

[illegible]

EAST TOWN CROSSING

SHORT PLAT

EAST TOWN CROSSING
SHORT PLAT

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025

CITY OF PUYALLUP NOTES

A PORTION OF THE SE 1/4 OF THE SE 1/4 , SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP NOTES

1. NO BUILDING PERMITS WILL BE ISSUED FOR LOT 1 THROUGH LOT 3 UNTIL CITY APPROVED UTILITY AND ROAD IMPROVEMENTS ARE APPROVED AND PERMITTED TO INCLUDE CURB, GUTTER, SIDEWALK, ROADWAY BASE, PAVEMENT, WATER, SANITARY SEWER, STORM INFRASTRUCTURE AND STREET LIGHTING.
2. CERTIFICATE OF OCCUPANCY FOR LOT 1 THROUGH LOT 3 WILL NOT BE APPROVED UNTIL SUCH TIME AS THE REQUIRED UTILITY AND ROAD IMPROVEMENTS ARE CONSTRUCTED AND ACCEPTED BY THE CITY.
3. A PRELIMINARY STORM DRAINAGE PLAN IS ON FILE FOR THIS SHORT PLAT. NO BUILDING PERMITS WILL BE ISSUED FOR ANY LOTS IN THIS SHORT PLAT UNTIL ALL NECESSARY STORM DRAINAGE IMPROVEMENTS ARE APPROVED AND PERMITTED BY DEVELOPMENT SERVICES ENGINEERING.
4. NOTICE: THIS SHORT PLAT CONTAINS A PRIVATE STORM DRAINAGE SYSTEM. PRIVATE STORM DRAINAGE SYSTEMS ARE THE SOLE RESPONSIBILITY OF THE OWNERS, SUCCESSORS, AND ASSIGNEES FOR ALL LOTS BEING SERVED BY THE PRIVATE STORM DRAINAGE SYSTEM. RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTING, MAINTAINING, AND ALLOWING CITY INSPECTION OF THE PRIVATE STORM SYSTEM IN ACCORDANCE WITH A SEPARATELY RECORDED STORMWATER MANAGEMENT FACILITIES AGREEMENT RECORDED WITH PIERCE COUNTY. ~~REFERENCE AFN.~~
5. NO PERMANENT STRUCTURES(S) SHALL BE ERECTED WITHIN ANY EASEMENT AREA(S) GRANTED TO THE CITY OF PUYALLUP. PERMANENT STRUCTURE(S) SHALL MEAN ANY CONCRETE FOUNDATION, CONCRETE SLAB, WALL, ROCKERY, POND, STREAM, BUILDING, DECK, OVERHANGING STRUCTURE, FILL MATERIAL, TREE, RECREATIONAL SPORT COURT, CARPORT, SHED, PRIVATE UTILITY, FENCE, OR OTHER SITE IMPROVEMENT THAT RESTRICTS OR UNREASONABLY INTERFERES WITH THE NEED TO ACCESS OR CONSTRUCT UTILITIES IN SAID EASEMENTS(S). PERMANENT STRUCTURE(S) SHALL NOT MEAN IMPROVEMENTS SUCH AS FLOWERS, GROUND COVER AND SHRUBS LESS THAN 3- FEET IN HEIGHT, LAWN GRASS, ASPHALT PAVING, GRAVEL, OR OTHER SIMILAR SITE IMPROVEMENTS THAT DO NOT PREVENT THE ACCESS OF MEN, MATERIAL, AND MACHINERY ACROSS, ALONG, AND WITHIN THE SAID EASEMENT. LAND RESTORATION WITHIN THE SAID EASEMENT DUE TO CONSTRUCTION, SHALL MEAN PLANTING GRASS SEED OR GRASS SOD, ASPHALT PAVING, OR GRAVEL UNLESS OTHERWISE DETERMINED BY THE CITY OF PUYALLUP.
6. ~~PRIOR TO OCCUPANCY APPROVAL OF THE FIRST BUILDING ASSOCIATED WITH THIS SHORT PLAT, A COVENANT BETWEEN THE PROPERTY OWNER AND CITY GRANTING THE FUTURE SEWER EASEMENT RIGHT TO THE CITY MUST BE EXECUTED AND RECORDED WITH PIERCE COUNTY.~~
7. AT THE DISCRETION OF THE CITY, THE CITY MAY RESTRICT OUTBOUND LEFT TURNS FROM THE E PIONEER ACCESS IN THE FUTURE. AT THE REQUEST OF THE CITY, THE OWNERS, HEIRS, SUCCESSORS AND ASSIGNS AGREE TO RENOVATE AND/OR IMPROVE THE DRIVEWAY ACCESS IN ACCORDANCE WITH THE CITY OF PUYALLUP MUNICIPAL CODE AND ENGINEERING STANDARDS.

Delete recording reference unless it can be assured that the storm agreement is recorded prior to recording of the short plat. [Short Plat; Sht 2]

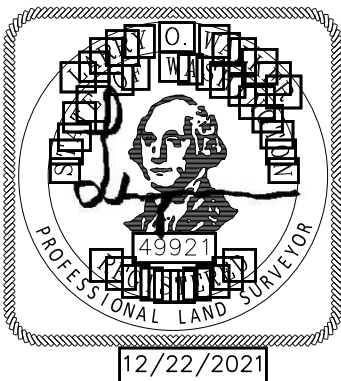
This language may not be necessary pending outcome of Development Agreement [Short Plat; Sht 2]

FLOODPLAIN NOTES

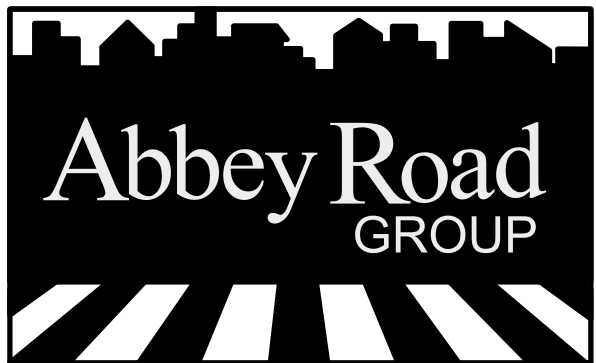
1. THIS SITE IS WITHIN A SPECIAL FLOOD HAZARD AREA UNNUMBERED A-ZONE AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANEL NUMBER 53053C0342E, DATED MARCH 7, 2017. THE APPLICANT HAS RECENTLY SUBMITTED A LOMR APPLICATION TO FEMA REQUESTING A FLOODPLAIN MAP REVISION. UNTIL SUCH TIME THAT THE LOMR APPLICATION IS PROCESSED AND FINALIZED BY FEMA, THE CITY CANNOT APPROVE ANY CONSTRUCTION PERMIT APPLICATION WITHOUT PRIOR WRITTEN AGREEMENT BETWEEN THE APPLICANT AND CITY.
2. ANY STRUCTURES BUILT WITHIN THE REGULATED FLOODPLAIN SHALL COMPLY WITH CURRENT CITY FLOODPLAIN REGULATIONS AT THE TIME OF CONSTRUCTION.
3. PRIOR TO FINAL BUILDING INSPECTION AND APPROVAL, A FEMA ELEVATION CERTIFICATE MUST BE SUBMITTED TO THE CITY OF PUYALLUP VERIFYING THAT ANY STRUCTURE BUILT WITHIN THE REGULATED FLOODPLAIN HAS BEEN CONSTRUCTED AND ELEVATED ~~AN/OR~~ FLOODPROOFED IN ACCORDANCE WITH THE CITY'S FLOODPLAIN MANAGEMENT REGULATIONS. THE ELEVATION CERTIFICATE MUST BE APPROVED BY THE CITY PRIOR TO GRANTING A CERTIFICATE OF OCCUPANCY.

"and/or"
[Short Plat; Sht 2]

JOB NO. 06-171-01
SHEET 2 OF 12



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159



EAST TOWN CROSSING
SHORT PLAT

EXISTING PARCELS LEGAL DESCRIPTIONS

A PORTION OF THE SE 1/4 OF THE SE 1/4 , SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025

Should reflect updated
Title Report provided w/
this submittal. [Short Plat:
Sht 3]

TAX PARCEL NO. 0420264021

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249900-T35
DATED MARCH 01, 2021 AT 8:00 A.M.

BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF SECTION 26, TOWNSHIP 20 NORTH, RANGE 4
EAST, W.M., IN PIERCE COUNTY, WASHINGTON, WITH THE EAST 1/16TH LINE OF SAID SECTION;
THENCE SOUTH ALONG THE 1/16TH LINE OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 4 EAST, W.M., A
DISTANCE OF 95.4 FEET;
THENCE EAST 258.26 FEET;
THENCE NORTH TO THE SOUTHERLY LINE OF THE COUNTY ROAD;
THENCE NORTHWESTERLY ALONG SAID SOUTHERLY LINE OF COUNTY ROAD TO THE EAST 1/16TH LINE OF
SECTION 26;
THENCE SOUTH ALONG SAID 1/16TH LINE TO THE POINT OF BEGINNING;

EXCEPT THE WEST 30 FEET THEREOF CONVEYED TO PIERCE COUNTY BY DEED RECORDED UNDER RECORDING
NO. 161885 FOR SHAW COUNTY ROAD;

ALSO EXCEPT THEREFROM THAT PORTION CONVEYED TO THE CITY PUYALLUP BY INSTRUMENT RECORDED
UNDER AUDITOR'S FILE NO. 9408230215, BEING A RE-RECORD OF INSTRUMENT RECORDED UNDER AUDITOR'S
FILE NO. 9308310480;

AND ALSO EXCEPT ANY PORTION THEREOF LYING SOUTHERLY AND WESTERLY OF A LINE DESCRIBED AS
BEGINNING AT THE NORTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF
SAID SECTION 35, HEREINAFTER CALLED "POINT A";
THENCE SOUTH ALONG THE 1/16TH LINE 95.4 FEET TO THE TRUE POINT OF BEGINNING OF THE LINE TO BE
DESCRIBED;
THENCE EAST 258.35 FEET;
THENCE SOUTH TO A POINT 495.4 FEET SOUTH OF AND 258.35 FEET EAST OF "POINT A";
THENCE EAST TO THE EAST LINE OF SAID PREMISES AND THE TERMINUS OF SAID LINE, SAID POINT ALSO
BEING DESCRIBED AS THE SOUTHWEST CORNER OF LOT 3 OF BOUNDARY LINE ADJUSTMENT RECORDED
UNDER AUDITOR'S FILE NO. 200303315001;

SITUATE IN THE CITY PUYALLUP, COUNTY OF PIERCE STATE OF WASHINGTON.

