

PRE-APPLICATION FORM

Applicant: Puyallup AOB Development LLC

Mailing Address: 5020 Main Street Suite H **City:** Tacoma **Zip:** 98407

Phone: Matt Cyr / Bill Riley

E-Mail: matt@mcconstruction.com bill@thebrcf.com

REQUESTED DATE FOR MEETING: (NO MONDAY OR FRIDAY MEETINGS)

Provide 3 Options:

1. 11 / 23 / 2021 Tu-W-Th ^{am/pm ok} am/pm 2. 11 / 24 / 2021 Tu WTh ^{am/pm ok} am/pm 3. / / Tu-W-Th am/pm


APPLICANT REPRESENTATIVES:

- | | |
|--------------------------------|---|
| (1) Name: <u>Matt Cyr</u> | Firm: <u>McBride Cohen Management Group</u> |
| Tel: <u>253-380-7654</u> | E-Mail: <u>matt@mcconstruction.com</u> |
| (2) Name: <u>Loren Cohen</u> | Firm: <u>McBride Cohen Management Group</u> |
| Tel: <u>360-280-5058</u> | E-Mail: <u>Loren@mcconstruction.com</u> |
| (3) Name: <u>Garren Echols</u> | Firm: <u>McBride Cohen Management Group</u> |
| Tel: <u>602-677-9075</u> | E-Mail: <u>garren@mcconstruction.com</u> |
4. Bill Riley, Bill@thebrcf.com - 253-686-0654. Riel and Associates

Particular Issues to Discuss:

Rieview the approval process for permitting a multi-family project located within downtown Puyallup on the City's AOB lot. The site is located at 330 3rd Street SW Puyallup,WA. 98371 on Assessor's parcel No. 5745001371. Please note that the project includes redevelopment of the 3rd Street frontage with angled parking. Specific discussion items include: design requirements, civil requirements, building code requirements, permit applications necessary, anticipated review times and enviromental review.

I hereby certify under penalty of perjury that all the foregoing information is true and correct and recognize that any false or misleading information shall nullify the validity of the information provided as a result of this pre-application.

 for Puyallup AOB Development 11/9/2021

Applicant Signature Date

SUMMARY FORM

Project Name: Puyallup AOB (currently)

Site Address: 330 3rd Street SW Puyallup, WA 98371

Parcel No: 5745001371

Person Filing Request: Matt Cyr

Affiliation to Project: Puyallup AOB Development LLC

Company: Same

Address: 5020 Main Street Suite H Tacoma WA. 98407

Tel: 253-380-7654

Description of your proposal:

Single Family Residential (No. of Lots) _____

Multi-Family Residential (No. of Lots) 60-90 +/- units 3 over 1

Office/Commercial/Retail (Square Feet) _____

Warehouse/Manufacturing (Square Feet) _____

Mixed Use (Square Feet) _____

Other (No. of units/lots/square feet) _____

Additional Information:

How many access points to the public street does the existing site have and how many are proposed under the proposed application?

Existing: 3

Proposed: 2

For non-single family residential applications only, please identify:

The proposed type of construction (i.e., VN, IIN): Choose an item.

V over I anticipated

The proposed size of the building(s):

Approximately 92,235 SF

The proposed occupancy of the structures (i.e., "S", "B", "H"): Choose an item.

R-2

Any manufacturing processes proposed?:

Yes

No

Will you be utilizing fire sprinkler systems:

Yes

No

Do not know, but possible

Will you be storing or using hazardous material:

Yes

No

Do not know, but possible

If yes, type of material stored:

November 9, 2021

City of Puyallup
Attn: Ms. Katie Baker
333 S. Meridian
Puyallup, WA 98371

RE: Pre-Application Meeting Request
Project: Puyallup AOB
Address: 330 3rd Street SW, Puyallup, WA 98371

Dear Ms. Baker:

McBride-Cohen Management Group, LLC (“MCMG”), is pleased to submit the following Pre-Application Meeting Request for review of the Puyallup AOB (the “Project”). Included with this submittal are the following materials:

