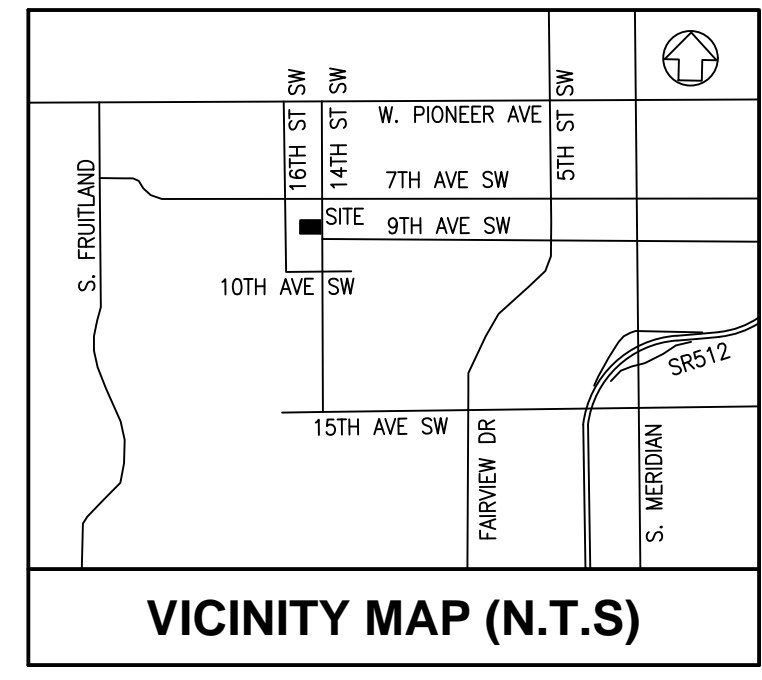
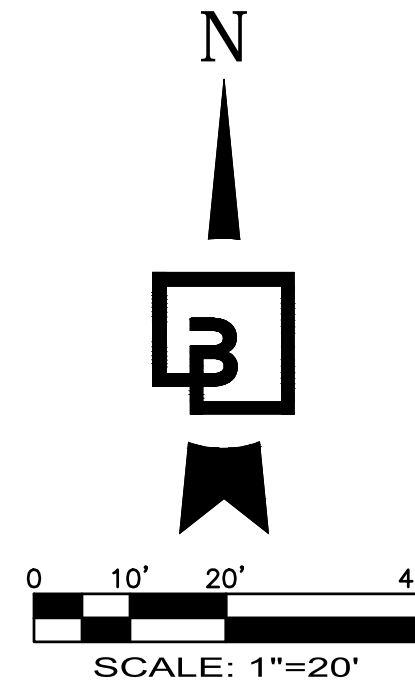


**PRELIMINARY SITE PLAN**  
**FOR**  
**MULLAN SHORT PLAT**  
**A PORTION OF SECTION 28, TOWNSHIP 20 N., RANGE 04 E., W.M.**  
**CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON**



Add this note to the face of the short plat document. A preliminary Storm Drainage Plan is on file for this short plat. No Building Permits will be issued for any lots in this short plat until all necessary drainage improvements are approved and permitted by Development Services Engineering. Compliance may require the property owner/builder to retain a Professional Engineer to design the stormwater controls for the individual lots? [short plat, pg 1]

Add this note to the face of the short plat document. No Building Permits will be issued for Lot 1 through Lot 2 until City approved utility and road improvements are reviewed and approved to include curb, gutter, sidewalk, roadway base, pavement, water, sanitary sewer, storm infrastructure and street lighting.? [short plat, pg 1]

Add this note to the face of the short plat document. NOTICE: This short plat contains a private storm drainage system. Private storm drainage systems are the sole responsibility of the owners, successors, and assignees for all lots being served by the private storm drainage system. Responsibility includes, but is not limited to, constructing, maintaining, and allowing City inspection of the private storm system in accordance with a separately recorded stormwater management facilities agreement recorded with Pierce County. Ref. AFN \_\_\_\_\_? [short plat, pg 1]