TAX PARCEL NO. 0420264053

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249901-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 35, AND THE
SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 20 NORTH, RANGE 4 EAST,
W.M.M., IN PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE
NORTHEAST QUARTER OF SAID SECTION 35 WHICH POINT BEARS NORTH 88°32'51" WEST, 640.11 FEET FROM
A BRASS IN CONCRETE MONUMENT MARKING THE NORTHEAST CORNER OF SAID SECTION 35;
THENCE ALONG THE EAST LINE OF SAID WEST HALF, SOUTH 01°15'04" WEST, 54.00 FEET TO THE TRUE
POINT OF BEGINNING;
THENCE ALONG THE EAST LINE OF SAID WEST HALF, SOUTH 01°15'04" WEST, 437.43 FEET TO POINT LYING
SOUTH 88°53'30" EAST, 405.26 FEET OF THE EASTERLY EXTENSION OF THE NORTH LINE OF LOT 2 OF
PIERCE COUNTY SHORT PLAT NO. 9303010321;
THENCE ALONG SAID NORTH LINE, NORTH 88°53'30" WEST, 405.26 FEET TO THE NORTHEAST CORNER OF
SAID LOT 2;
THENCE ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 2, NORTH 01°06'30" EAST,
789.89 FEET TO THE SOUTHERLY MARGIN OF PIONEER WAY;
THENCE ALONG SAID SOUTHERLY MARGIN, SOUTH 74°08'09" EAST, 272.98 FEET TO A LINE LYING 263.84
FEET EAST OF AND PARALLEL WITH THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 2;
THENCE ALONG SAID PARALLEL LINE, SOUTH 01°06'30" WEST, 282.06 FEET TO A LINE 54.00 FEET SOUTH
OF AND PARALLEL WITH THE NORTH LINE OF SECTION 35;
THENCE ALONG SAID PARALLEL LINE, SOUTH 88°32'51" EAST, 142.38 FEET TO THE TRUE POINT OF
BEGINNING;

EXCEPT THE SOUTH 145.00 FEET THEREOF;

(ALSO KNOWN AS LOT 3 OF RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT RECORDED MARCH 31,
2003 UNDER RECORDING NO. 200303315001).

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

TAX PARCEL NO. 0420264054

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249902-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 35, AND THE
SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 20 NORTH, RANGE 4 EAST,
W.M.M., IN PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE
NORTHEAST QUARTER OF SECTION 35 WHICH POINT BEARS NORTH 88°32'51" WEST, 640.11 FEET FROM A
BRASS IN CONCRETE MONUMENT MARKING THE NORTHEAST CORNER OF SAID SECTION 35;
THENCE ALONG THE EAST LINE OF SAID WEST HALF, SOUTH 01°15'04" WEST, 54.00 FEET;
THENCE ALONG A LINE PARALLEL WITH THE NORTH LINE OF SAID SECTION 35, NORTH 88°32'51" WEST,
142.38 FEET;
THENCE NORTH 01°06'30" EAST, 282.08 FEET TO THE SOUTHERLY MARGIN OF PIONEER WAY;
THENCE ALONG SAID SOUTHERLY MARGIN, SOUTH 74°08'09" EAST, 179.36 FEET TO A LINE LYING 30.48
FEET EAST OF AND PARALLEL WITH EAST LINE OF THE WEST HALF OF THE NORTH EAST QUARTER OF THE
NORTHEAST QUARTER OF SAID SECTION 35;
THENCE ALONG SAID PARALLEL LINE, SOUTH 01°15'04" WEST, 183.43 FEET TO THE NORTH LINE OF SAID
SECTION 35;
THENCE ALONG SAID NORTH LINE, NORTH 88°32'51" WEST, 30.48 FEET TO THE POINT OF BEGINNING;

(ALSO KNOWN AS LOT 5 OF RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT RECORDED MARCH 31,
2003 UNDER RECORDING NO. 200303315001).

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

Should reflect updated
Title Report provided w/
this submittal. [Short Plat:
Sht 3]

Legal Description does
not agree with updated
Title Report (Short Plat:
Sht 3)

FYI...described bearings
are slightly off w/ those
shown on Sheet 5 (Short
Plat: Sht 3)

Does not agree w/
updated Title Report
[Short Plat: Sht 3]

Should reflect updated
Title Report provided w/
this submittal. [Short Plat:
Sht 3]

Legal Description does
not agree with updated
Title Report (Short Plat:
Sht 3)

FYI...described bearings
are slightly off w/ those
shown on Sheet 5 (Short
Plat: Sht 3)

This bearing is way off w/ Sheet 5
(1d7'47") [Short Plat: Sht 3]

TAX PARCEL NO. 0420351066

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249903-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

COMMENCING AT THE NORTHEAST CORNER OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE
NORTHEAST QUARTER OF SAID SECTION 35 WHICH POINT BEARS NORTH 88°32'51" WEST, 640.11 FEET FROM
A BRASS IN CONCRETE MONUMENT MARKING THE NORTHEAST CORNER OF SAID SECTION 35;
THENCE ALONG THE EAST LINE OF SAID WEST HALF, SOUTH 01°15'04" WEST, 491.43 FEET TO A POINT LYING
SOUTH 88°53'30" EAST, 405.26 FEET TO THE EASTERLY EXTENSION OF THE NORTH LINE OF LOT 2 OF THE
PIERCE COUNTY SHORT PLAT NO. 9303010321 AND THE TRUE POINT OF BEGINNING;
THENCE ALONG SAID NORTH LINE, NORTH 88°53'30" WEST, 405.26 TO THE NORTHEAST CORNER OF SAID
LOT 2;
THENCE ALONG THE NORTHERLY EXTENSION OF THE EAST LINE OF SAID LOT 2, NORTH 01°06'30" EAST,
145.00 FEET;
THENCE SOUTH 88°53'30" EAST 405.62 FEET TO THE EAST LINE OF THE WEST HALF OF THE NORTHEAST
QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 35;
THENCE ALONG SAID EAST LINE SOUTH 01°15'04" WEST, 145.00 FEET TO THE TRUE POINT OF BEGINNING

(ALSO KNOWN AS LOT 3 OF RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT RECORDED MARCH 31,
2003 UNDER RECORDING NO. 200303315001).

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

TAX PARCEL NO. 0420351030

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249904-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

BEGINNING AT THE SIXTEENTH SECTION CORNER OF SECTION 35, TOWNSHIP 20 NORTH, RANGE 4 EAST OF
THE WILLAMETTE MERIDIAN, 1321.48 FEET WEST OF THE CORNER COMMON TO SECTIONS 25, 26, 35 AND 36;
THENCE SOUTH ALONG THE SIXTEENTH SECTION 95.4 FEET TO THE TRUE POINT OF BEGINNING;
THENCE EAST 258.26 FEET;
THENCE SOUTH 100 FEET;
THENCE WEST 258.26 FEET;
THENCE NORTH 100 FEET TO THE TRUE POINT OF BEGINNING, IN PIERCE COUNTY, WASHINGTON.

EXCEPT SHAW COUNTY ROAD.

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

TAX PARCEL NO. 0420351029

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249905-1-E
DATED JANUARY 22, 2021 AT 8:00 A.M.

BEGINNING AT THE 1/16 SECTION CORNER, 1321.48 FEET WEST OF CORNER MONUMENT
COMMON TO SECTIONS 25, 26, 35 AND 36 IN TOWNSHIP 20 NORTH, RANGE 4 EAST,
WILLAMETTE MERIDIAN, IN PIERCE COUNTY, WASHINGTON;
THENCE SOUTH ALONG THE 1/16 SECTION LINE 195.4 FEET TO THE TRUE POINT OF
BEGINNING;
THENCE EAST 258.26 FEET;
THENCE SOUTH 100 FEET;
THENCE WEST 258.26 FEET;
THENCE NORTH 100 FEET TO TRUE POINT OF BEGINNING.

EXCEPT THE WEST 30 FEET THEREOF FOR ROAD.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON.

TAX PARCEL NO. 0420351026

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249906-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

BEGINNING AT THE 1/16 CORNER 1321.48 FEET WEST OF THE CORNER MONUMENT COMMON TO SECTIONS
25, 26, 35 AND 36 IN TOWNSHIP 20 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN PIERCE COUNTY,
WASHINGTON;

THENCE SOUTH ALONG THE 1/16 SECTION LINE 294.5 FEET TO THE TRUE POINT OF BEGINNING;
THENCE EAST 258.35 FEET;
THENCE SOUTH 100 FEET;
THENCE WEST 258.35 FEET;
THENCE NORTH 100 FEET TO THE TRUE POINT OF BEGINNING, IN PIERCE COUNTY, WASHINGTON.

EXCEPT SHAW COUNTY ROAD.

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

Should reflect updated Title Report
provided w/ this submittal. [Short
Plat: Sht 3]

Legal Description does not
agree with updated Title Report
[Short Plat: Sht 3]

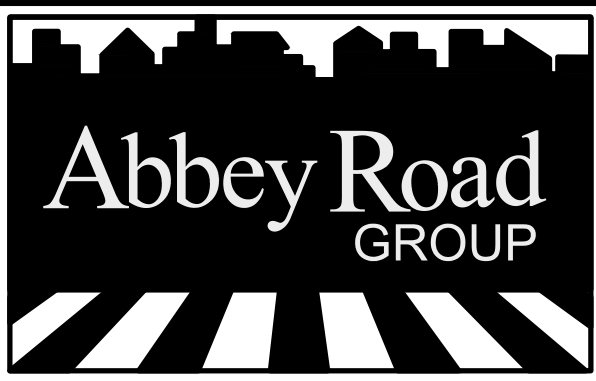
Legal Description does not
agree with updated Title Report
[Short Plat: Sht 3]

FYI...described bearings are
slightly off w/ those shown on
Sheet 5 (Short Plat: Sht 3)

JOB NO. 06-171-01
SHEET 3 OF 12



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159



EAST TOWN CROSSING

SHORT PLAT

TITLE REPORT(S) SCHEDULE B EXCEPTIONS

A PORTION OF THE SE 1/4 OF THE SE 1/4 , SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025

TAX PARCEL NO. 0420264021

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249900-T35
DATED MARCH 01, 2021 AT 8:00 A.M.

1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. EASEMENT AND THE TERMS AN CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEMS
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JUNE 9, 1994
RECORDING NO.: 9406090639
SAID EASEMENT HAS BEEN PLOTTED HEREON.
4. EASEMENT AND THE TERMS AN CONDITIONS THEREOF:
GRANTEE: US WEST COMMUNICATION INC.
PURPOSE: TELECOMMUNICATION FACILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: SEPTEMBER 2, 1994
RECORDING NO.: 9409020240
SAID EASEMENT HAS BEEN PLOTTED HEREON.
5. NOT AN SURVEY ITEM.
6. NOT AN SURVEY ITEM.
7. NOT AN SURVEY ITEM.
8. MATTERS SET FORTH BY SURVEY:
RECORDED: AUGUST 31, 1994
RECORDING NO.: 9408310370
SAID SURVEY DEPICTS A GRAVEL DRIVE MEANDERING ALONG THE EAST SIDE OF THE SUBJECT PARCEL.
SAID GRAVEL DRIVE WAS NOT OBSERVED DURING THIS SURVEY.
9. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420264053

