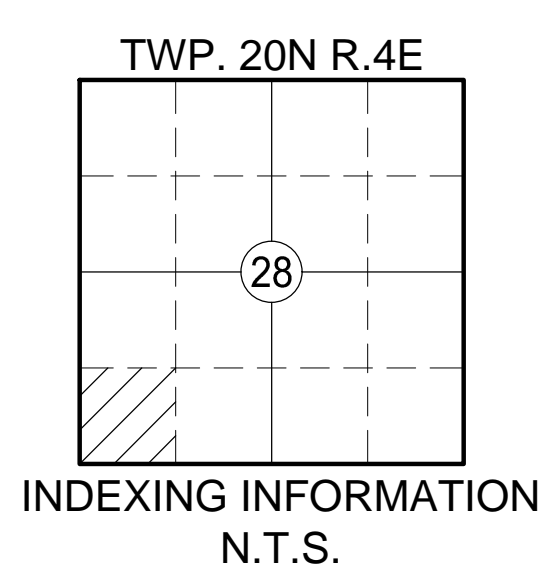
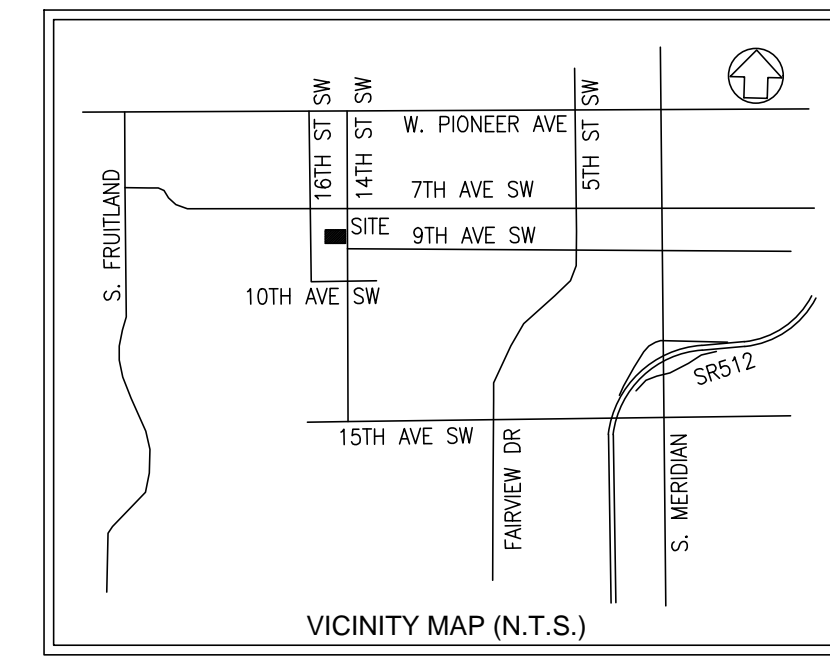