Add this note to the face of the short plat document. Erosion and stormwater control plans shall be required for any new residential development prior to building permit issuance on Lot 1 through Lot 2? -No permanent structures shall be erected within the easement area(s). Permanent structure(s) shall mean any concrete foundation, concrete slab, wall, rocky, pond stream, building, deck, overhanging structure, fill material, tree, recreational sport court, carport, shed, private utility fence, or other site improvement that restricts or unreasonably interferes with the need to access or construct utilities in said easement(s). Permanent structure(s) shall not mean improvements such as flowers, ground cover and shrubs less than 3-feet in height, lawn grass, asphalt paving, gravel, or other similar site improvements that do not prevent the access of men, material, and machinery across, along, and within the said easement area. Land restoration by the City within the said easement area due to construction, shall mean planting grass seed or grass sod, asphalt paving, or gravel unless otherwise determined by the City of Puyallup.? [short plat, pg 1]

Add this note to the face of the short plat document. Prior to building permit issuance for each lot within this Short plat, individual lot Stormwater reports will need to be submitted to verify the calculations in the stormwater report submitted during Short Plat review. The stormwater reports submitted during building permit review are required to contain saturated hydraulic conductivity testing and ground water monitoring during the wet season in accordance with the currently adopted stormwater manual and City Standards.? [short plat, pg 1]

Add this note to the face of the short plat document. The project site is designated a special flood hazard zone and was determined by examination of the Flood Insurance Rate Map(FIRM) Community Panel Number 53053C0341E, dated March 7, 2017. Prior to final building inspection and approval, a FEMA Elevation Certificate must be submitted and approved by the City of Puyallup Engineering Services Department verifying that the structure has been constructed and elevated in accordance with the City's Floodplain Management Regulations. The project site is located in the regulated AE floodplain. Any new construction and substantial improvements in this zone must construct the lowest floor, including basement, a minimum one foot or more above the established base flood elevation. [short plat, pg 1]

Include the updated geotech report with groundwater monitoring information so the preliminary stormwater design can be determined. At this time, I can determine if the flow control requirement is met or not. Provide an in depth breakdown of surfaces that can be modeled as pervious if infiltrated or dispersed per the Ecology manual. [short plat, pg 1]

Provide a legend showing existing/proposed lot lines. The existing lot lines shall be shown using a heavy dashed line, whereas the proposed lines shall be a heavy solid line. [short plat, pg 1]

Include the boundary and topographic survey as part of the short plat document. [short plat, pg 1]

The proposed short plat must be a surveyed plan on City of Puyallup Short plat template found here: <https://www.cityofpuyallup.org/DocumentCenter/View/13810/Short-Plat-Cover-Page-Template-2021-?bidId=1> Note that the survey map submitted has provided a good chunk of the required information outline in the short plat application. [short plat, pg 1]

Provide a calculation for the amount of fill proposed for the project and how the project will provide compensatory storage at equivalent elevations to that displaced. [short plat, pg 1]

Prior to submittal to the city for final signatures, please add a Critical Area note to denote the presence of a Critical Area on Site on the face of the short plat (sheet 1). [short plat preliminary site plan, pg. 1]