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249901-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: FEBRUARY 16, 1956
RECORDING NO.: 1747308
IT HAS BEEN DETERMINED THAT SAID EASEMENT IS NOT SITUATED WITHIN THIS SUBJECT PARCEL.
4. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JUNE 4, 1956
RECORDING NO.: 1757440
IT HAS BEEN DETERMINED THAT SAID EASEMENT IS NOT SITUATED WITHIN THIS SUBJECT PARCEL.
5. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: AUGUST 31, 1956
RECORDING NO.: 1766009
IT HAS BEEN DETERMINED THAT SAID EASEMENT IS NOT SITUATED WITHIN THIS SUBJECT PARCEL.
6. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND DISTRIBUTION LINE
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDING NO.: 9406090639
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
7. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: U.S. WEST COMMUNICATIONS
PURPOSE: TELECOMMUNICATIONS
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: SEPTEMBER 2, 1994
RECORDING NO.: 9409020240
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
8. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND ENERGY, INC.
PURPOSE: UTILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JANUARY 27, 2004
RECORDING NO.: 200401270128
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. THE LEGAL DESCRIPTION CONTAINED WITHIN BLANKETS LOTS 2 AND 3 OF THAT CERTAIN SHORT PLAT RECORDED UNDER AFN 9303010321 SITUATING SAID EASEMENT OUTSIDE OF THE DEPICTED PARCELS. SAID EASEMENT HAS NOT BEEN PLOTTED HEREON.
9. NOT AN SURVEY ITEM.
10. NOT AN SURVEY ITEM.
11. ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY, DISCLOSED BY THE BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NO. 200303315001.
SAID BOUNDARY LINE ADJUSTMENT CREATES THE SUBJECT PARCELS CURRENT BOUNDARY CONFIGURATION. SAID BOUNDARY LINE ADJUSTMENT ALSO DEPICTS A PROPOSED 30' ACCESS EASEMENT RUNNING PARALLEL WITH THE WEST LINE OF THE OF SUBJECT PARCEL. IT IS UNKNOWN TO THIS SURVEYOR IS SAID EASEMENT WAS RECORDED.
12. MATTERS SET FORTH BY SURVEY:
RECORDED: JANUARY 31, 2002
RECORDING NO.: 200201315001
SAID SURVEY DEPICTS A PSE (PUGET SOUND ENERGY) EASEMENT WITH AN REFERENCE RECORDING NO. 9406090638. SAID EASEMENT ABUTS THE PIONEER WAY SOUTHERLY RIGHT OF WAY MARGIN. SAID EASEMENT HAS BEEN PLOTTED HEREON.
13. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420264054

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249902-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINES
AREA AFFECTED: A PORTION OF THE PREMISES
RECORDED: JANUARY 4, 1991
RECORDING NO.: 9101040259
SAID EASEMENT HAS BEEN PLOTTED HEREON.
4. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND DISTRIBUTION LINE
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JUNE 9, 1994
RECORDING NO.: 9406090639
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
5. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: U.S. WEST COMMUNICATIONS, INC.
PURPOSE: TELECOMMUNICATIONS FACILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JULY 19, 1994
RECORDING NO.: 9407190377
SAID EASEMENT HAS BEEN PLOTTED HEREON.
6. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: U.S. WEST COMMUNICATIONS
PURPOSE: TELECOMMUNICATIONS FACILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: SEPTEMBER 2, 1994
RECORDING NO.: 9409020240
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
7. NOT AN SURVEY ITEM.
8. ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY, DISCLOSED BY THE BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NO. 200303315001.
SAID BOUNDARY LINE ADJUSTMENT CREATES THE SUBJECT PARCELS CURRENT BOUNDARY CONFIGURATION.
9. MATTERS SET FORTH BY SURVEY:
RECORDED: JANUARY 31, 2002
RECORDING NO.: 200201315001
SAID SURVEY DEPICTS A PSE (PUGET SOUND ENERGY) EASEMENT WITH AN REFERENCE RECORDING NO. 9406090638. SAID EASEMENT ABUTS THE PIONEER WAY SOUTHERLY RIGHT OF WAY MARGIN. SAID EASEMENT HAS BEEN PLOTTED HEREON.
10. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420351066

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249903-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: FEBRUARY 16, 1956
RECORDING NO.: 1747308
SAID EASEMENT HAS BEEN PLOTTED HEREON.
4. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JUNE 4, 1956
RECORDING NO.: 1757440
SAID EASEMENT HAS BEEN PLOTTED HEREON.
5. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PACIFIC NORTHWEST PIPELINE CORPORATION
PURPOSE: PIPELINE FOR THE TRANSPORTATION OF OIL AND GAS.
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: AUGUST 31, 1956
RECORDING NO.: 1766009
EASEMENT HAS BEEN PLOTTED HEREON.
6. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND POWER AND LIGHT COMPANY
PURPOSE: ELECTRIC TRANSMISSION AND DISTRIBUTION LINE
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JUNE 9, 1994
RECORDING NO.: 9406090639
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
7. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: U.S. WEST COMMUNICATIONS
PURPOSE: TELECOMMUNICATIONS FACILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: SEPTEMBER 2, 1994
RECORDING NO.: 9409020240
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. SAID EASEMENT HAS BEEN PLOTTED HEREON.
8. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND ENERGY, INC.
PURPOSE: UTILITIES
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: JANUARY 27, 2004
RECORDING NO.: 200401270128
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT SAID EASEMENT IS NOT SITUATED WITHIN THE SUBJECT PARCEL. THE LEGAL DESCRIPTION CONTAINED WITHIN BLANKETS LOTS 2 AND 3 OF THAT CERTAIN SHORT PLAT RECORDED UNDER AFN 9303010321 SITUATING SAID EASEMENT OUTSIDE OF THE DEPICTED PARCELS. SAID EASEMENT HAS BEEN PLOTTED HEREON.
9. NOT AN SURVEY ITEM.
10. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420351066 (CONTINUED)

11. ALL COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY, DISCLOSED BY THE BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NO. 200303315001. SAID BOUNDARY LINE ADJUSTMENT CREATES THE SUBJECT PARCELS CURRENT BOUNDARY CONFIGURATION. SAID BOUNDARY LINE ADJUSTMENT ALSO DEPICTS A PROPOSED 30' ACCESS EASEMENT RUNNING PARALLEL WITH THE WEST LINE OF THE OF LOT 4 OF AFOREMENTIONED BOUNDARY LINE ADJUSTMENT. SAID EASEMENT TERMINATES AT THE NORTH LINE OF THE SUBJECT PARCEL. IT IS UNKNOWN TO THIS SURVEYOR IS SAID EASEMENT WAS RECORDED.
12. MATTERS SET FORTH BY SURVEY:
RECORDED: JANUARY 31, 2002
RECORDING NO.: 200201315001
NO MATTERS OF TITLE WERE AFFECTING SAID SUBJECT PARCEL WAS DISCLOSED THROUGH SAID SURVEY.

TAX PARCEL NO. 0420351030

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249904-T35 DATED JANUARY 22, 2021 AT 8:00 A.M.

1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. EASEMENT AND THE TERMS AND CONDITIONS THEREOF:
GRANTEE: PUGET SOUND ENERGY, INC.
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION LINE
AREA AFFECTED: A PORTION OF SAID PREMISES
RECORDED: NOVEMBER 20, 2009
RECORDING NO.: 200911200322
SAID EASEMENT BEING 5'X12' HAS BEEN PLOTTED HEREON.
4. NOT AN SURVEY ITEM.
5. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420351029

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249905-1-E
DATED JANUARY 22, 2021 AT 8:00 A.M.

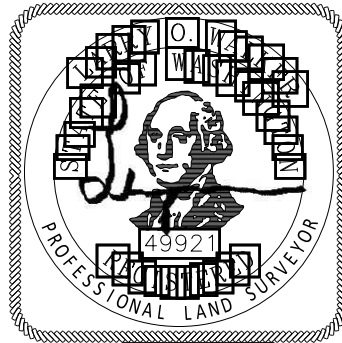
1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. NOT AN SURVEY ITEM.
4. NOT AN SURVEY ITEM.
5. NOT AN SURVEY ITEM.

TAX PARCEL NO. 0420351026

PER CW TITLE TITLE RESOURCES GUARANTY COMPANY SUBDIVISION GUARANTEE ORDER NO. 40249906-T35
DATED JANUARY 22, 2021 AT 8:00 A.M.

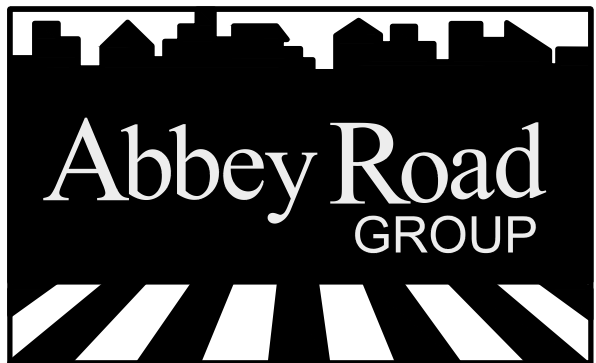
1. NOT AN SURVEY ITEM.
2. NOT AN SURVEY ITEM.
3. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND HEREIN DESCRIBED AS GRANTED TO KING COUNTY BY DEED RECORDED UNDER RECORDING NO. 1618880.
IT HAS BEEN DETERMINED BY THIS SURVEYOR THAT THE RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS NOW FALLS WITHIN THE CURRENT RIGHT OF WAY OF SHAW ROAD.
4. NOT AN SURVEY ITEM.
5. NOT AN SURVEY ITEM.

Error in Title Report...should read
"Pierce County". Please notify
Title Company of Error. [Short Plat: Sht 4]



JOB NO. 06-171-01
SHEET 4 OF 12

Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159



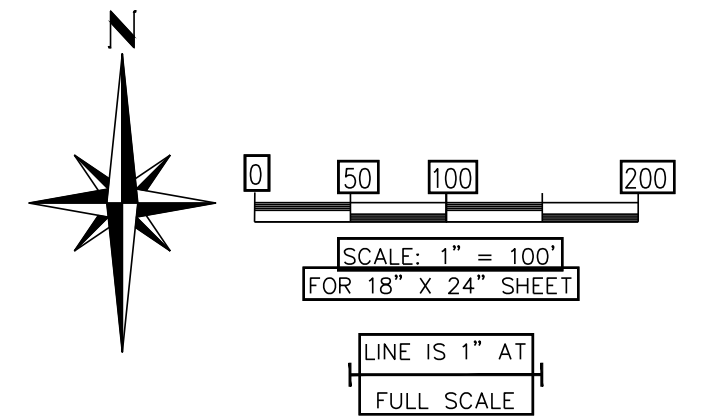
EAST TOWN CROSSING

SHORT PLAT

ORIGINAL PARCELS BOUNDARY CONTROL MAP

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



BASIS OF BEARINGS

HELD S 01° 21' 28" W OBSERVED ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SEC. 35, T. 20 N. R. 4 E. BETWEEN THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER MONUMENT AND THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER MONUMENT OF THE SAID SECTION AS SHOWN HEREON.

VERTICAL DATUM

NAVD 88

AS DEFINED BY THE NATIONAL GEODETIC SURVEY (NGS)

PROJECT BENCHMARK

DESIGNATION: 21 010

PID: DL2774

PUBLISHED ELEVATION: 75.70 FEET (NAVD 88)

DESCRIPTION:

ENCASED STEEL ROD LOCATED IN EASTERLY GRAVEL SHOULDER AT THE INTERSECTION OF PIONEER WAY AND 134TH AVE E

METHODOLOGY AND EQUIPMENT

THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH A TOPCON PS 103A 3" TOTAL STATION AND TOPCON GR-3 GPS RECEIVER AND WSRN (WASHINGTON STATE REFERENCE NETWORK) UTILIZING ROVER/NETWORK RTK TECHNIQUES AND TOGETHER WITH TOPCON AT-B2 AUTOLEVEL WITH CLOSED LOOP LEVELING THAT MEETS OR EXCEEDS THOSE STANDARDS IDENTIFIED BY WAC 332-130-090.

