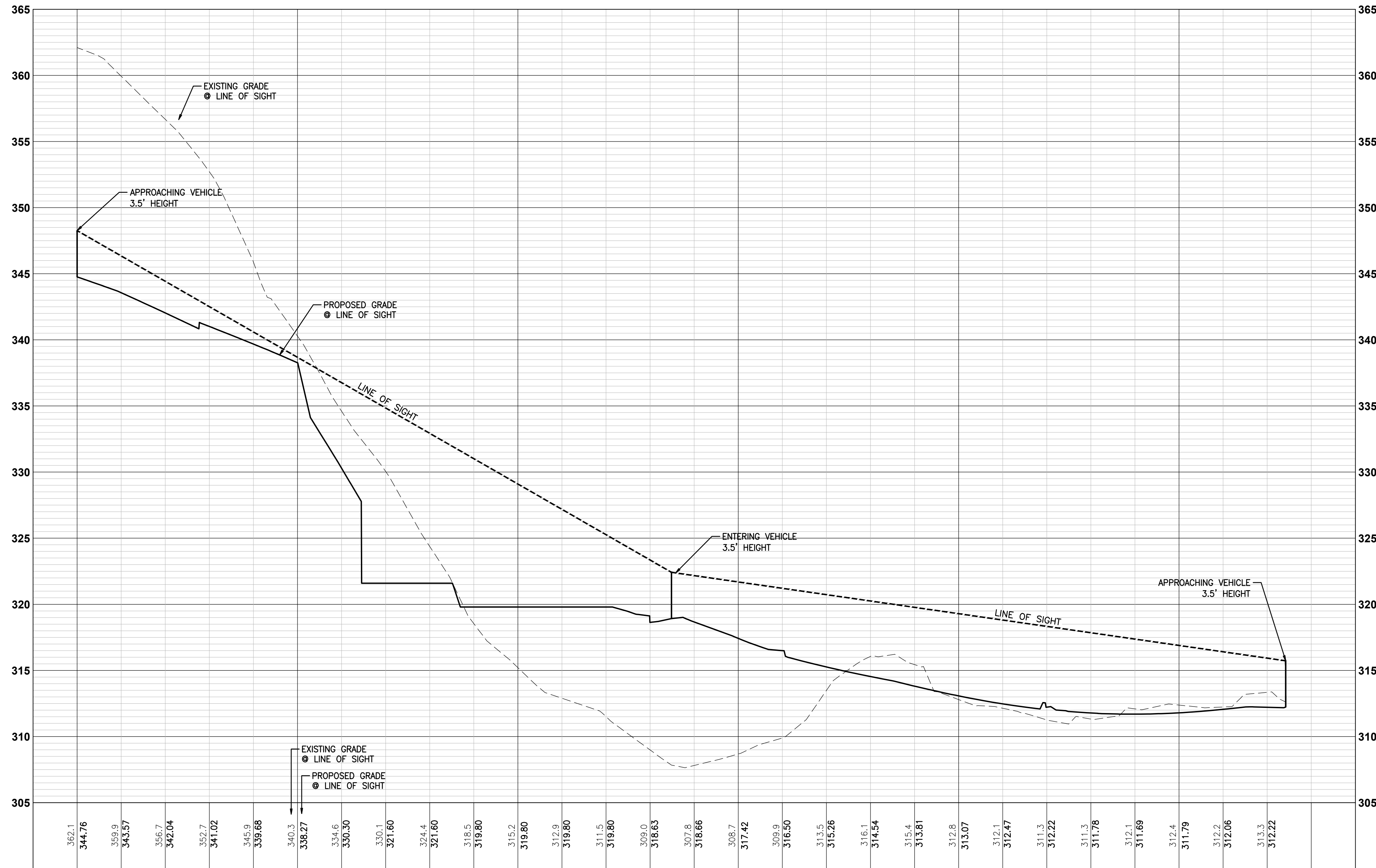
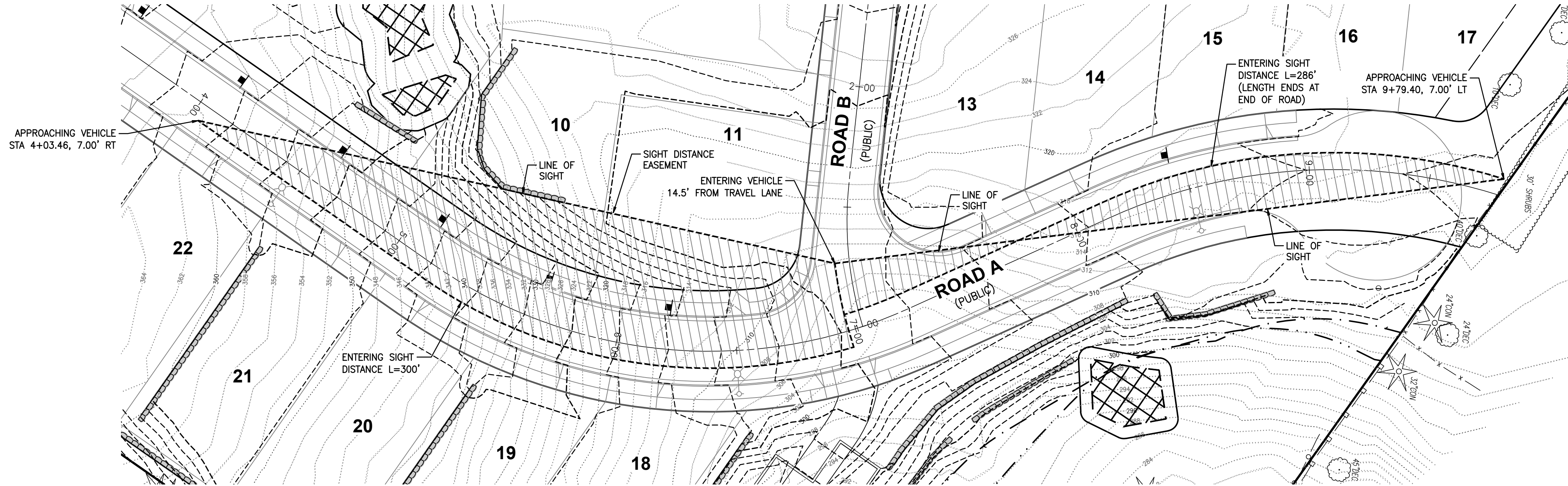
Scale:	Horizontal 1"=30'	Vertical 1"=5'
Designed	BSK	
Drawn	BSK	
Checked	BSK	
Approved	CMW	
Date	10/16/25	

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ENTERING SIGHT DISTANCE EXHIBIT
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



ROAD B (PUBLIC) - ENTERING SIGHT DISTANCE

SCALE: H: 1"=30' V: 1"=5'