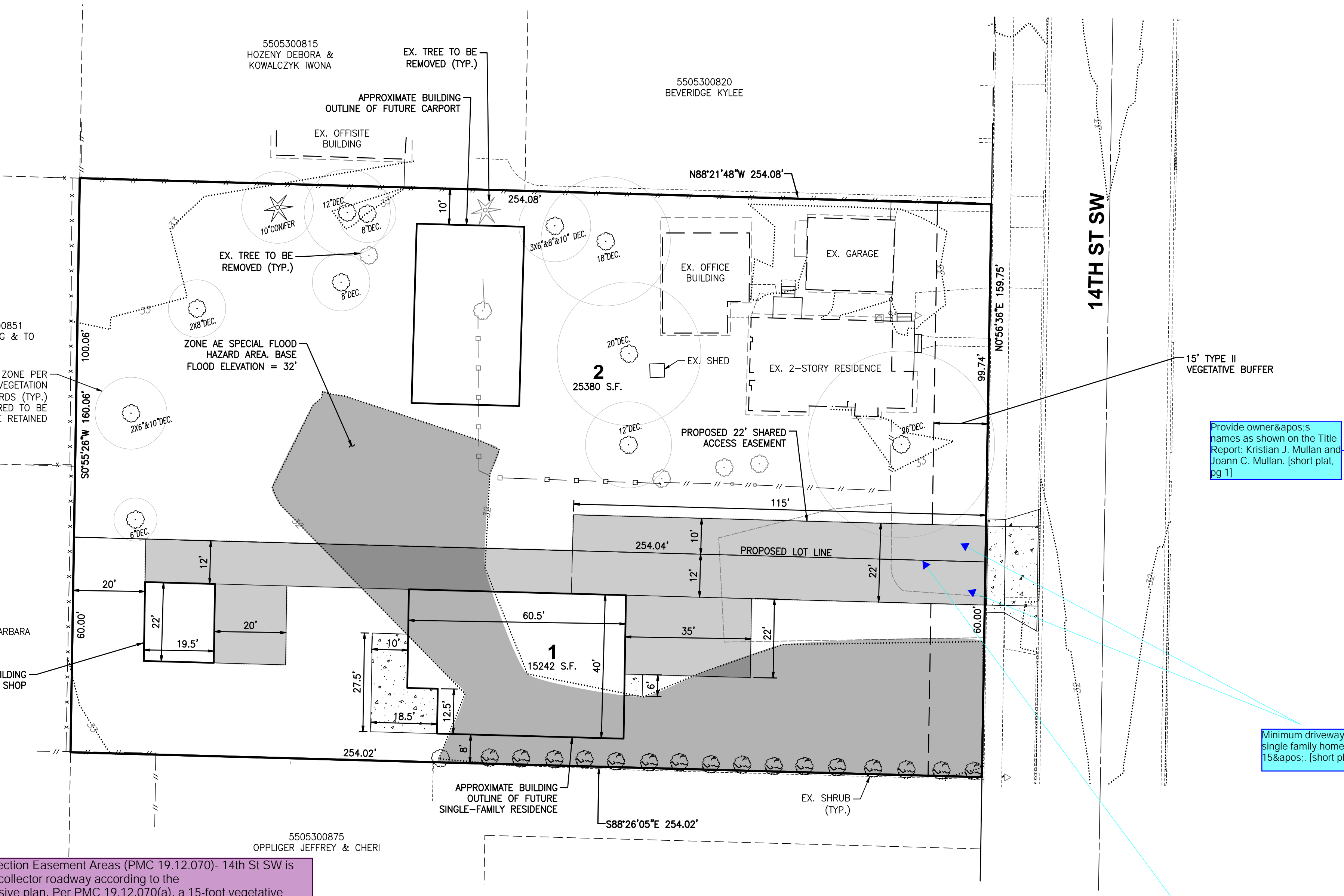
A critical aquifer recharge area note for each affected lot shall indicate: "The site is within a high susceptibility/critical aquifer recharge area. Uses and activities on this site shall comply with the city's critical area ordinance (Puyallup Municipal Code 21.06, Article XI). Activities that do not cause degradation of ground water quality and will not adversely affect the recharging of the aquifer may be permitted in a critical aquifer recharge area and do not require preparation of a critical area report, provided that they comply with the city storm water management regulations and other applicable local, state and federal regulations." [short plat preliminary site plan, pg. 1]

Volcanic Hazard Area Lots 1 and 2 contain a volcanic hazard area. A volcanic hazard area note for each lot affected shall indicate: "The site is within a volcanic hazard area. In the event of an eruption of Mt. Rainier, the site is expected to be inundated by pyroclastic flows, lava flows, debris avalanche, inundation by debris flows, lahars, mudflows, or related flooding resulting from volcanic activities. Uses and activities on this site shall comply with the city's critical area ordinance (Puyallup Municipal Code 21.06, Article XII, section 21.06.1260, or succeeding section regarding volcanic hazard areas." [short plat preliminary site plan, pg. 1]