REFERENCES

1. RECORD OF SURVEY FOR BOUNDARY LINE ADJUSTMENT AFN 200303315001
2. PIERCE COUNTY SHORT PLAT AFN 9303010321
3. RECORD OF SURVEY AFN 200201315001
4. CITY OF PUYALLUP BOUNDARY LINE REVISION 08-84-004 AFN 200808195012
5. PIERCE COUNTY LARGE LOT DIVISION AFN 8210040207
6. PLAT OF PUYALLUP HIGHLANDS PHASE 1 AFN 200707165007
7. RECORD OF SURVEY AFN 2038
8. PIONEER CROSSING BINDING SITE PLAN AFN 201210305003
9. RE-RECORDED STATUTORY WARRANTY DEED AFN 9408230215

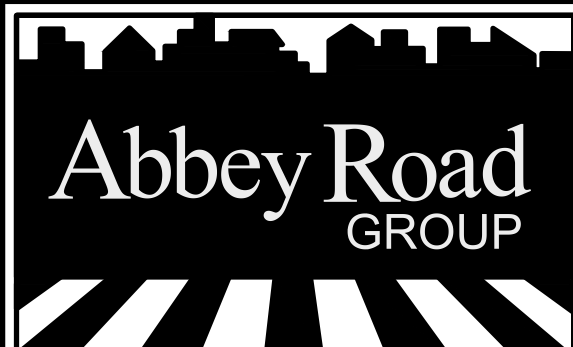
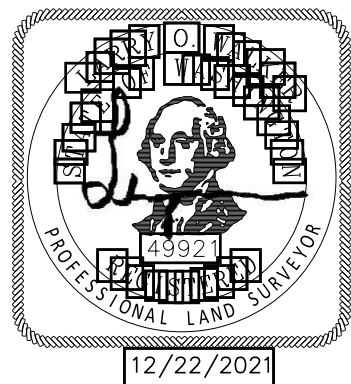
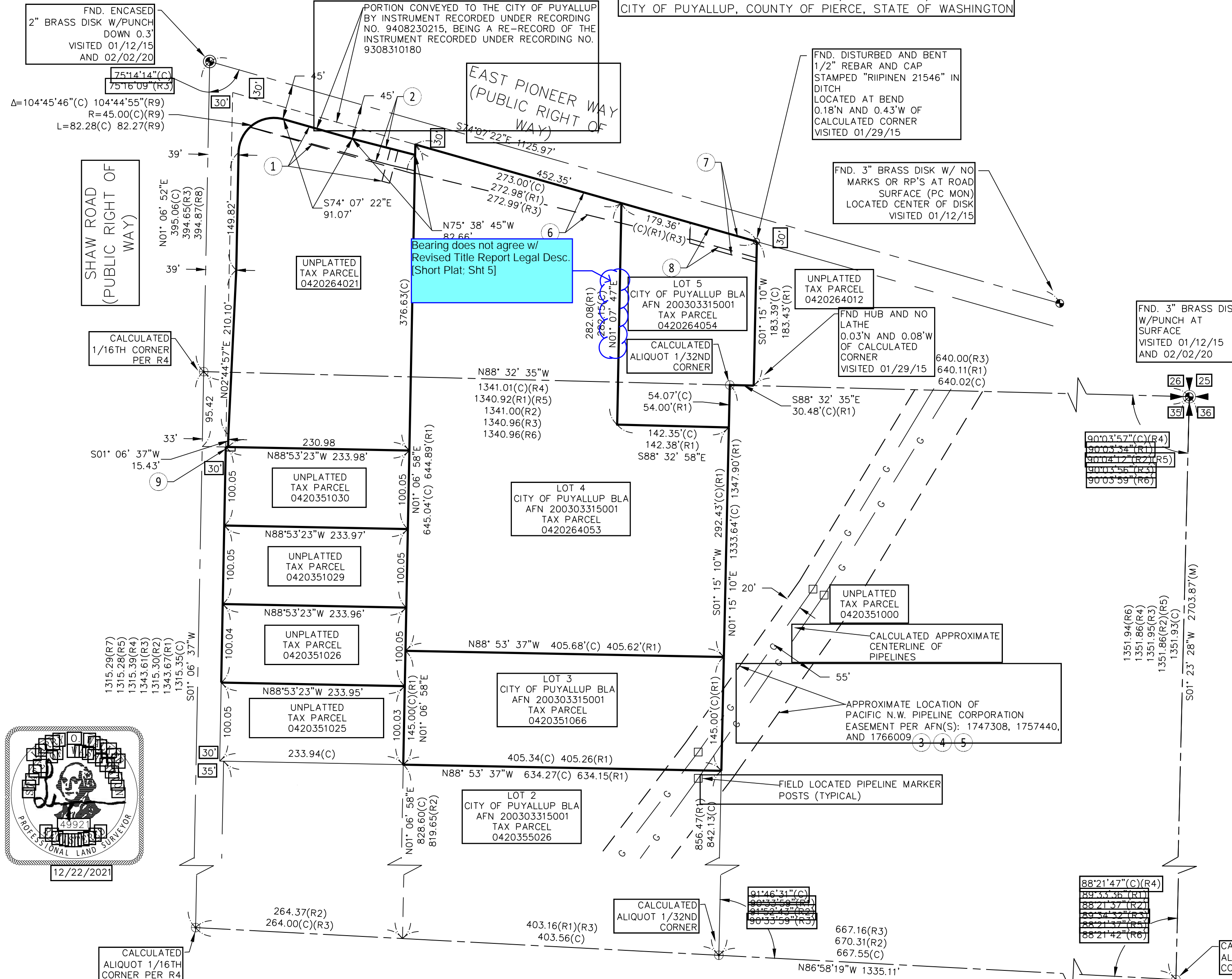
SURVEYORS NOTES

1. THE PURPOSE OF THIS SURVEY IS FOR FUTURE DEVELOPMENT OF THE SUBJECT PARCELS.
2. DATE OF SURVEY: JANUARY AND FEBRUARY OF 2015, JUNE OF 2016, MARCH AND JULY OF 2019, AND JANUARY OF 2020.
3. THE BOUNDARY CORNERS AND ASSOCIATED LINES BETWEEN AS SHOWN ON THIS SHEET REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
4. THE CONTOUR INTERVAL AS SHOWN ON SHEET 6 OF 12, ARE 2 FOOT INTERVAL, AND WAS GENERATED FROM DIRECT FIELD OBSERVATIONS. THE ACCURACIES OF WHICH MEET THE NATION MAPPING STANDARDS (ONE HALF THE CONTOUR INTERVAL).
5. THE UTILITIES SHOWN HEREON ARE BASED UPON SURFACE EVIDENCE FIELD OBSERVATIONS OF THE STORM AND SEWER STRUCTURES AND THE INTERPOLATION BETWEEN SAID STRUCTURES. OTHER UTILITIES SHOWN HEREIN ARE BASED OFF OF RECORD POSITIONS AND HAVE NOT BEEN FIELD VERIFIED BY ABBEY ROAD GROUP AND ARE TO BE TREATED AS APPROXIMATE IN NATURE. UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON.
6. THIS SURVEY MAY SHOW OCCUPATIONAL INDICATORS SUCH AS FENCES, EXISTING POSSESSION AND/OR OCCUPATION MAY HAVE RIGHTS. DO NOT REMOVE THEM WITHOUT THE OWNERS' CONSENT OR LEGAL COUNSEL. THESE OCCUPATIONAL INDICATORS MAY BE AN INDICATION OF UNWRITTEN RIGHTS OF TITLE BY EITHER PEACEFUL SETTLEMENT OR HOSTILE RELATIONS. NO ATTEMPT WAS MADE TO VERIFY OR RESOLVE IF AN UNWRITTEN RIGHT HAS BEEN EXTINGUISHED FROM ANY PART OF THE WRITTEN TITLE SHOWN BY THIS SURVEY. ANY CLAIMANT SHOULD CONSULT AN ATTORNEY CONCERNING THE BURDEN OF PROOF TO PERFECT AN UNWRITTEN RIGHT AND OBTAIN A WRITTEN TITLE.

LEGEND

- (M) MEASURED
- (C) CALCULATED
- (RX) SEE REFERENCED DOCUMENTS ABOVE
- FOUND MONUMENT AS NOTED
- CALCULATED MONUMENT AS NOTED
- EASEMENT AS CONTAINED WITHIN TITLE REPORT, PLEASE SEE SHEET 4 OF 12 FOR FURTHER INFORMATION
- SECTIONAL SUBDIVISIONAL LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY MARGIN
- SUBJECT PARCELS DEED LINE
- EASEMENT LINE AS NOTED

1



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

EXISTING LOT AREAS TABLE

TAX PARCEL NO.	SQUARE FEET	ACRES
0420264021	90934	2.088 +/-
0420264053	202699	4.653 +/-
0420264054	43339	0.995 +/-
0420351030	23408	0.537 +/-
0420351029	23407	0.537 +/-
0420351026	23405	0.537 +/-
0420351066	58799	1.350 +/-

FLOOD ZONE NOTE

ALL PARCELS WITHIN THIS SHORT PLAT LIE WITHIN ZONE A. AS PER FEMA FIRM PANEL MAP NO. 53053C0342E, PANEL 342 OF 1375, WITH AN EFFECTIVE DATE OF MARCH 07, 2017.