ROAD A (PUBLIC)
POSTED SPEED: 25 MPH
DESIGN SPEED: 35 MPH
ESD REQUIRED=300-FEET

No.	Date	By	Chk.	Appr.	Revised
2	9/18/25	BSK	BSK	CMW	REVISED PER DRT LETTER
1	4/14/25	BSK	BSK	CMW	REVISED PER DRT LETTER 9/17/24

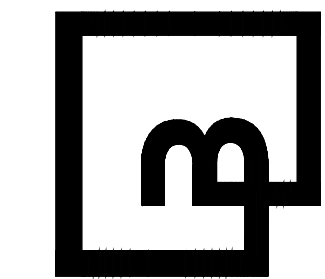
Title: ENTERING SIGHT DISTANCE EXHIBIT
OF
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

For: RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372

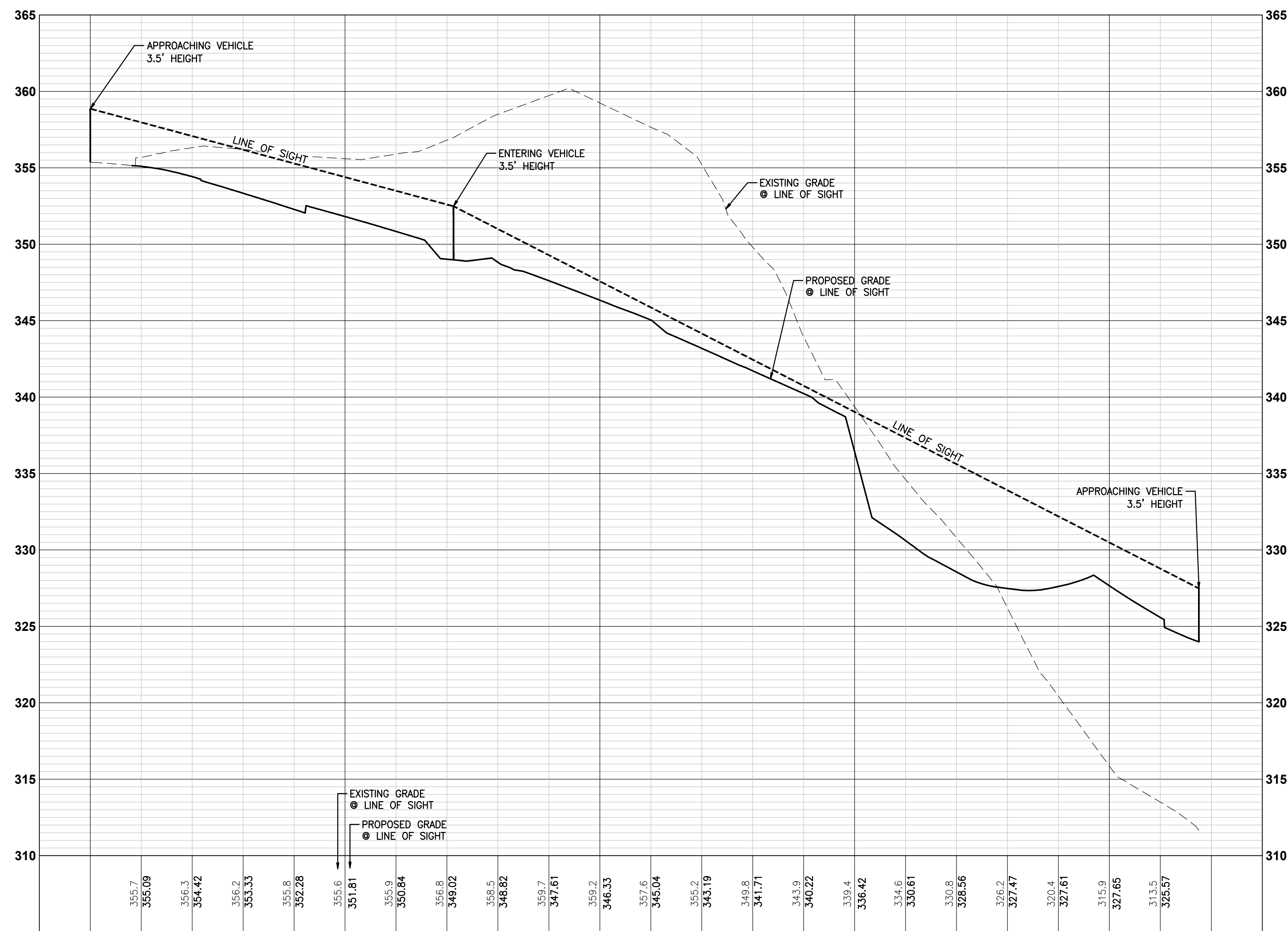
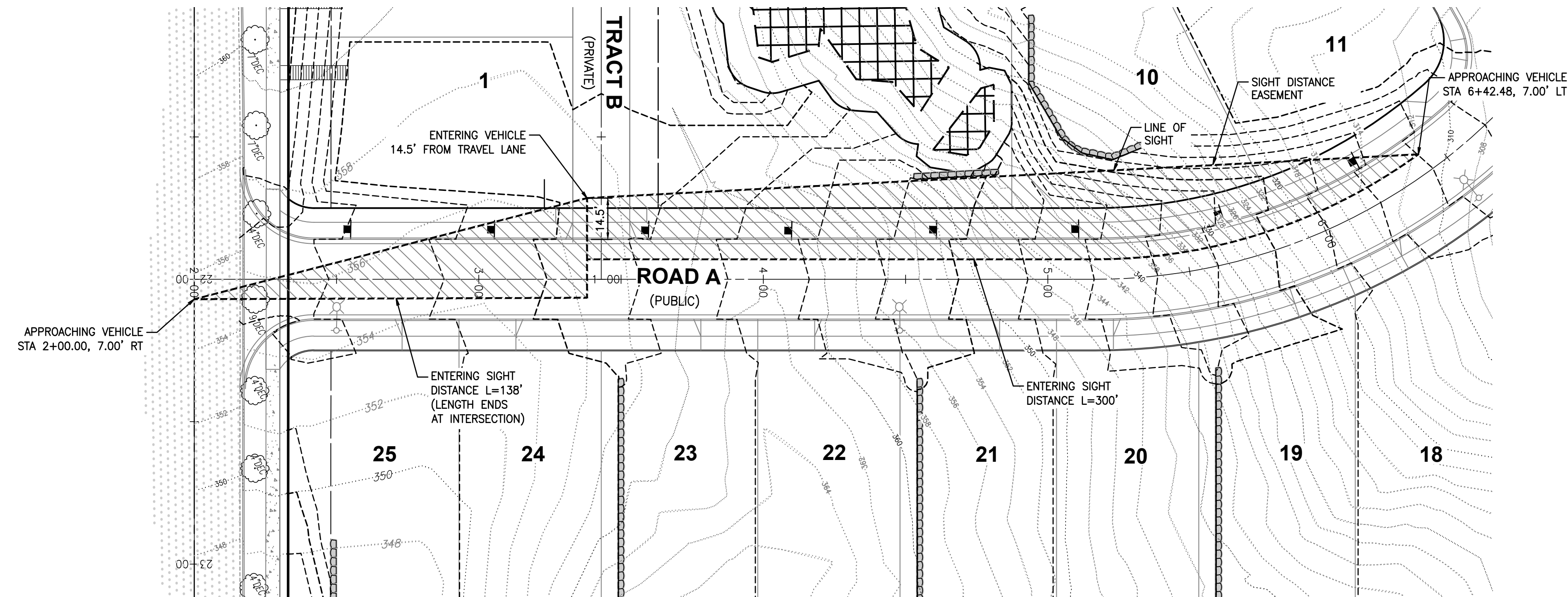
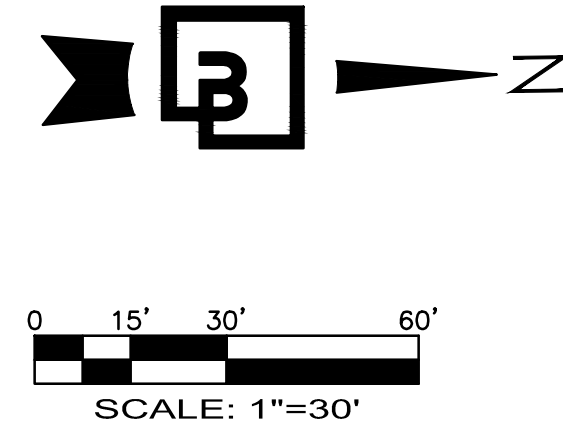