- One (1) copy of the Pre-Application Submittal Form
- One (1) Project Narrative (This Letter)
- One (1) copy of a Preliminary Site Plan

The Project proposes to redevelop the existing site from its current use as a surface parking lot to a multifamily building. The multifamily building proposes 60 to 90 residential units within three (3) levels developed over ground level parking. The following is a brief summary of Project related design elements:

- **Parking:** The parking for the Project will be ground level parking, located both below structure and day lighted, and dedicated on street frontage parking. Please note that approximately 20 stalls within the Project will be dedicated to the senior center located to the east of the Project.
- **Design:** The architectural design of the building will be northwest contemporary with building and roof modulations to address downtown design standards.
- **Stormwater:** The Project anticipates limited infiltration of roof drainage within landscape areas with remaining stormwater treated and detained within a vault located below surface parking.
- **Utilities:** Existing utilities within the Project frontage are anticipated to be adequate.
- **Existing Easements:** An existing easement for communication is located within the site. MCMG has received approval to encroach the easement airspace as long as 14 foot clear is provided within the easement area.
- **Landscape:** Landscaping will be designed to City design standards.
- **Phasing:** The Project will be completed in a single phase, with the anticipation that temporary certificates of occupancy will be issued by level in a phased occupancy approach.

Additional Project elements and development questions will be addressed at the Pre Application meeting.

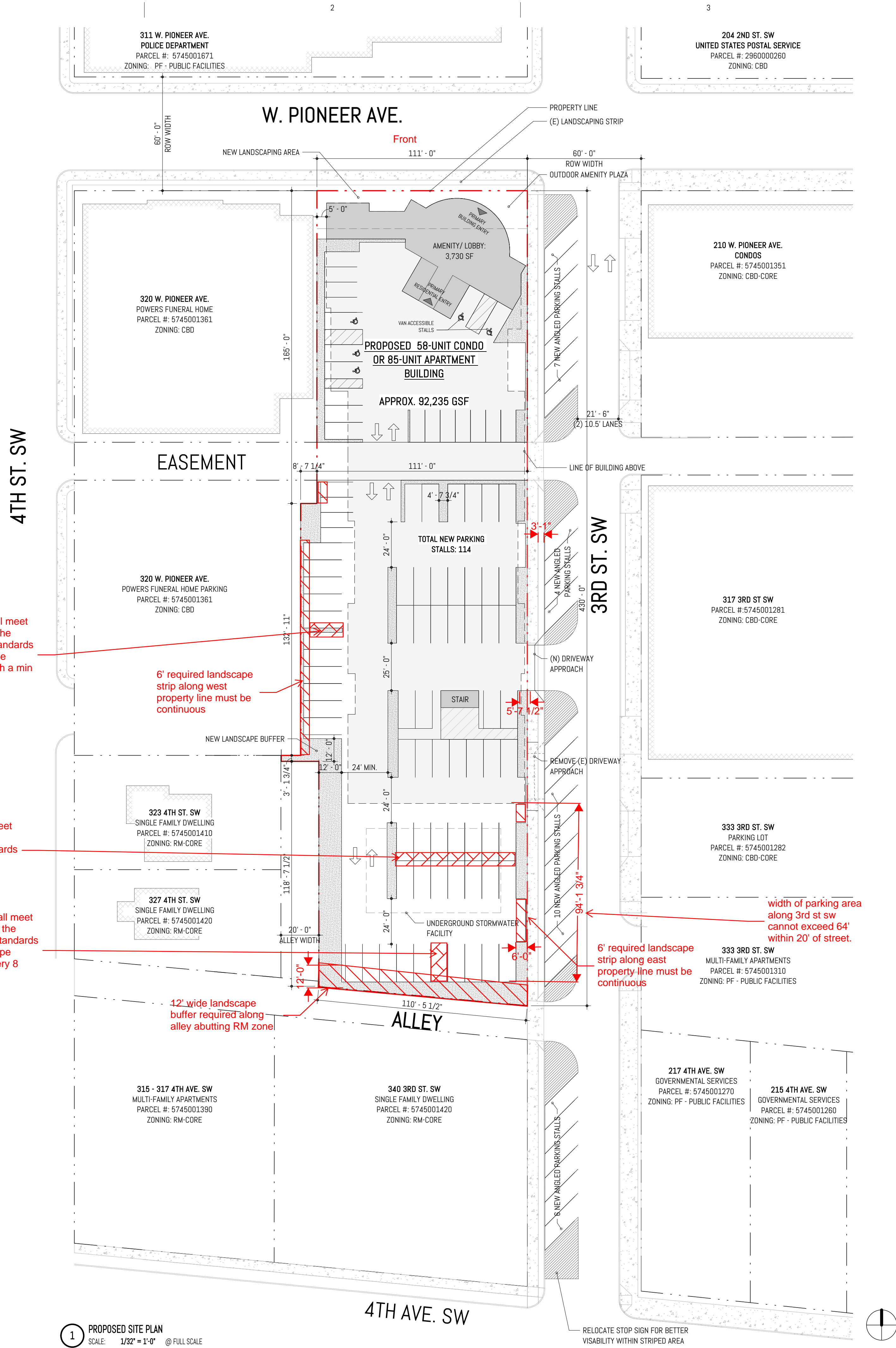
Thank you for your attention to this application. Should you have any questions or comments with the included materials, then please do not hesitate to contact me at mattc@mconstruction.com.