FND. 1 1/2" O.D. IRON PIPE
VISITED 01/12/15

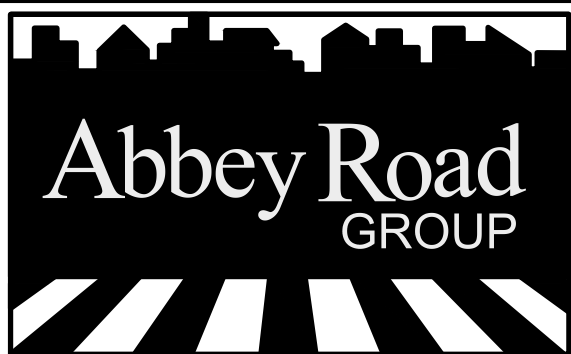
JOB NO. 06-171-01
SHEET 5 OF 12

EAST TOWN CROSSING
SHORT PLAT
EXISTING CONDITIONS

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

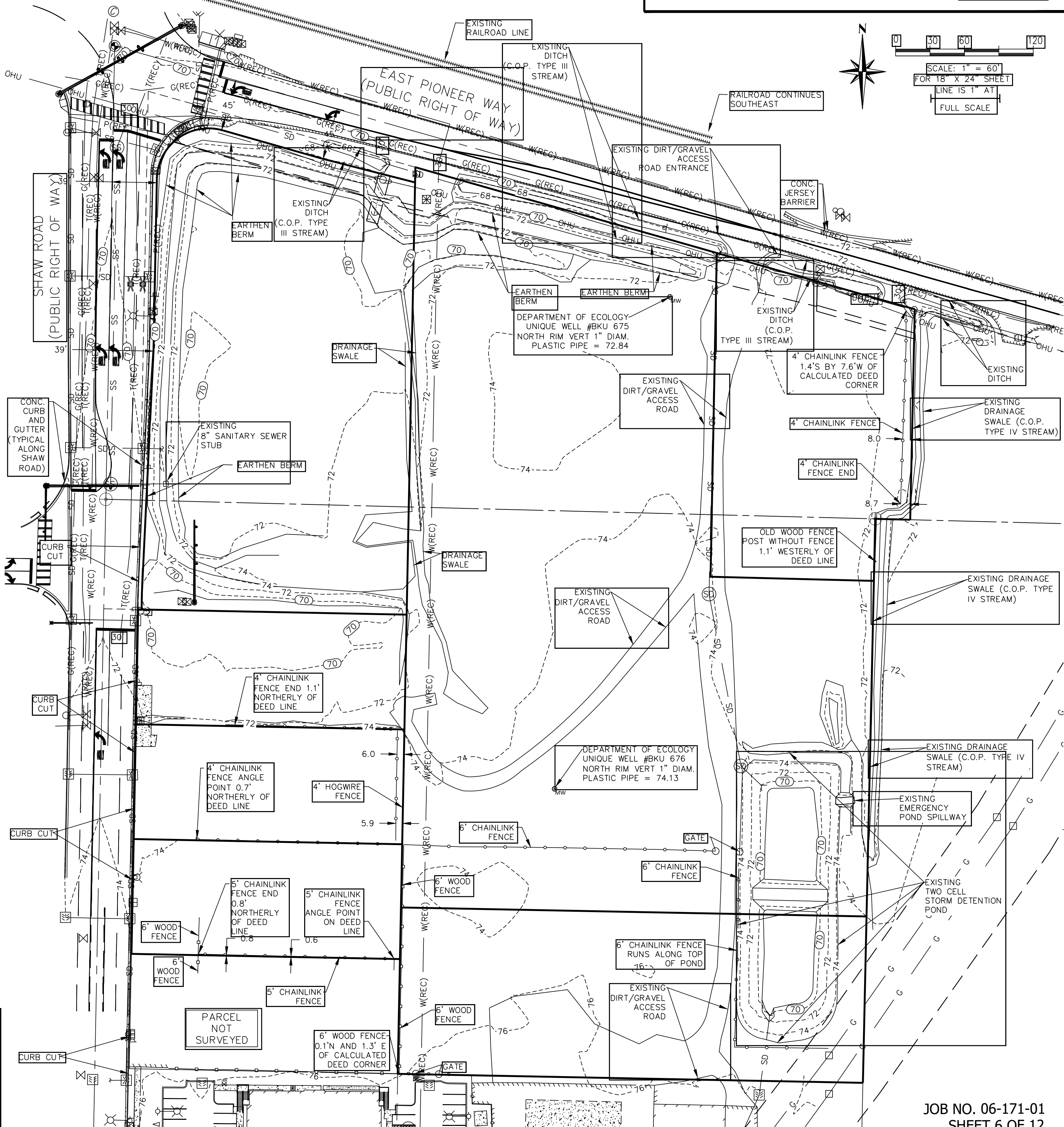
- LEGEND:
- SD EXISTING STORMDRAIN MANHOLE
 - EXISTING STORMDRAIN CATCHBASIN
 - SS EXISTING SANITARY SEWER MANHOLE
 - W EXISTING WATER VAULT
 - EXISTING WATER METER
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING IRRIGATION CONTROL VALVE
 - EXISTING NATURAL GAS METER
 - EXISTING UTILITY JUNCTION BOX
 - EXISTING UTILITY POLE
 - EXISTING LUMINAIRE ON CONCRETE BASE
 - EXISTING FENCE GATE POST
 - EXISTING BOLLARD
 - EXISTING SIGN
 - MW EXISTING MONITORING WELL
 - SECTIONAL SUBDIVISIONAL LINE
 - RIGHT OF WAY CENTERLINE
 - RIGHT OF WAY MARGIN
 - SUBJECT PARCELS DEED LINE
 - EXISTING EDGE OF ASPHALT PAVEMENT
 - SS EXISTING SANITARY SEWER LINE
 - SD EXISTING STORM DRAIN LINE
 - OHU EXISTING AERIAL UTILITY LINE
 - W(REC) RECORD POSITION WATER LINE
 - P(REC) RECORD POSITION POWER LINE
 - G(REC) RECORD POSITION NATURAL GAS LINE
 - T(REC) RECORD POSITION TELECOMMUNICATIONS LINE
 - EXISTING CONCRETE SURFACE

CONTOURS DEPICTED ARE 2 FOOT. SEE SURVEYORS NOTE 4 ON SHEET
5 OF 12 FOR ADDITIONAL INFORMATION.



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



EAST TOWN CROSSING

SHORT PLAT LOT CONFIGURATION MAP

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 2, TWP. 20 N., R. 04 E., WM. AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35, ALL SITUATE IN TWP. 20 N., R. 04 E., WM. CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N88° 53' 23"W	16.60'
L2	N01° 06' 37"E	300.14'
L3	N88° 53' 23"W	3.00'
L4	S01° 06' 37"W	15.43'
L5	N02° 44' 57"E	210.10'
L6	N01° 06' 52"E	149.82'
L7	S74° 07' 22"E	91.07'
L8	S75° 38' 45"E	82.66'
L9	N01° 06' 58"E	13.24'
L10	S01° 15' 10"W	26.87'

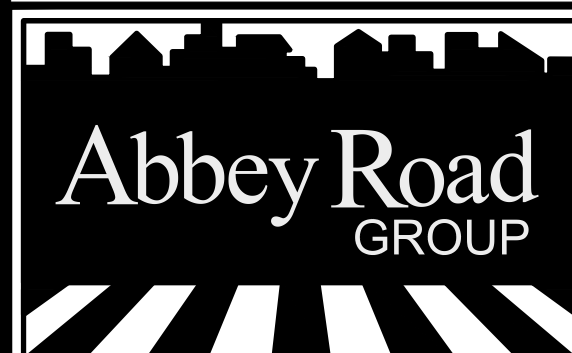
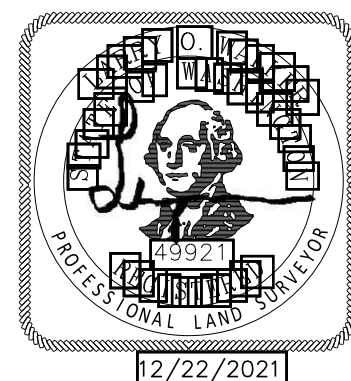
CURVE TABLE			
CURVE NO.	LENGTH	RADIUS	DELTA Δ
C1	82.28'	45.00'	104° 45' 46"
C2	61.80'	33.80'	104° 45' 46"

LEGEND

- SET 5/8" REBAR AND CAP STAMPED "ARG 49921"
- ⊕ CALCULATED MONUMENT AS NOTED
- ① EASEMENT AS CONTAINED WITHIN TITLE REPORT. PLEASE SEE SHEET 4 OF 12 FOR FURTHER INFORMATION
- SECTIONAL SUBDIVISIONAL LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY MARGIN
- ORIGINAL PARCELS DEED LINES
- SHORT PLAT LOT LINES
- EASEMENT LINE AS NOTED

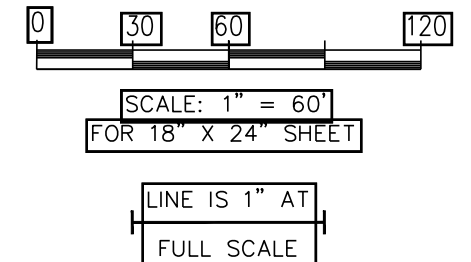
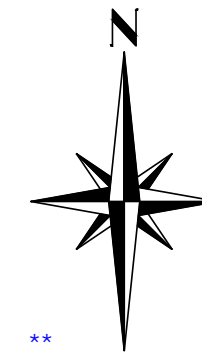
SHORT PLAT RIGHT OF WAY DEDICATION AREA

If a sewer stub is provided to the adjacent Nix property per the DA, there may be a need to add language for a future Covenant and/or delineate on the short plat. [Short Plat: Sht 2]



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



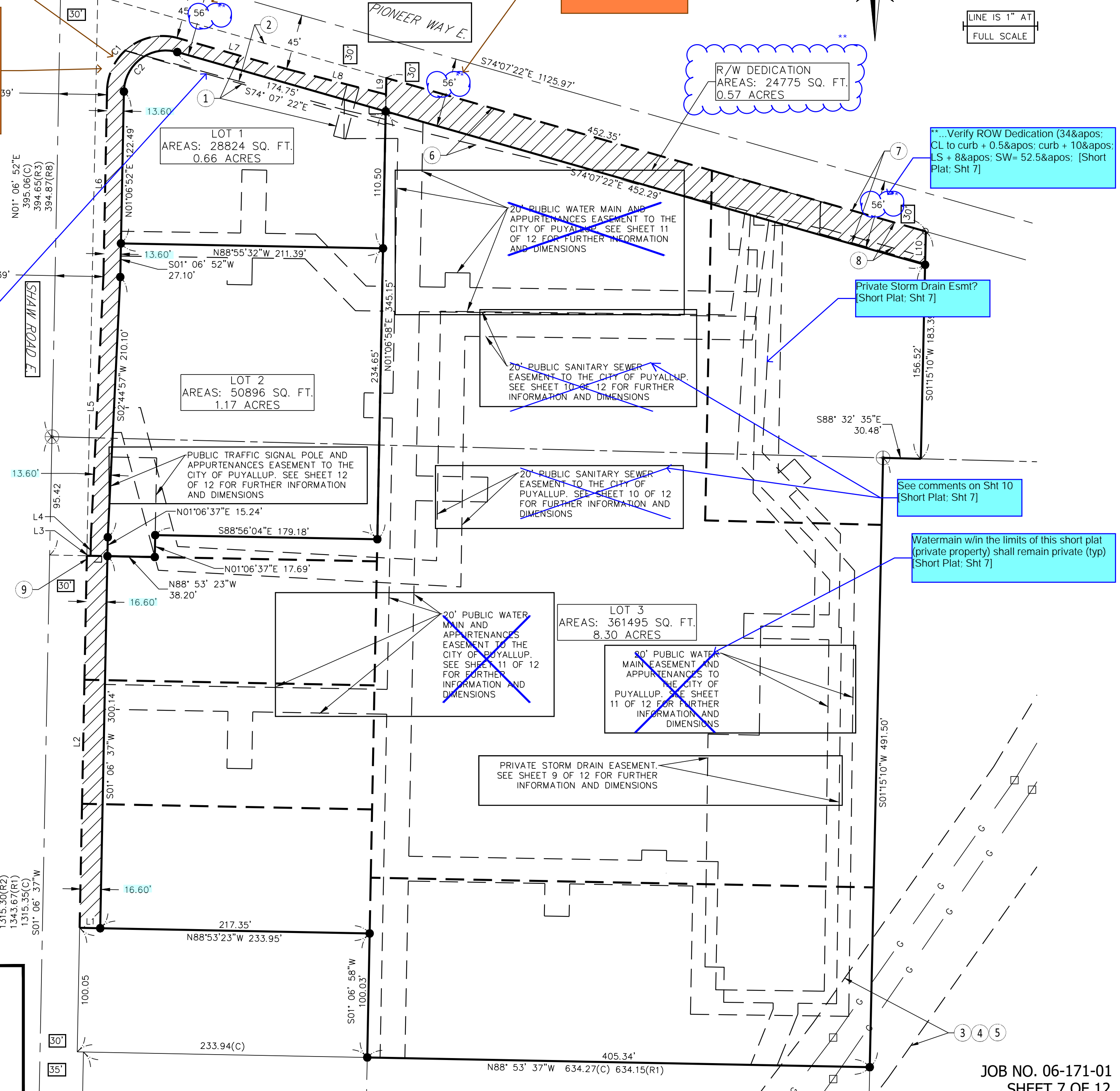
Provide an exhibit that shows proposed ETC frontage design with proposed ROW location