Designed	Drawn	Checked	Approved	Date
BSK	BSK	BSK	CMW	10/16/25

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PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



SCALE: H: 1"=30' V: 1"=5'

POSTED SPEED: 25 MPH
DESIGN SPEED: 35 MPH
ESD REQUIRED=300-FEET

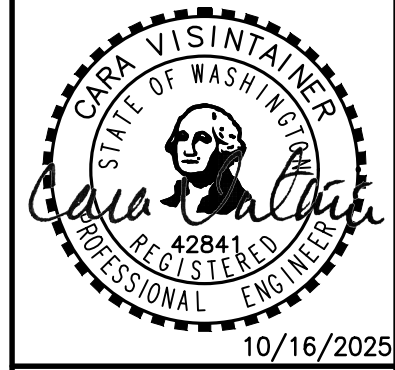
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1	4/14/25	BGK	BGK	CMW	REVISED PER DRT LETTER 9/17/24
No.	Date	By	Ckd.	Appr.	Revision

Title: ENTERING SIGHT DISTANCE EXHIBIT
OF

**PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR**

**RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372**

For:



Designed	BGK	Scale: Horizontal 1"=30' Vertical 1"=5'
Drawn	BGK	
Checked	BGK	
Approved	CMV	
Date		10/16/25

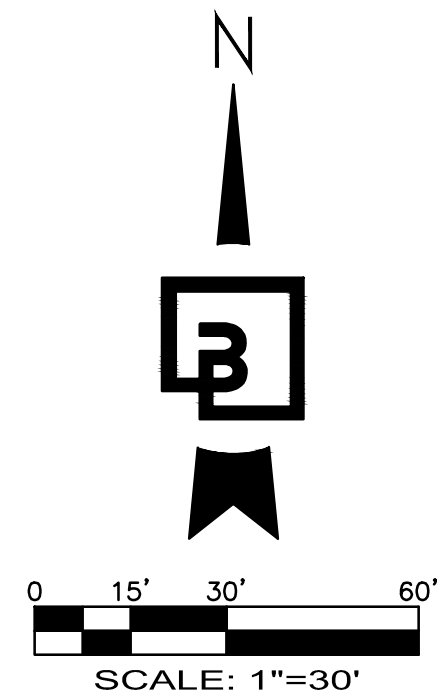
**Barghausen
Consulting Engineers, LLC.**
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Kent, WA 98032
425.251.6322 **barghausen.com**

Job Number
12663

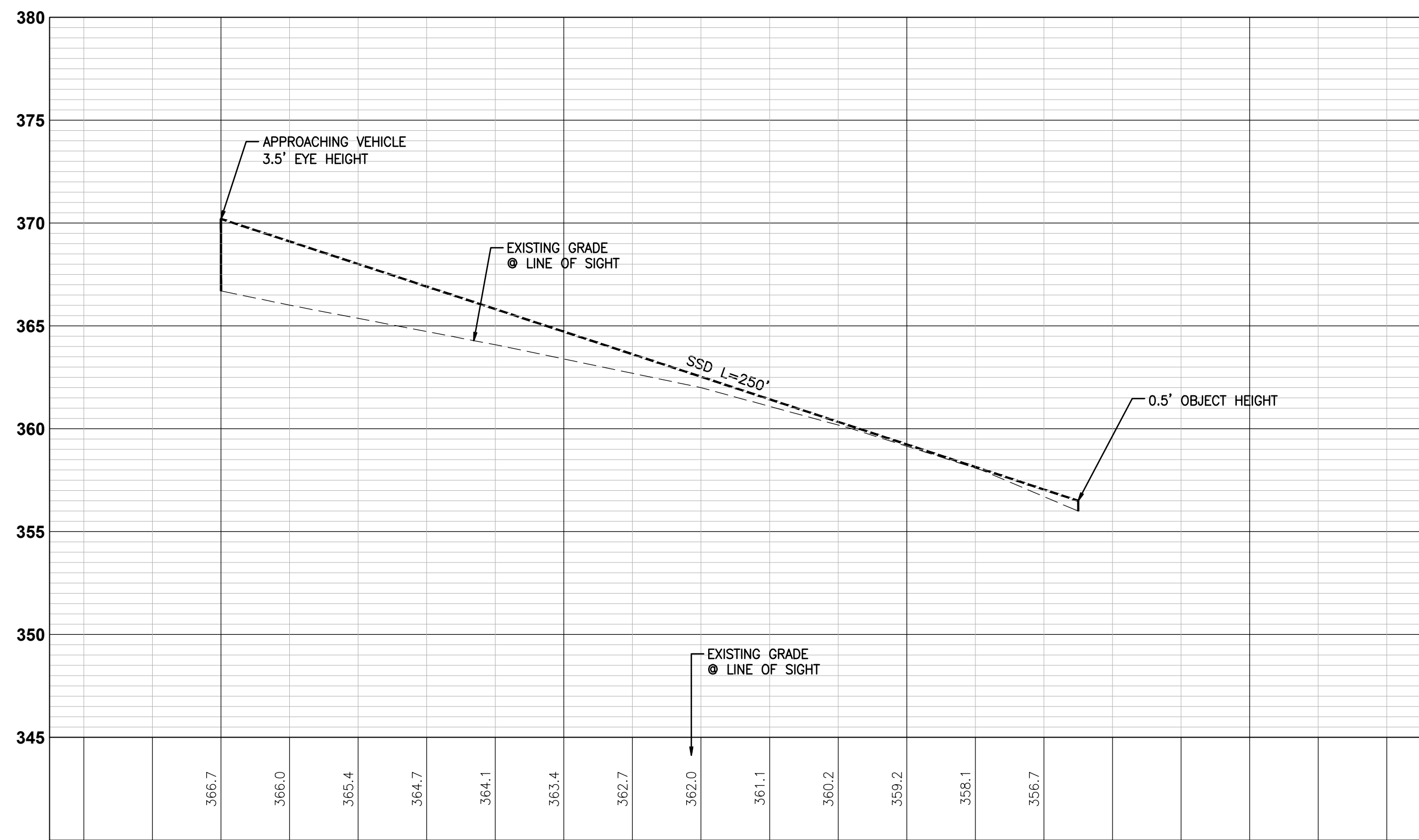
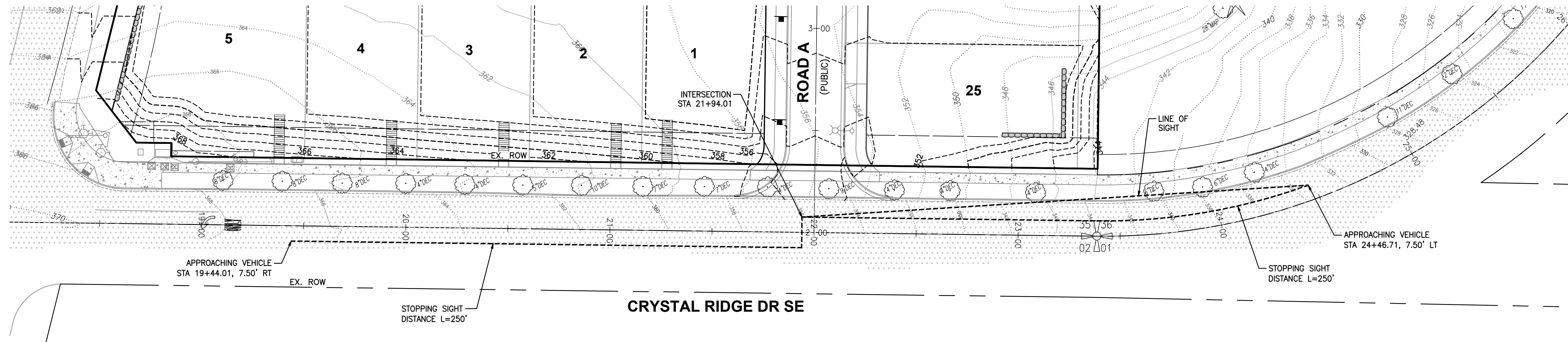
Sheet