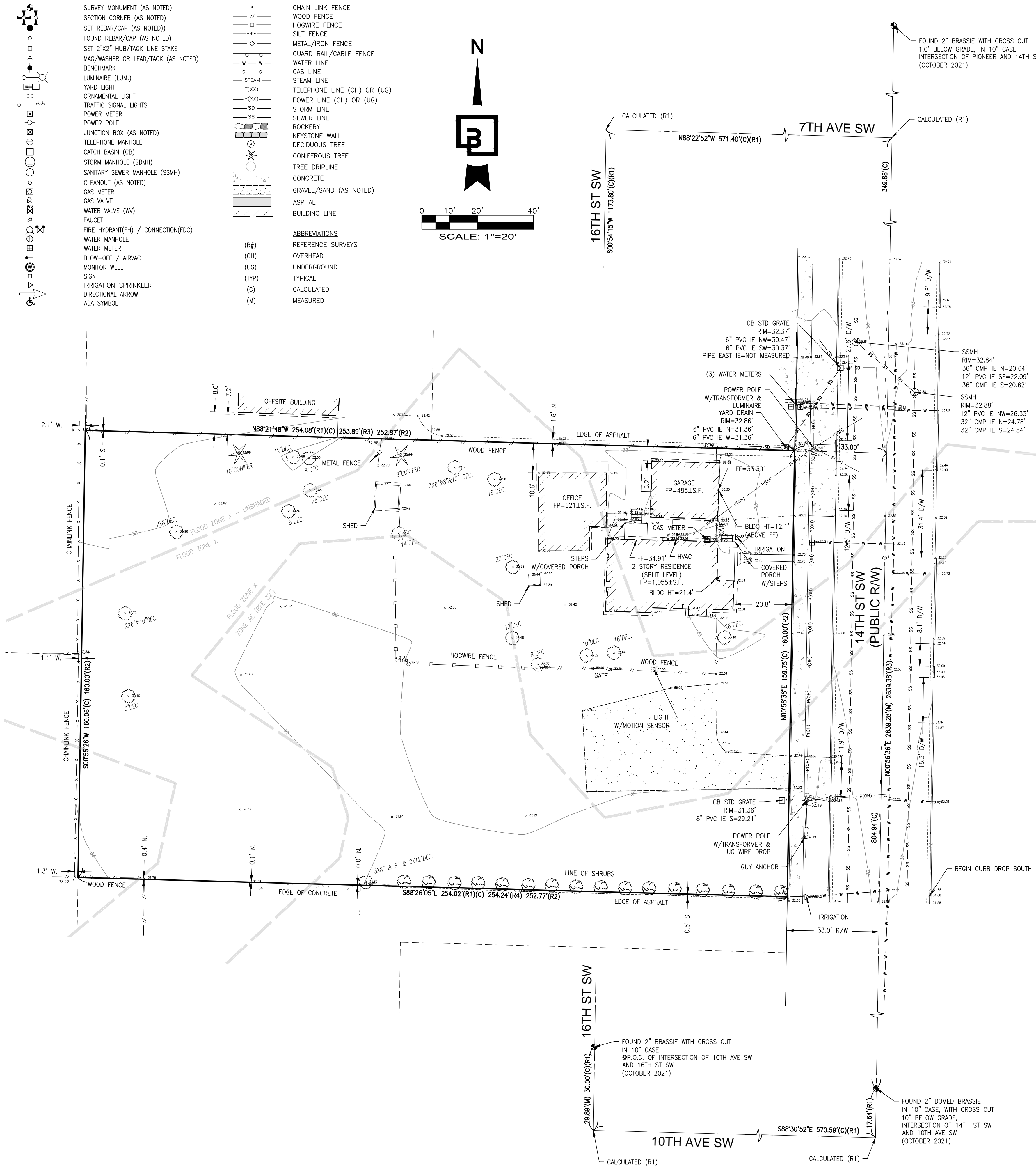
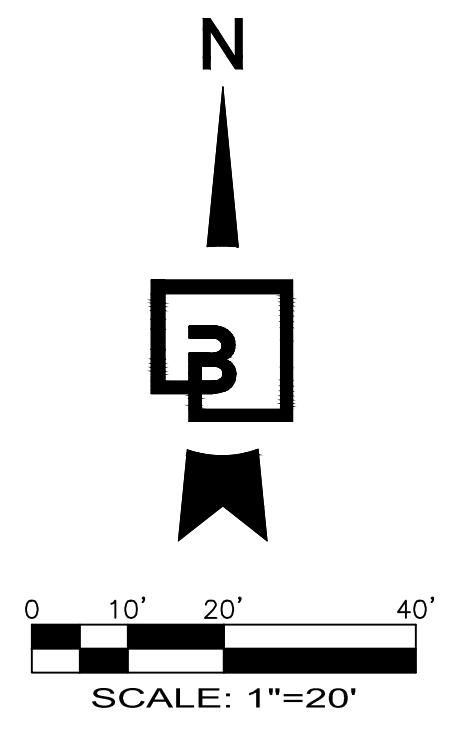