Sincerely,



Matt Cyr
Planning Manager

cc: Loren Cohen, McBride-Cohen Management Group
Bill Riley, Riel and Associates
Garren Echols, McBride-Cohen Management Group



Parking lot landscaping shall meet the Type IV landscaping of the Vegetation Management Standards manual. Perimeter landscape islands must be 12' wide with a min area of 200sf

6' required landscape strip along west property line must be continuous

Parking lot landscaping shall meet the Type IV landscaping of the Vegetation Management Standards manual. Internal landscape connector strip must be 6' wide

Parking lot landscaping shall meet the Type IV landscaping of the Vegetation Management Standards manual. Perimeter landscape islands must be placed every 8 stalls

12' wide landscape buffer required along alley abutting RM zone

width of parking area along 3rd st sw cannot exceed 64' within 20' of street.

6' required landscape strip along east property line must be continuous

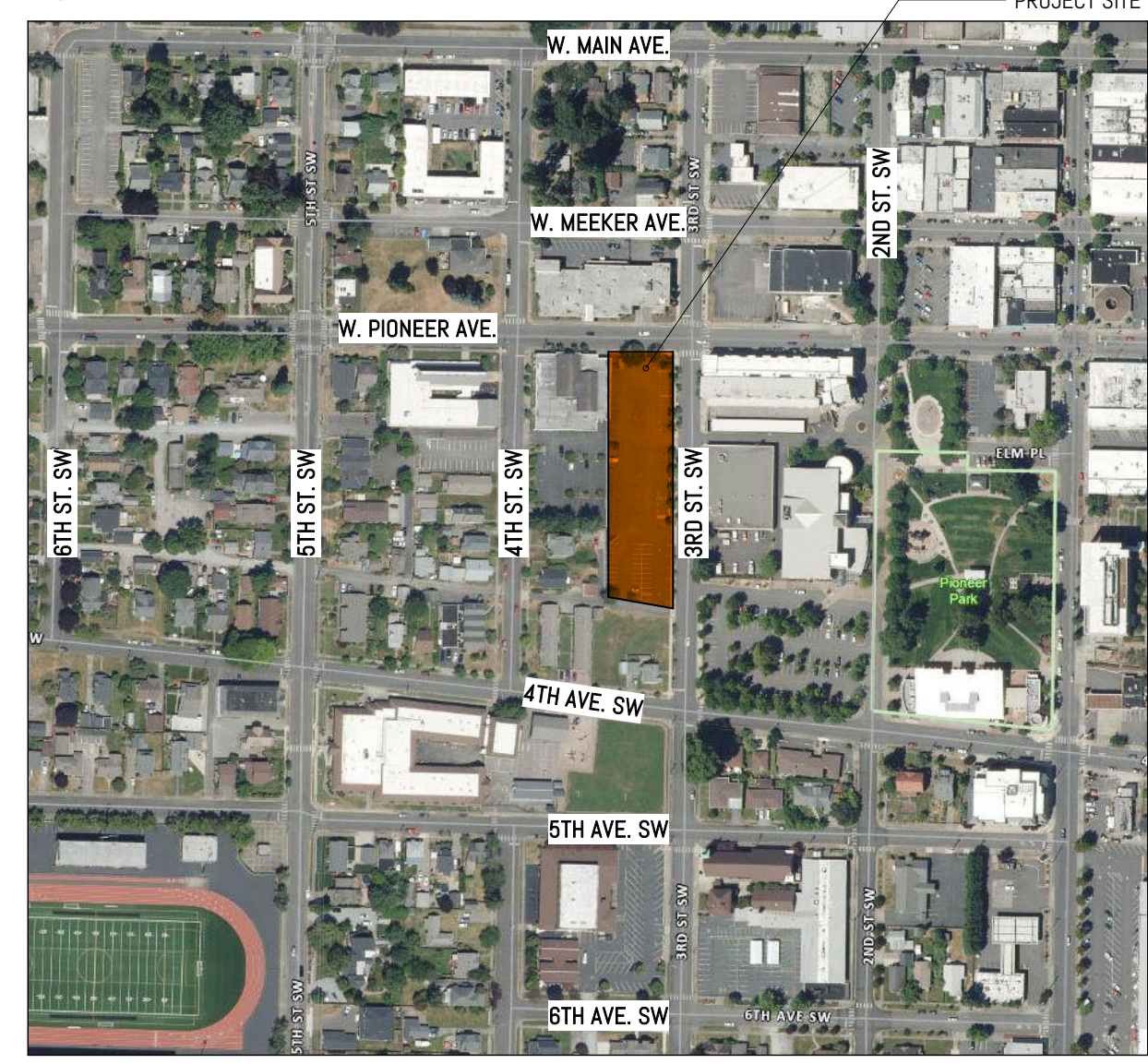
PROJECT INFORMATION:

ADDRESS: 330 3RD ST SW, PUYALLUP, WA 98371
 PARCEL #: 5745001371