9 12

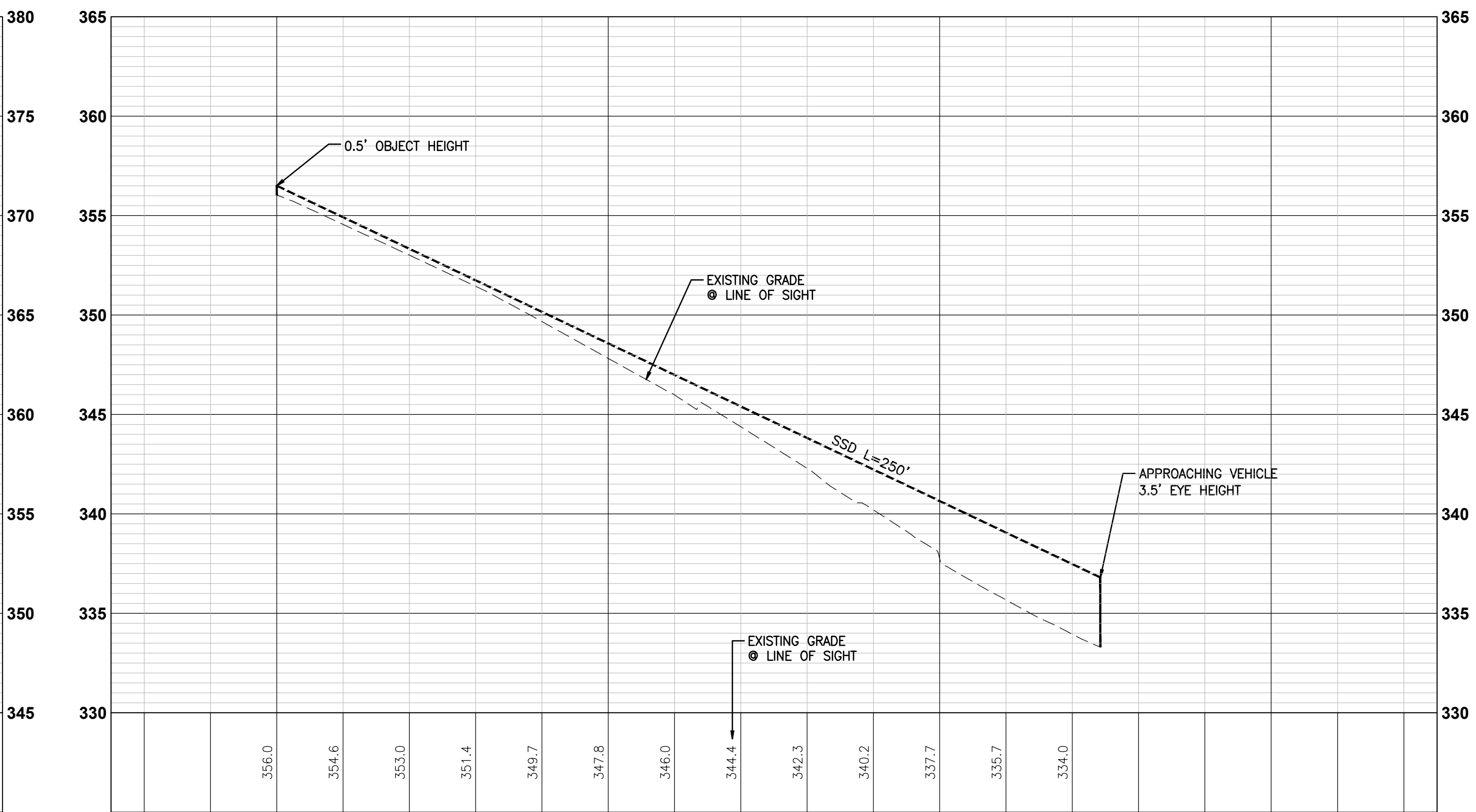
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STOPPING SIGHT DISTANCE EXHIBIT
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



CRYSTAL RIDGE DR SE STOPPING SIGHT DISTANCE
SCALE: H: 1"=30' V: 1"=5'



CRYSTAL RIDGE DR SE STOPPING SIGHT DISTANCE
SCALE: H: 1"=30' V: 1"=5'