Provide AutoTurn analysis for this radius (NBR movement from outside Shaw Rd lane) to ensure design vehicles can safely maneuver without impacting WBL turn pocket

Per the Storm Report, there is a bioretention cell proposed to serve the Pioneer Way frontage. Any stormwater facility serving public infrastructure must be wholly located in ROW or a separate tract dedicated to the City. Show on plat document. [Short Plat: Sht 7]

Per previous comments, please verify 56ft dimension. City estimates only 52.5ft is necessary from centerline

Per previous comments, please verify 56ft dimension. City estimates only 52.5ft is necessary from centerline



***Verify ROW Dedication (34'±; CL to curb + 0.5'±; curb + 10'±; LS + 8'±; SW= 52.5'±; [Short Plat: Sht 7])

Private Storm Drain Esmt? [Short Plat: Sht 7]

See comments on Sht 10 [Short Plat: Sht 7]

Watermain w/in the limits of this short plat (private property) shall remain private (typ) [Short Plat: Sht 7]

JOB NO. 06-171-01
SHEET 7 OF 12

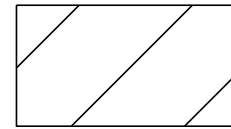
EAST TOWN CROSSING

SHORT PLAT

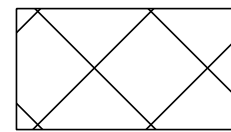
LOT CONFIGURATION MAP AND ZONING

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

LEGEND

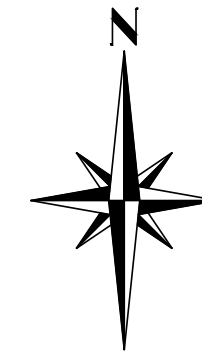


ZONING - CG
(COMMERCIAL GENERAL)



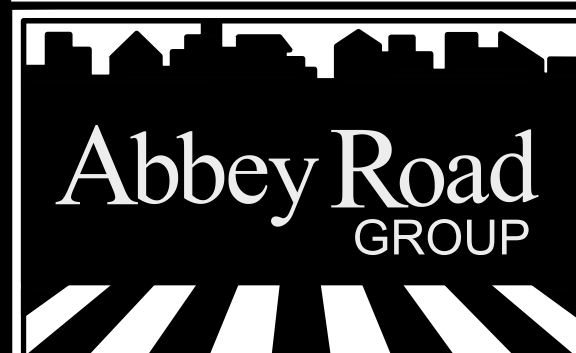
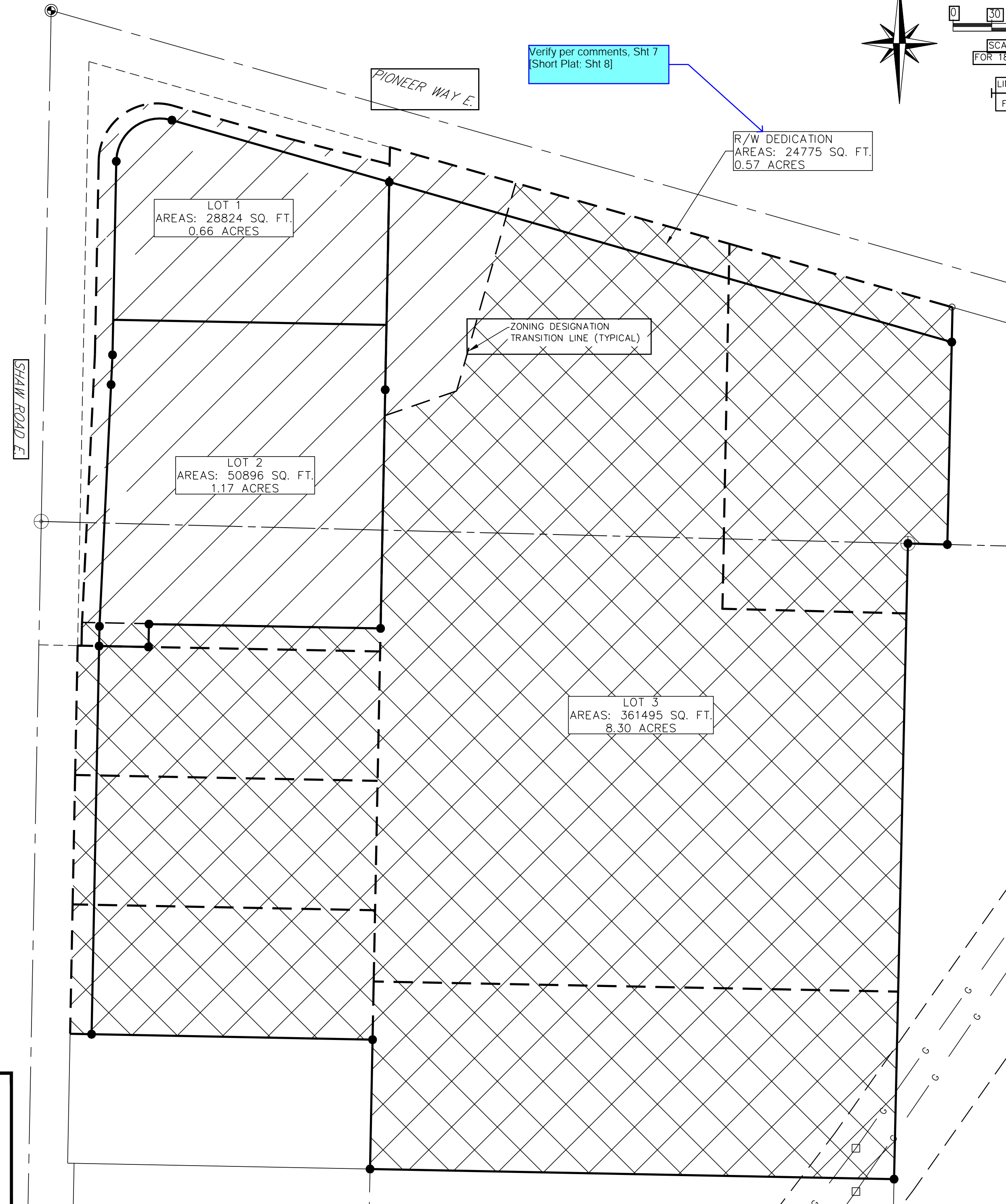
ZONING - RM-20
(HIGH DENSITY MULTIPLE-FAMILY
RESIDENTIAL)

CITY OF PUYALLUP SHORT PLAT NO. **P-21-0025**



0 30 60 120
SCALE: 1" = 60'
FOR 18" X 24" SHEET

LINE IS 1" AT
FULL SCALE



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

JOB NO. 06-171-01
SHEET 8 OF 12

EAST TOWN CROSSING

SHORT PLAT

PRIVATE STORM DRAIN EASEMENT

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

NOTE:
ADDITIONAL EASEMENTS AND EASEMENT PROVISIONS CAN BE FOUND
ON SHEET 1 OF 12

LEGEND

● SET 5/8" REBAR AND CAP
STAMPED "ARG 49921"

SECTIONAL SUBDIVISIONAL LINE

RIGHT OF WAY CENTERLINE

RIGHT OF WAY MARGIN

ORIGINAL PARCELS DEED LINES

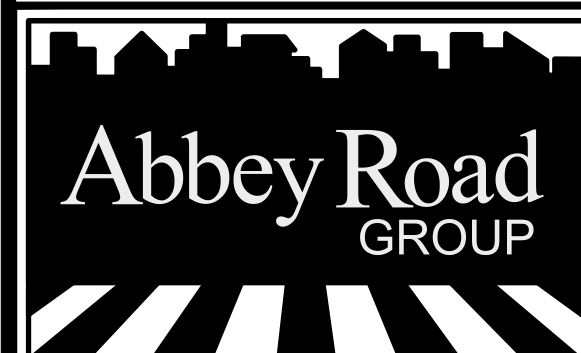
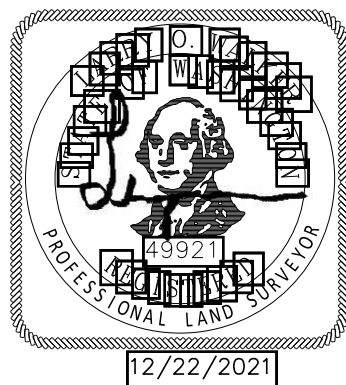
SHORT PLAT LOT LINES

PROPOSED EASEMENT CENTERLINE

PROPOSED EASEMENT MARGIN

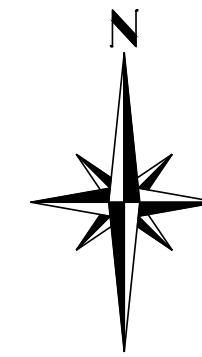
LINE TABLE

LINE NO.	BEARING	DISTANCE
L50	N88° 53' 37"W	74.67'
L51	N21° 55' 50"E	44.71'
L52	N00° 30' 14"E	8.62'
L53	S89° 15' 02"E	31.09'
L54	N00° 44' 58"E	303.44'
L55	N88° 58' 12"W	2.10'
L56	N01° 00' 00"E	75.60'
L57	N43° 55' 40"W	90.95'
L58	N03° 08' 51"E	186.15'
L59	S74° 07' 22"E	20.50'
L60	N03° 08' 51"E	199.38'
L61	N43° 55' 40"W	91.39'
L62	N01° 00' 00"E	67.32'
L63	N88° 58' 12"W	43.01'
L64	S00° 44' 58"W	87.93'
L65	N88° 55' 40"W	41.34'
L66	S00° 44' 58"W	187.71'
L67	S88° 55' 40"E	15.46'
L68	S00° 44' 58"W	28.26'
L69	S89° 15' 02"E	39.90'
L70	N00° 30' 14"E	4.92'
L71	N21° 55' 50"E	48.54'
L72	S88° 53' 37"E	21.40'