BOUNDARY AND TOPOGRAPHIC SURVEY

LEGEND

(NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)

	SURVEY MONUMENT (AS NOTED)		CHAIN LINK FENCE
	SECTION CORNER (AS NOTED)		WOOD FENCE
	SET REBAR/CAP (AS NOTED)		HOOPWIRE FENCE
	FOUND REBAR/CAP (AS NOTED)		SILT FENCE
	SET 2x2 HUB/TACK LINE STAKE		METAL/IRON FENCE
	MAG/WASHER OR LEAD/TACK (AS NOTED)		GUARD RAIL/CABLE FENCE
	BENCHMARK		WATER LINE
	LUMINAIRE (LUM.)		GAS LINE
	YARD LIGHT		STEAM LINE
	ORNAMENTAL LIGHT		TELEPHONE LINE (OH) OR (UG)
	TRAFFIC SIGNAL LIGHTS		POWER LINE (CH) OR (UG)
	POWER METER		STORM LINE
	POWER POLE		SEWER LINE
	JUNCTION BOX (AS NOTED)		ROCKERY
	TELEPHONE MANHOLE		KEYSTONE WALL
	CATCH BASIN (CB)		DECIDUOUS TREE
	STORM MANHOLE (SDMH)		CONIFEROUS TREE
	SANITARY SEWER MANHOLE (SSMH)		TREE DRILINE
	CLEANOUT (AS NOTED)		CONCRETE
	GAS METER		GRAVEL/SAND (AS NOTED)
	GAS VALVE		ASPHALT
	WATER VALVE (WV)		BUILDING LINE
	FAUCET		ABBREVIATIONS
	FIRE HYDRANT (FH) / CONNECTION (FDC)		REFERENCE SURVEYS
	WATER METER		OVERHEAD
	BLOW-OFF / AIRVAC		UNDERGROUND
	MONITOR WELL		TYPICAL
	SIGN		CALCULATED
	IRRIGATION SPRINKLER		MEASURED
	DIRECTIONAL ARROW		
	ADA SYMBOL		



SURVEY INFORMATION:

HORIZONTAL DATUM:
HORIZONTAL DATUM FOR THIS SURVEY IS NAD 83/91 PER WSDOT. WSDOT MONUMENT ID NO. 4222 WAS HELD FOR POSITION, AND A LINE BETWEEN SAID POINT 4222 AND WSDOT MONUMENT ID NO. 4221 WAS HELD FOR ROTATION, BEING NORTH 69°04'44" WEST.

VERTICAL DATUM:
VERTICAL DATUM FOR THIS SURVEY IS NAVD88 PER WSDOT. WSDOT MONUMENT ID NO. 4222 WAS HELD FOR ELEVATION, BEING 34.390' (NAD88).

REFERENCE SURVEYS:
(R1) RECORD OF SURVEY, JERRY BROADUS, LS 17660, AFN 3251, MAY 15, 1980.
(R2) PLAT OF THIRD MAPLEWOOD ADDITION TO PUYALLUP, VOL. 5 OF PLATS, PAGE 88, OCTOBER 11, 1990.
(R3) RECORD OF SURVEY, DALE OAKS, LS 19635, AFN 200503235003, MARCH 23, 2005.
(R4) RECORD OF SURVEY, JERRY BROADUS, LS 17660, AFN 200409085004, SEPTEMBER 8, 2004.

LOT AREA:
40,622 ± S.F. (0.933 ± ACRES)

ADDRESS:
808 14TH ST SW, PUYALLUP, WASHINGTON, 98371

TAX PARCEL NUMBER:
5505300831

DATE OF SURVEY:
THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENTS AND SITE CONDITIONS EXISTING ON OCTOBER 5, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN OCTOBER OF 2021.

NARRATIVE:
THIS IS A FIELD TRAVERSE SURVEY. TOPCON GT ROBOTIC TOTAL STATION, TOPCON HYPER HR GPS, AND A DELL TABLET WITH TOPCON DATA COLLECTION SOFTWARE WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN W.A.C. 332-130-090. ALL INSTRUMENTS AND EQUIPMENT HAVE BEEN MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURERS' SPECIFICATIONS AND USED BY APPROPRIATELY TRAINED PERSONNEL.

FLOOD INFORMATION:
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FIRM (FLOOD INSURANCE RATE MAP) MAP NO. X5305300341E PANEL 341 OF 1375, DATED MARCH 7, 2017. THE SITE STRADDLES THREE FLOOD ZONES:
1) ZONE X - UNSHADED: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN
2) ZONE X: AREAS OF 0% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3) ZONE AE: BASE FLOOD ELEVATIONS DETERMINED (BFE 32')

SURVEYOR'S NOTES:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND CORRECTLY REFLECTS THE CONDITIONS OF THIS SITE AS OF THE DATE OF THE FIELD SURVEY ON OCTOBER 5, 2021.