CRYSTAL RIDGE DRIVE SE
POSTED SPEED: 25 MPH
DESIGN SPEED: 35 MPH
SSD REQUIRED=250-FEET

No.	Date	By	Chd.	Appr.	Revised Per DRT Letter	Revised Per DRT Letter	Revised Per DRT Letter
2	9/18/25	BSK	BSK	BSK	CMW	CMW	CMW
1	4/14/25	BSK	BSK	BSK	CMW	CMW	CMW

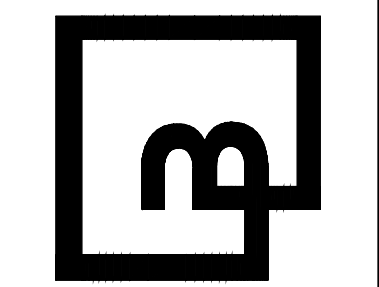
Title: STOPPING SIGHT DISTANCE EXHIBIT
OF
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

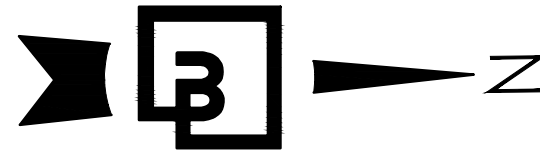
For: RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



Scale:	Horizontal	1"=30'	Vertical	1"=5'
Designed	BSK	BSK	BSK	CMW
Drawn	BSK	BSK	BSK	CMW
Checked	BSK	BSK	BSK	CMW
Approved	CMW	CMW	CMW	CMW
Date	10/16/25	10/16/25	10/16/25	10/16/25

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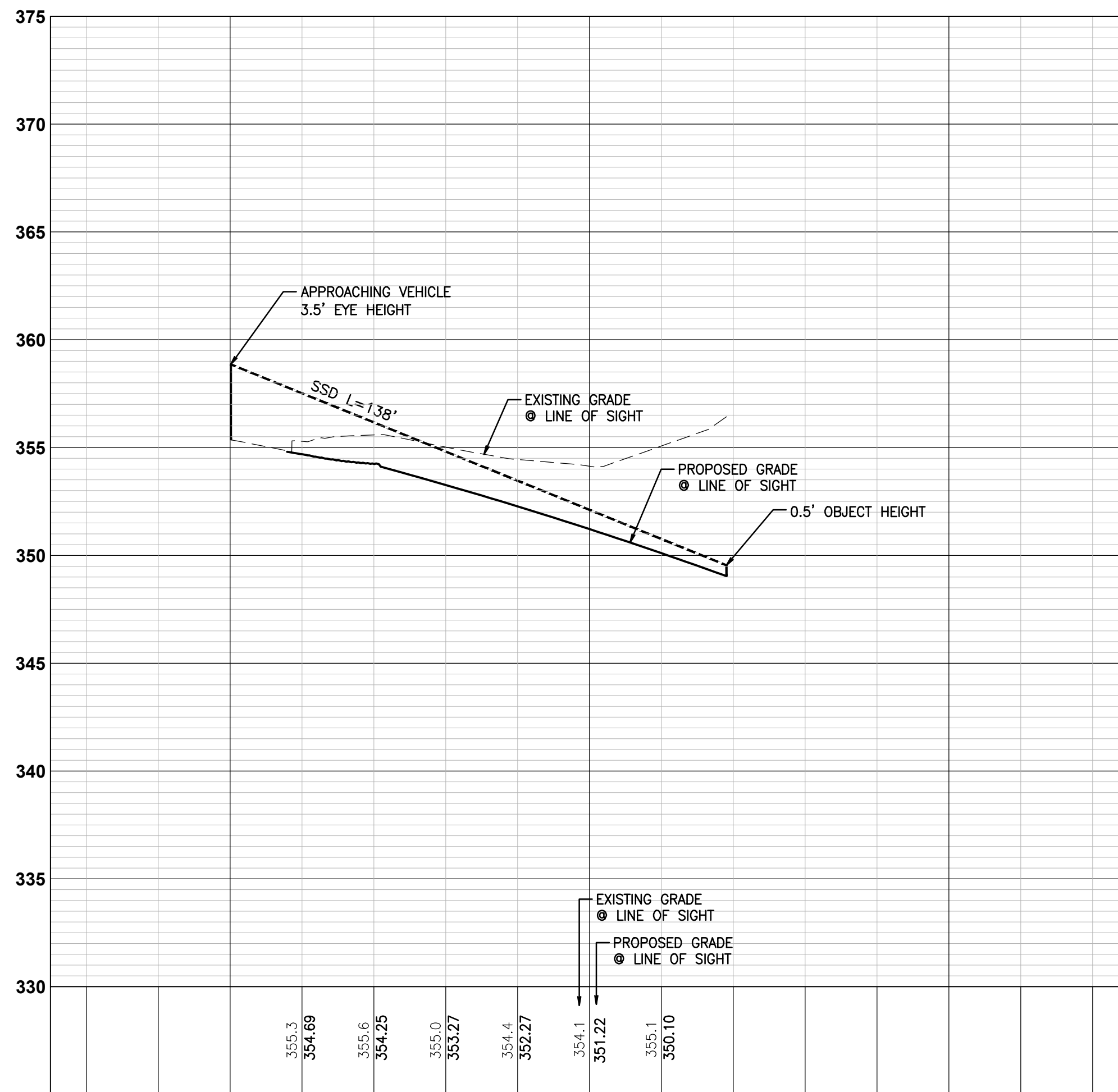
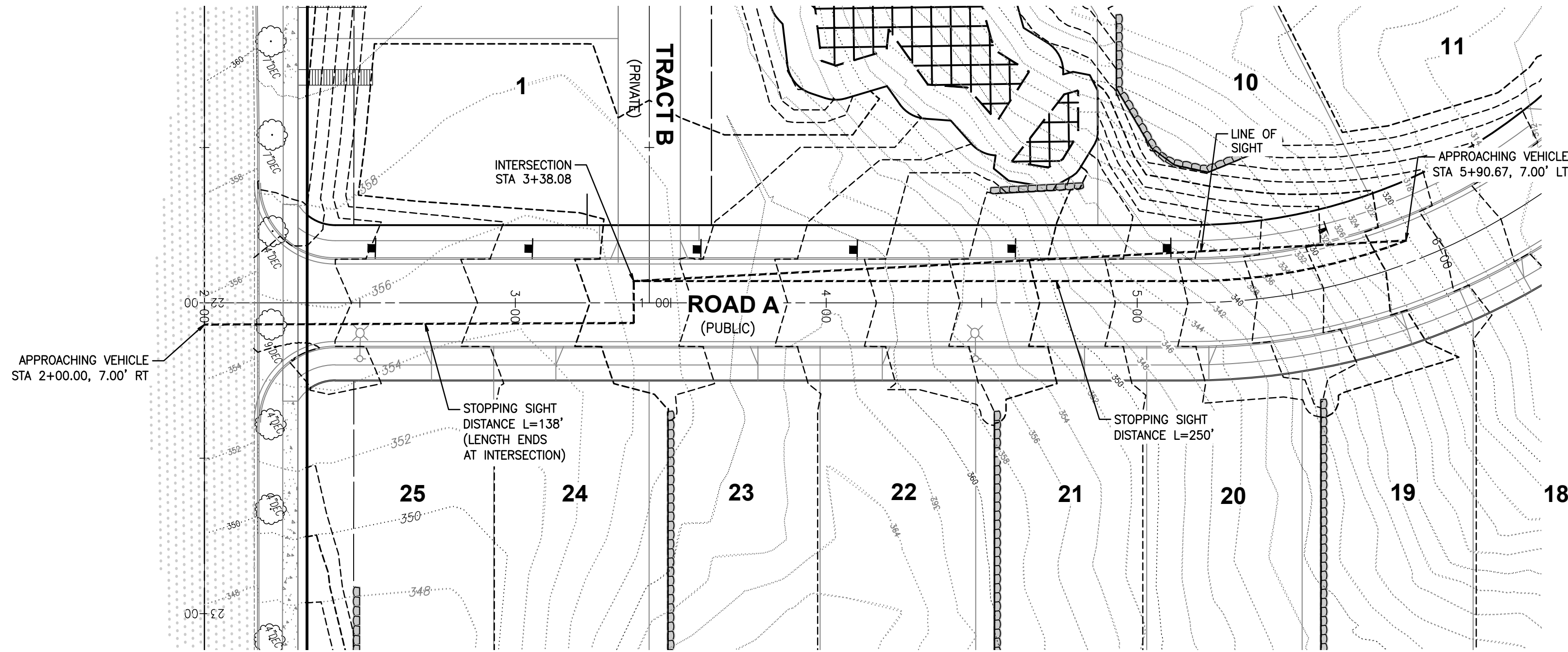
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SCALE: 1"=30'