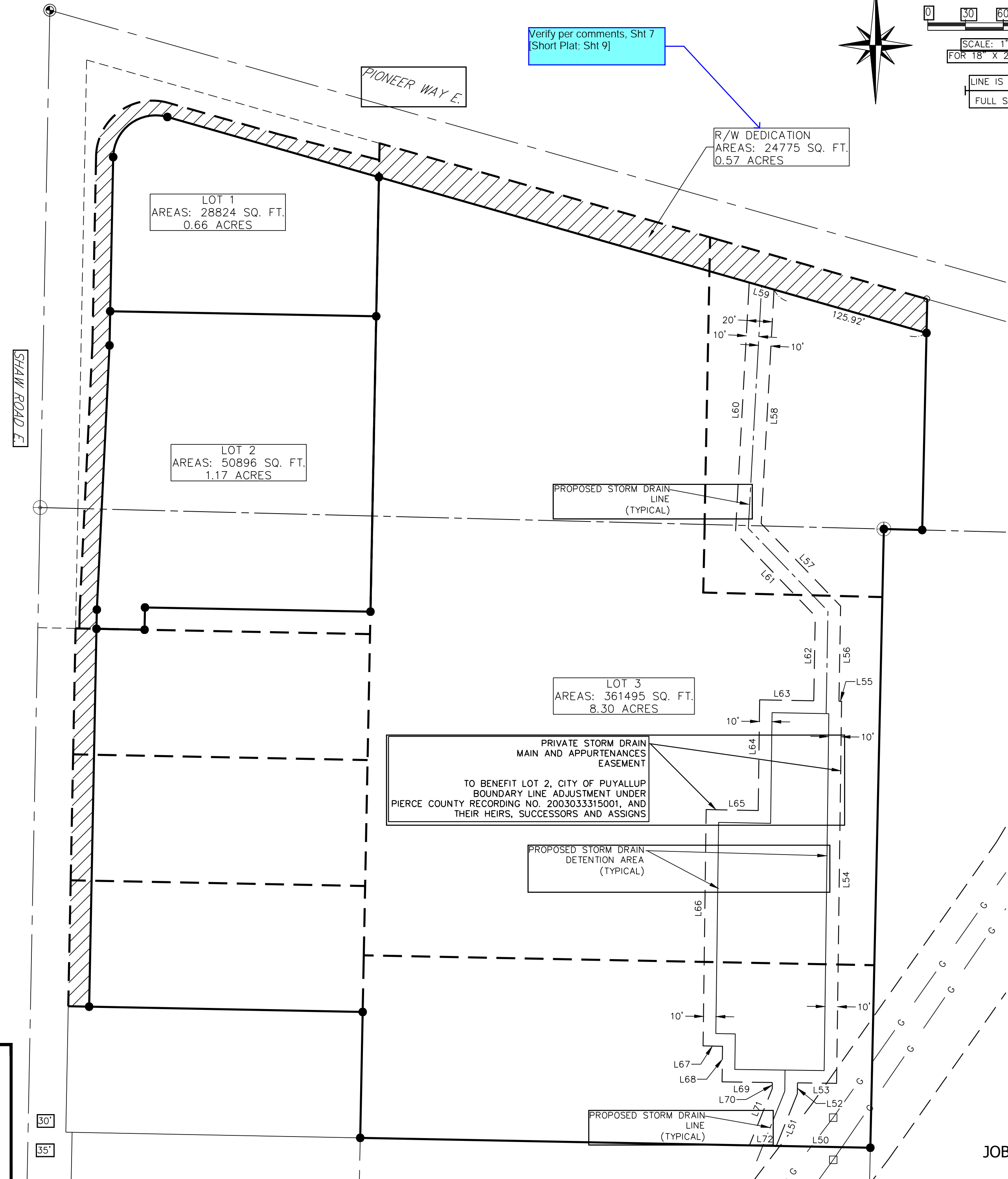
Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



0 30 60 120
SCALE: 1" = 60'
FOR 18" X 24" SHEET

LINE IS 1" AT
FULL SCALE



JOB NO. 06-171-01
SHEET 9 OF 12

EAST TOWN CROSSING

SHORT PLAT

CITY OF PUYALLUP PUBLIC SANITARY SEWER EASEMENT

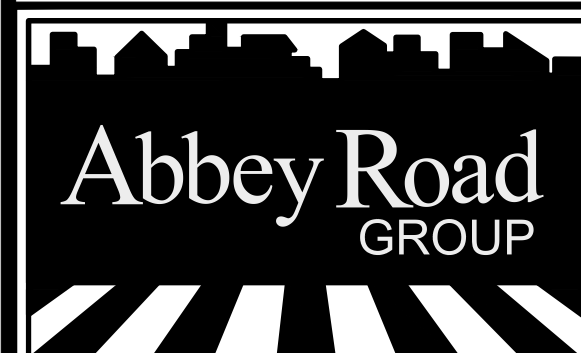
A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

NOTE:
ADDITIONAL EASEMENTS AND EASEMENT PROVISIONS CAN BE FOUND
ON SHEET 1 OF 12

LEGEND

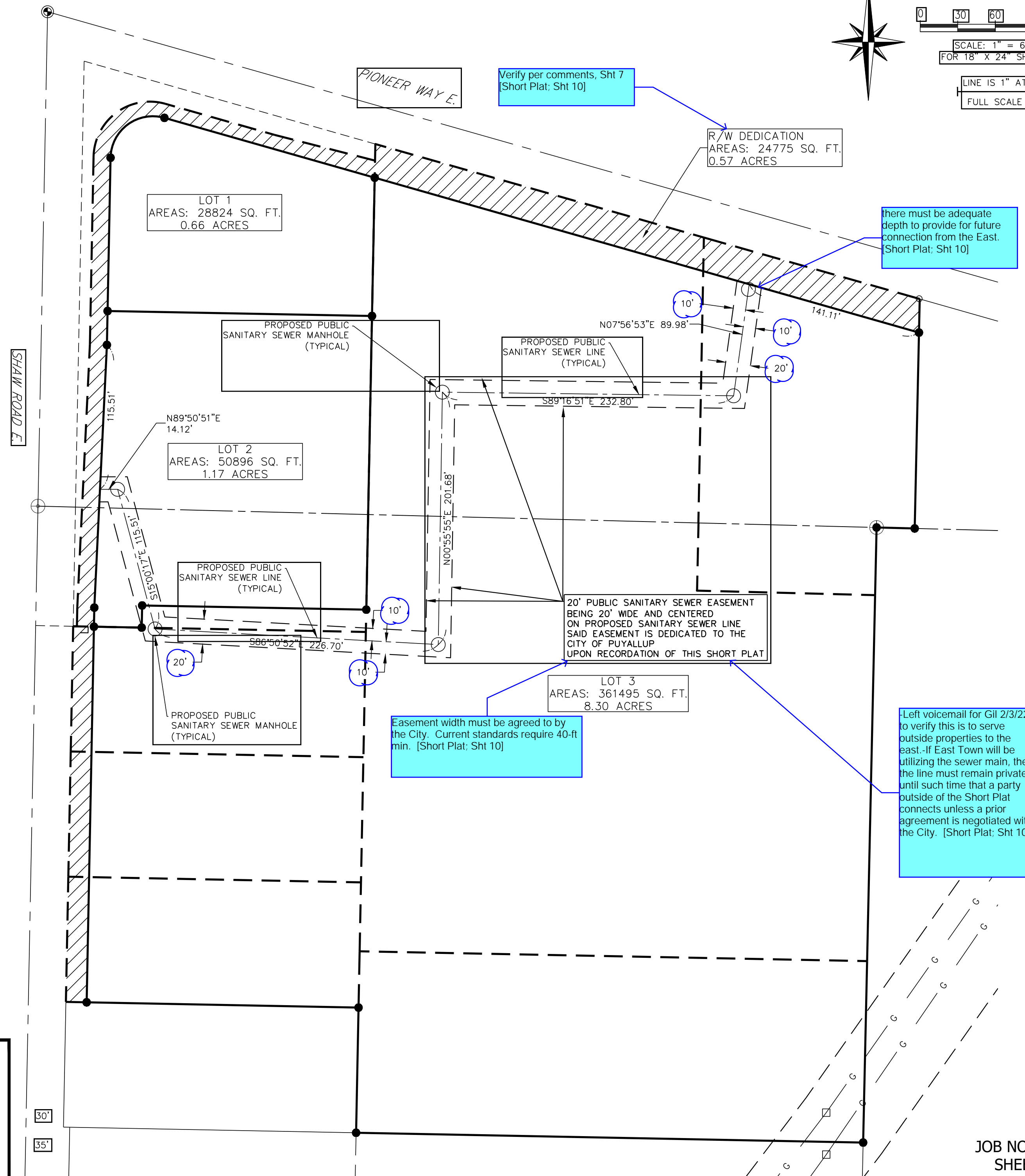
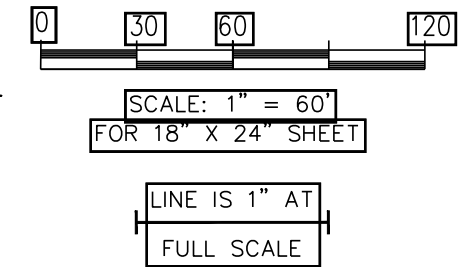
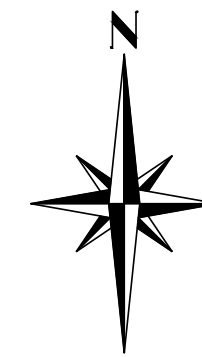
●	SET 5/8" REBAR AND CAP STAMPED "ARG 49921"
---	SECTIONAL SUBDIVISIONAL LINE
---	RIGHT OF WAY CENTERLINE
---	RIGHT OF WAY MARGIN
---	ORIGINAL PARCELS DEED LINES
---	SHORT PLAT LOT LINES
---	PROPOSED EASEMENT CENTERLINE
---	PROPOSED EASEMENT MARGIN

Need discussion with City management for
future sewer line serving parcels east of the
site. Depending on the outcome of those
discussions, it is likely a Covenant must be
recorded which will dedicate an easement
to the City upon future connection of the
adjacent parcels. [Short Plat: Sht 10]



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



EAST TOWN CROSSING

SHORT PLAT

CITY OF PUYALLUP PUBLIC WATER MAIN EASEMENT

A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

NOTE:
ADDITIONAL EASEMENTS AND EASEMENT PROVISIONS CAN BE FOUND
ON SHEET 1 OF 12

LEGEND

● SET 5/8" REBAR AND CAP
STAMPED "ARG 49921"

SECTIONAL SUBDIVISIONAL LINE

RIGHT OF WAY CENTERLINE

RIGHT OF WAY MARGIN

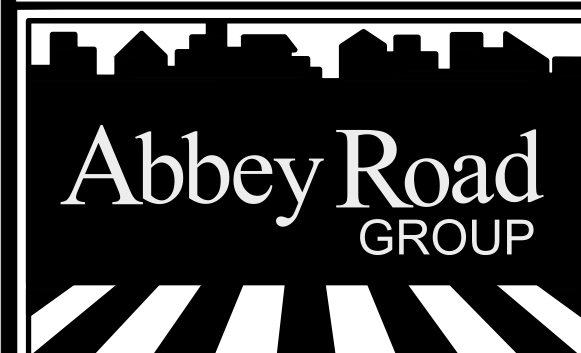
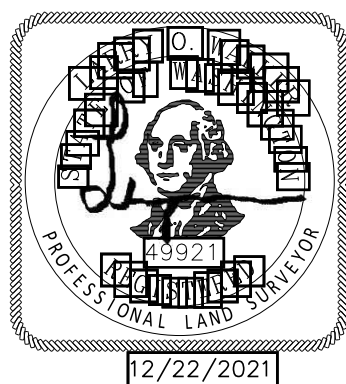
ORIGINAL PARCELS DEED LINES