 LOT AREA: 48,336 SF
 ALLOWABLE F.A.R.: 2.750
 ALLOWABLE F.A.R. BUILDING SF: 132,924 SF
 APPROXIMATE PROPOSED GSF: 92,235 SF
 EXISTING USE: PARKING LOT
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 ANTICIPATED CONSTRUCTION TYPE: 3 STORIES TYPE V OVER 1-STORY TYPE I
 ZONING: CBD-CORE
 OVERLAY: PEDESTRIAN ORIENTED COMMERCIAL (POC)
 DOWNTOWN PLANNED ACTION AREA
 PARKING DATA:
 PROPOSED STANDARD STALLS: 118 STALLS
 PROPOSED ADA STALLS: 5 STALLS
 REQUIRED PARKING STALLS (1 STALL/UNIT): 58 OR 85 STALLS

LEGAL DESCRIPTION:

SECTION 28 TOWNSHIP 20 RANGE 04 QUARTER 41 MEEKERS 1ST & 2ND; MEEKERS 1ST & 2ND NE 1/4 SE 28-20-04E PARCEL 7A 0' DBLR 98-09-27-0520 DESC AS ALL OF B 23, B 26, L 1 THRU B & 25 TO 6' W 20 FT WIDE E-W ALLEY BETWEEN B 26, 25 & 23 VAC PER ORD 1301 EXC FOLL DESC

VICINITY MAP:



MARK	ISSUED TO	ISSUED BY	DATE

PROJECT NO: 056-01-21
 PRINCIPAL-IN-CHARGE: BF
 PROJECT ARCHITECT: ND
 DRAWN BY: ND

PROJECT STATUS:
PRE-APP SUBMITTAL

SHEET TITLE:
PUYALLUP AOB LOT - SITE PLAN

SHEET NO.

X1

1 PROPOSED SITE PLAN
 SCALE: 1/32" = 1'-0" @ FULL SCALE