STOPPING SIGHT DISTANCE EXHIBIT

OF

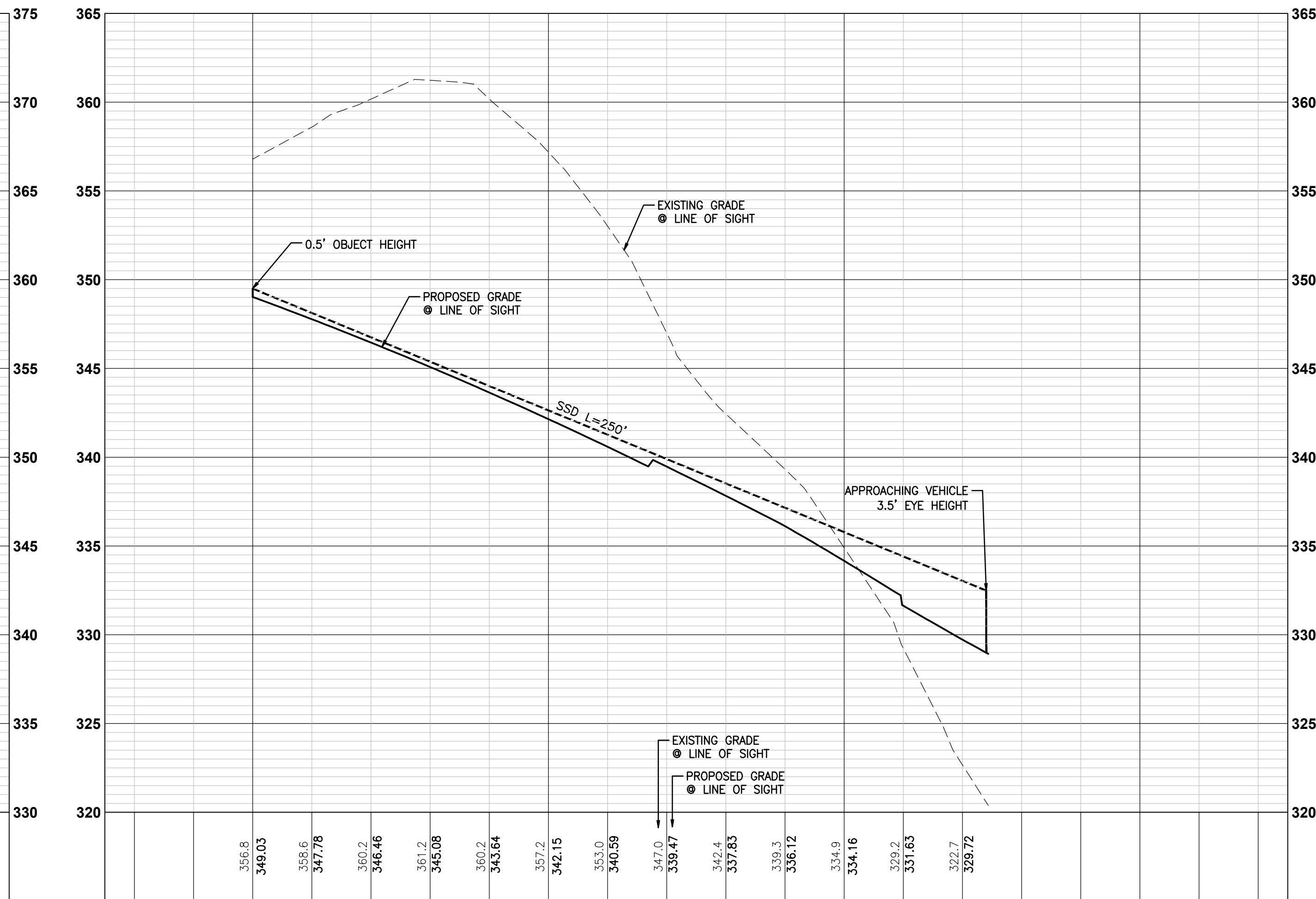
NORMANDY HEIGHTS - PDR

PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



TRACT B (PRIVATE) - STOPPING SIGHT DISTANCE

SCALE: H: 1"=30' V: 1"=5'



TRACT B (PRIVATE) - STOPPING SIGHT DISTANCE

SCALE: H: 1"=30' V: 1"=5'

ROAD A (PUBLIC)

POSTED SPEED: 25 MPH

DESIGN SPEED: 35 MPH

SSD REQUIRED=250-FEET

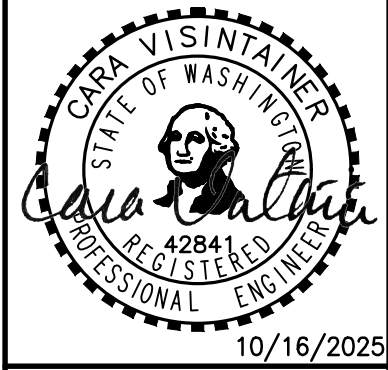
No.	Date	By	Chd.	Appr.	Revised Per DRT Letter	Revised Per DRT Letter
2	9/18/25	BCK	BCK	CMW	CMW	9/17/24
1	4/14/25	BCK	BCK	CMW	CMW	