SURVEYOR'S CERTIFICATE:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY UPON WHICH IT IS BASED WERE MADE BY ME OR UNDER MY DIRECTION AND CORRECTLY REFLECTS THE CONDITIONS OF THIS SITE AS OF THE DATE OF THE FIELD SURVEY ON OCTOBER 5, 2021.

Matthew Karl Abbas, P.L.S.
WASHINGTON REGISTRATION NO. 20109892
MABBAS@BARGHAUSEN.COM

10/27/2021
DATE



THIS SURVEY OR BY ANY PERSONNEL OF BARGHAUSEN CONSULTING ENGINEERS, INC.

- THE RECORD DESCRIPTION FOR THE SUBJECT PROPERTY MATHEMATICALLY CLOSES.
- ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS STATED WITHIN W.A.C. 332-130-145 FOR TOPOGRAPHIC MAPS, INCLUDING THE FOLLOWING: THE SOURCE OF THE CONTOURS SHOWN HEREON ARE BASED UPON DIRECT FIELD OBSERVATIONS. THE CONTOUR ACCURACY IS PER NATIONAL MAPPING STANDARDS, ONE HALF OF THE CONTOUR INTERVAL (1'). THE PURPOSE OF THIS SURVEY IS TO MAP THE CURRENT CONDITIONS FOR ENGINEERING DESIGN.
- BARGHAUSEN CONSULTING ENGINEERS, INC. SURVEY CREWS DETECTED NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY.
- BARGHAUSEN CONSULTING ENGINEERS, INC. SURVEY CREWS DETECTED NO OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES OR OF RECENT STREET OR SIDEWALK CONSTRUCTION ON OR ADJACENT TO THE SUBJECT PROPERTY, EXCEPT AS SHOWN.
- BARGHAUSEN CONSULTING ENGINEERS, INC. SURVEY CREWS DETECTED NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO VISIBLE EVIDENCE OF ANY CEMETERIES OR BURIAL GROUNDS.
- THERE IS NO VISIBLE EVIDENCE OF SPRINGS, PONDS, LAKES, STREAMS, RIVERS, CANALS, DITCHES, MARSHES OR SWAMPS ON, RUNNING THROUGH OR OUTSIDE THE SITE (WITHIN 5 FEET).
- THERE IS EVIDENCE OF PHYSICAL ACCESS TO PUBLIC RIGHT-OF-WAY.
- THE SOURCE OF THE CONTOURS SHOWN HEREON ARE BASED UPON DIRECT FIELD OBSERVATIONS.
- THE CONTOUR ACCURACY IS PER NATIONAL MAPPING STANDARDS, ONE HALF OF THE CONTOUR INTERVAL (1').

TITLE INFORMATION:
TITLE COMMITMENT:
ALL TITLE INFORMATION SHOWN ON THIS MAP, INCLUDING APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY, HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NO. 3820623 DATED SEPTEMBER 01, 2021. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY SAID COMMITMENT. TO PREPARE THIS SURVEY, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO EXTENT THEREOF.

LEGAL DESCRIPTION:
(PER FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NO. 3820623 DATED SEPTEMBER 01, 2021)
THE LAND IN THE COUNTY OF PIERCE, STATE OF WASHINGTON, DESCRIBED AS FOLLOWS:
LOT 5, BLOCK 57, THIRD MAPLEWOOD ADDITION TO PUYALLUP, ACCORDING TO PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 88, RECORDS OF PIERCE COUNTY, WASHINGTON.

RECORD MATTERS:
(PER FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NO. 3820623 DATED SEPTEMBER 01, 2021)
ITEMS 1-3 ARE NOT SURVEY RELATED. SEE THE TITLE REPORT FOR THE DETAILS ON THESE ITEMS.
4. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF THIRD MAPLEWOOD ADDITION TO PUYALLUP RECORDED IN VOLUME 5 OF PLATS, PAGE(S) 88. (REFERENCED FOR THIS SURVEY)

Job Number	22001	Sheet	1 of 1
<p>Barghausen Consulting Engineers, Inc. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com</p>			
<p>MULLAN</p>			
<p>BOUNDARY AND TOPOGRAPHIC SURVEY PTN OF THE SW1/4 OF THE SW1/4 OF SEC. 28, TWP. 20 N., RGE 4 EAST, W. M. CITY OF PUYALLUP PIERCE COUNTY STATE OF WASHINGTON</p>			
Revision	No.	Date	By