SHORT PLAT LOT LINES

PROPOSED EASEMENT CENTERLINE

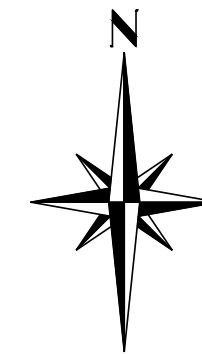
PROPOSED EASEMENT MARGIN

Watermain outside of ROW on private property
shall remain private...revise callouts
accordingly. [Short Plat: Sht 11]



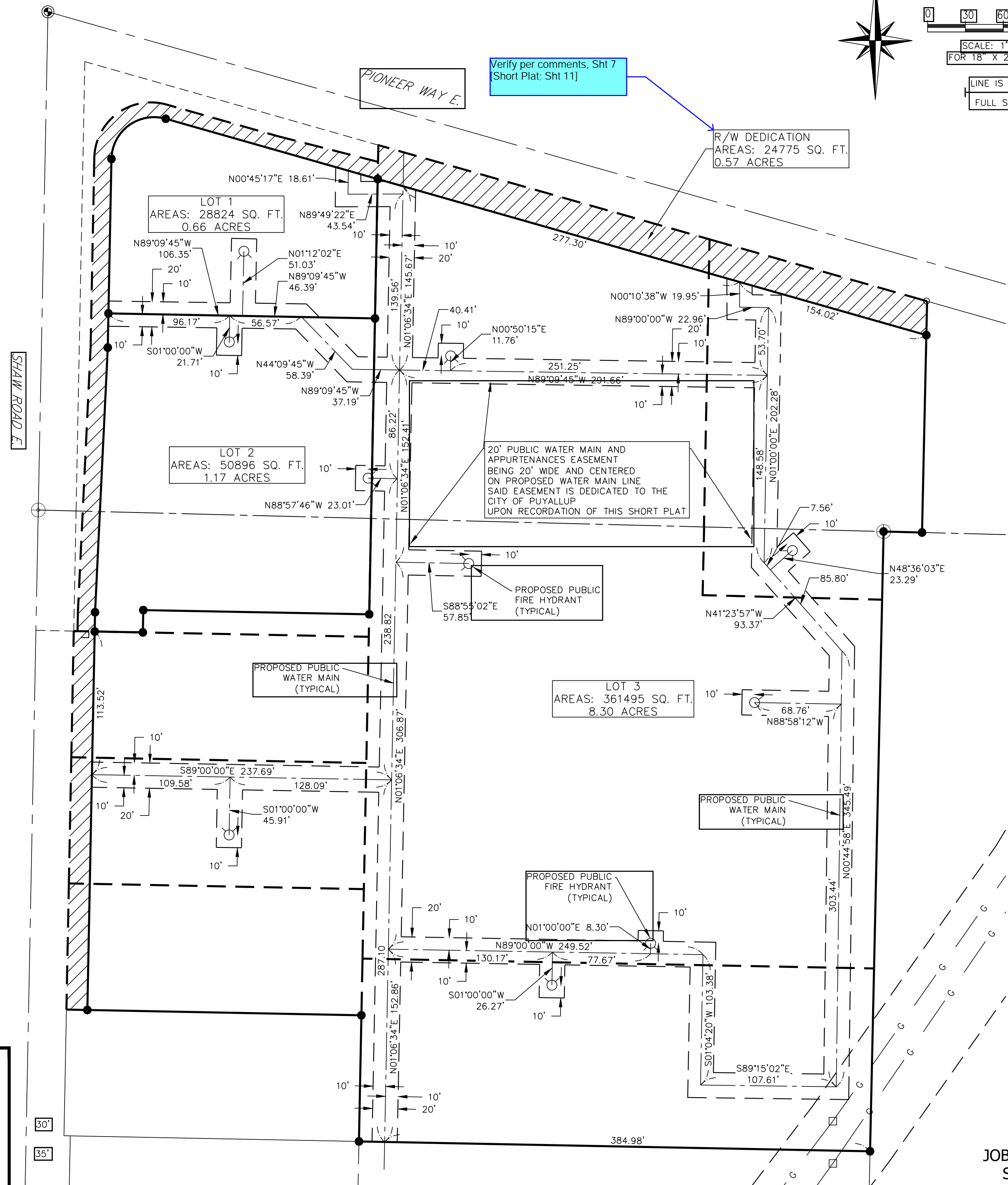
Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



0 30 60 120
SCALE: 1" = 60'
FOR 18" X 24" SHEET

LINE IS 1" AT
FULL SCALE



JOB NO. 06-171-01
SHEET 11 OF 12

EAST TOWN CROSSING

SHORT PLAT

MISCELLANEOUS EASEMENTS

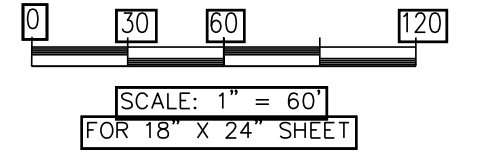
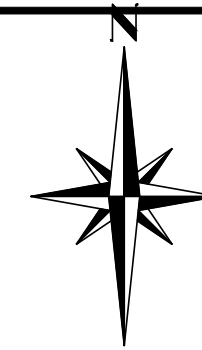
A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC. 26,
AND A PORTION OF THE NE 1/4 OF THE NE 1/4, SEC. 35,
ALL SITUATE IN TWP.20 N, RANGE 04 E, WM
CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON

NOTE:
ADDITIONAL EASEMENTS AND EASEMENT PROVISIONS CAN BE FOUND
ON SHEET 1 OF 12

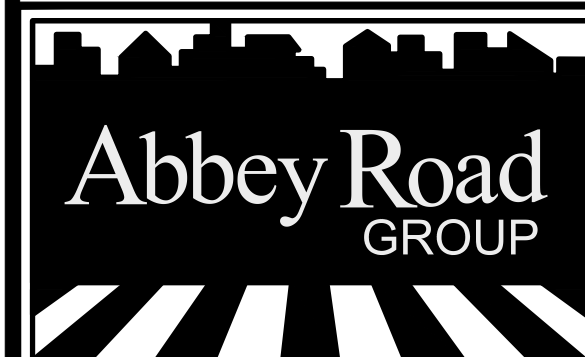
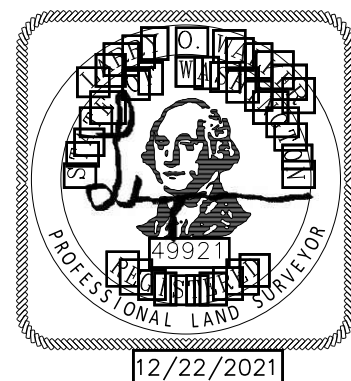
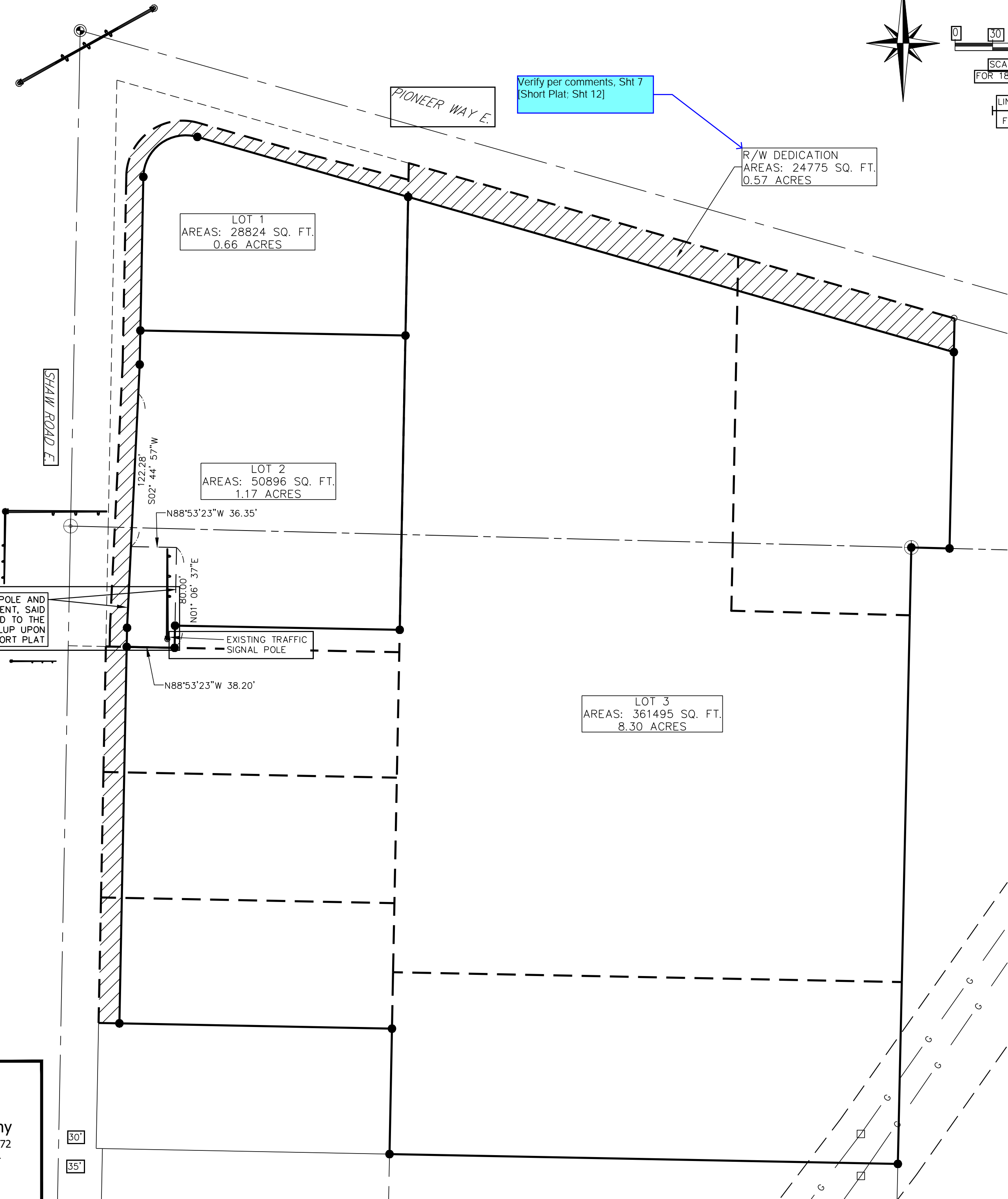
LEGEND

- SET 5/8" REBAR AND CAP
STAMPED "ARG 49921"
- SECTIONAL SUBDIVISIONAL LINE
- RIGHT OF WAY CENTERLINE
- RIGHT OF WAY MARGIN
- ORIGINAL PARCELS DEED LINES
- SHORT PLAT LOT LINES
- PROPOSED EASEMENT CENTERLINE
- PROPOSED EASEMENT MARGIN

CITY OF PUYALLUP SHORT PLAT NO. P-21-0025



LINE IS 1" AT
FULL SCALE



Abbey Road Group LLC
Land Development Company
2102 E. MAIN AVE., PUYALLUP, WA 98372
P. O. Box 1224, PUYALLUP, WA 98371
(253) 435-3699, Fax (253) 446-3159

JOB NO. 06-171-01
SHEET 12 OF 12