Title:

STOPPING SIGHT DISTANCE EXHIBIT
OF

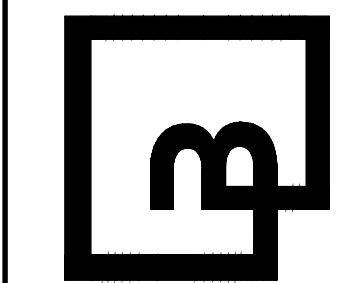
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

For:
RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



Scale:	Horizontal	Vertical
1"=30'	1"=30'	1"=5'
Designed	BCK	BCK
Drawn	BCK	BCK
Checked	BCK	CMW
Approved	CMW	CMW
Date	10/16/25	

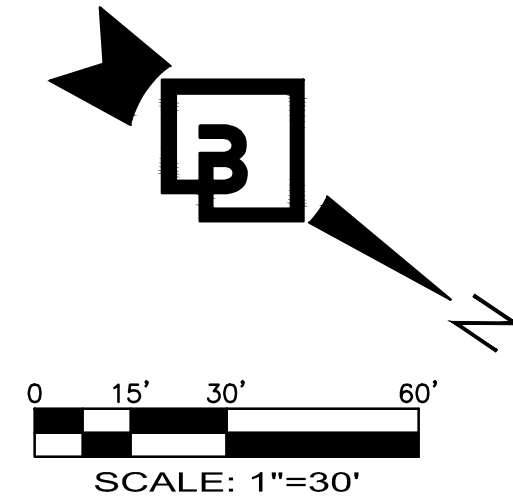
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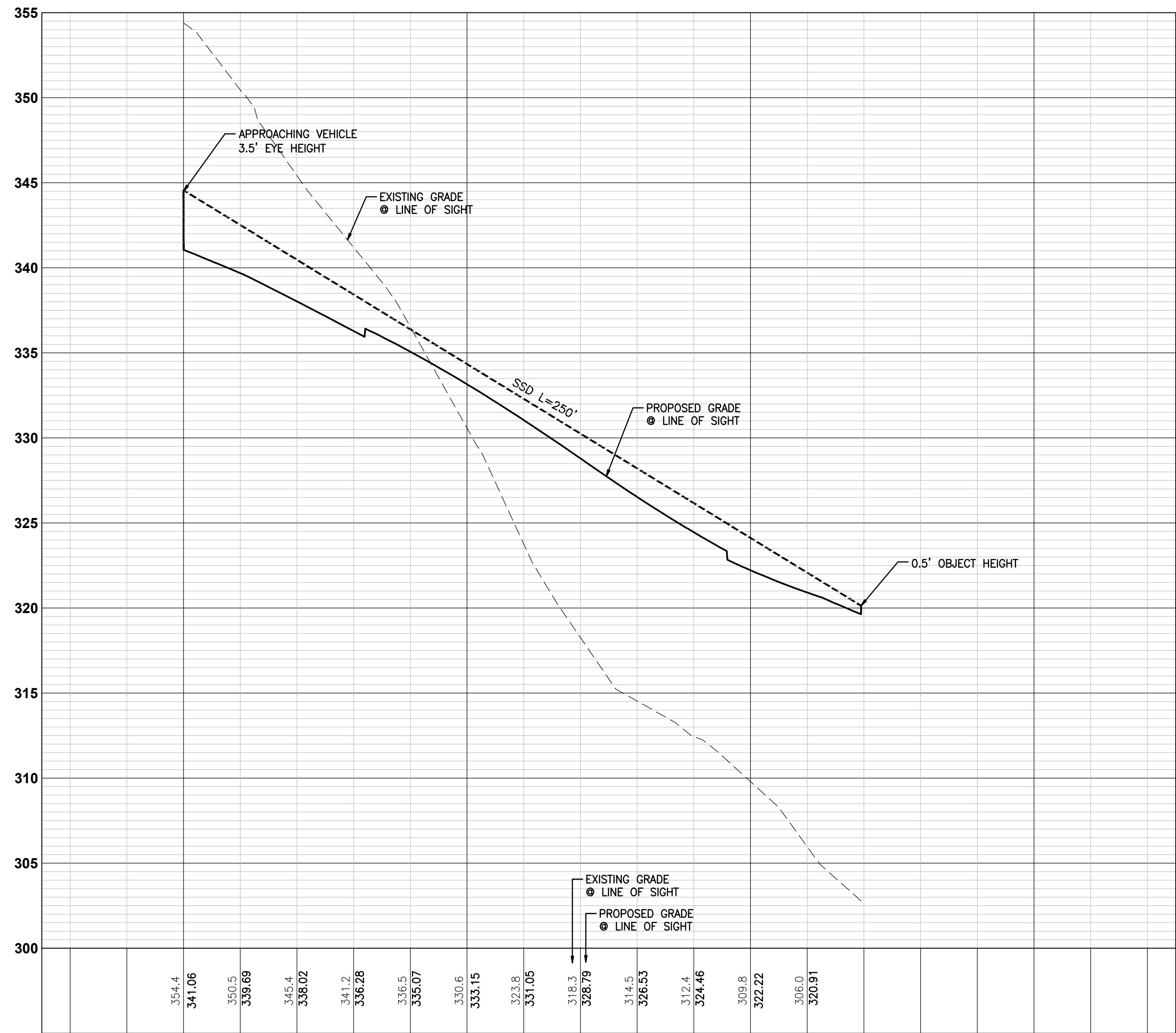
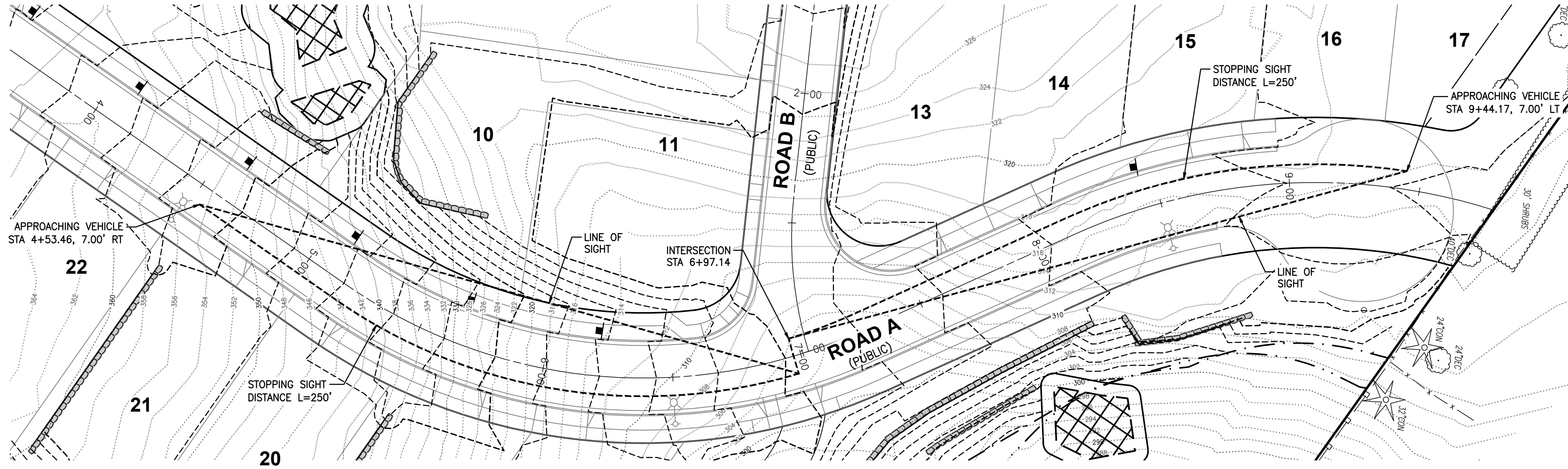
Job Number
12663

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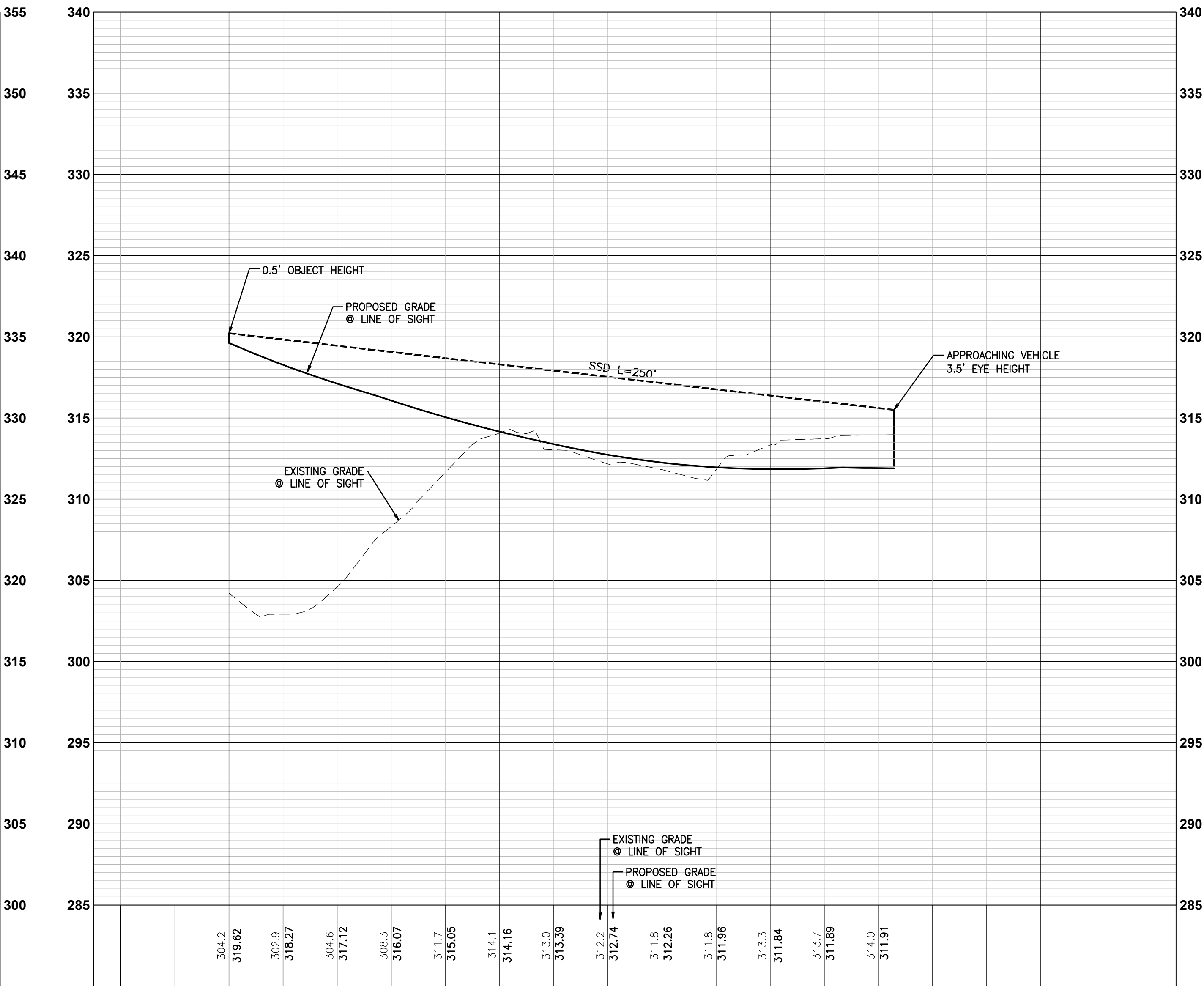


STOPPING SIGHT DISTANCE EXHIBIT
OF
NORMANDY HEIGHTS - PDR
PTN OF THE SE1/4, OF THE SE1/4 OF SEC. 35, 20 N., RGE 4 E., W. M.
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON STATE



ROAD B (PUBLIC) - STOPPING SIGHT DISTANCE

SCALE: H: 1"=30' V: 1"=5'



ROAD B (PUBLIC) - STOPPING SIGHT DISTANCE

SCALE: H: 1"=30' V: 1"=5'

ROAD A (PUBLIC)

POSTED SPEED: 25 MPH
DESIGN SPEED: 35 MPH
SSD REQUIRED=250-FEET

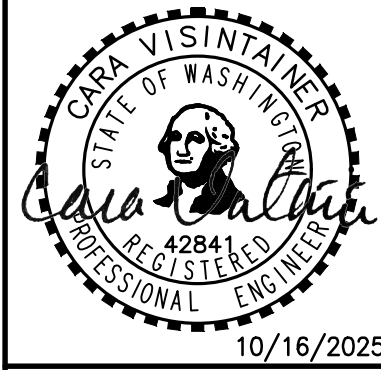
No.	Date	By	Chd.	Appr.	Revised Per DRT Letter	Revised Per DRT Letter
2	9/18/25	BCK	BCK	CMW	9/17/24	
1	4/14/25	BCK	BCK	CMW		

Title:

STOPPING SIGHT DISTANCE EXHIBIT
OF
PRELIMINARY CIVIL PLANS
NORMANDY HEIGHTS - PDR

For:

RM HOMES
2913 5TH AVE. N.E.
SUITE 201
PUYALLUP, WA 98372



Designed	Drawn	Checked	Approved	Date
BCK	BCK	BCK	CMW	10/16/25

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Job Number
12663

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