Floodplain Lot 1 and 2 contain 100-year floodplain areas. A note shall be included on the face of the plat for each affected lot indicating: "This lot contains a 100-year floodplain areas, containing a 1% chance every year of flooding/inundation that could affect life, property, structures and improvements. All development and land modifications of floodplain areas requires city approval and consistency with the National Flood Insurance Program (NFIP), the Endangered Species Act (ESA), critical areas ordinance (PMC 21.06) and flood protection ordinance (PMC 21.07), as well as any other applicable state, federal and local laws. Modification of land or vegetation, especially land filling that could reduce flood storage capacity, and/or encroachment/conversion of these areas is strictly prohibited without prior government approval." [short plat preliminary site plan, pg. 1]

Wetland Lots 1 and 2 contain wetland areas and protective wetland buffers. A note shall be included on the face of the plat for each affected lot indicating: "This lot contains a wetland and/or wetland buffer that is protected by federal, state and local regulations. A wetland is a permanently, semi-permanently, or seasonally flooded area of land with a distinct ecosystem based on hydrology, hydric soils, and vegetation adapted for life in water saturated soils. Wetlands provide numerous benefits to the natural environment including water quality, flood control, wildlife habitat, shoreline stability, and aesthetic values. Since the 1780s, Washington has lost 31 percent of its wetland areas, from 1.35 million acres to 938,000 acres, contributing to loss of flood storage and habitat areas. Wetlands are critical to the overall health of watersheds and property owners are key for protecting, restoring, and managing our state's remaining wetland resources. Modification of land or

Update the site plan to include additional wetland critical areas and their buffers as appropriate (Confluence Third-Party Review of Critical Areas Assessment, pg. 4) - Update the site plan accordingly to address floodplain storage concerns (Confluence Third-Party Review of Critical Areas Assessment, pg. 6) [short plat preliminary site plan, pg. 1]



Provide existing and proposed areas for new, plus replaced hard surfaces. [short plat, pg 1]

Provide owner's names as shown on the Title Report: Kristian J. Mullan and Joann C. Mullan. [short plat, pg 1]

Provide existing parcel number Address Lot 1: 810 14th St SW Address Lot 2: 808 14th St SW [short plat, pg 1]

Minimum driveway width for a single family home is 15' [short plat, pg 1]

- SITE DATA**
- TAX #: 5505300831
  - SITE AREA PER ASSESSOR: 40,622 ± S.F. (0.933 ± AC)
  - SITE ADDRESS: 808 14TH ST SW, PUYALLUP, WA 98371
  - EXISTING USE: SINGLE FAMILY RESIDENTIAL
  - PROPOSED USE: 2-SINGLE FAMILY RESIDENTIAL LOTS
  - EXISTING ZONING: RS-08 (MAX 5 DU/ACRE)
  - REQUIRED MIN. LOT SIZE: 8,000 SF
  - REQUIRED MIN. LOT WIDTH: 40 FEET
  - REQUIRED MIN. SETBACKS:  
FRONT: 20 FEET  
SIDE STREET: 15 FEET  
SIDE YARD: 5 FEET  
REAR: 20 FEET
  - MAX BASE HEIGHT OF SINGLE-FAMILY BUILDINGS: 36 FEET
  - MAX LOT COVERAGE: 45 PERCENT
  - SOURCE OF BOUNDARY AND TOPOGRAPHY: FIELD VERIFIED BY: BARGHAUSEN CONSULTING ENGINEERS, INC., OCTOBER 2021

**LEGAL DESCRIPTION**  
(PER FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NO. 3820623 DATED SEPTEMBER 01, 2021)

THE LAND IN THE COUNTY OF PIERCE, STATE OF WASHINGTON, DESCRIBED AS FOLLOWS:  
LOT 5, BLOCK 57, THIRD MAPLEWOOD ADDITION TO PUYALLUP, ACCORDING TO PLAT RECORDED IN VOLUME 5 OF PLATS, PAGE 88, RECORDS OF PIERCE COUNTY, WASHINGTON.

**OWNER**  
KRIS MULLAN  
808 14TH STREET SW  
PUYALLUP, WA 98371

**ENGINEER/PLANNER/SURVEYOR**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. SOUTH  
KENT, WA 98032  
PHONE: (425) 251-6222  
FAX: (425) 251-8782  
CONTACT: BARRY TALKINGTON P.E./CHERYL EBSWORTH/  
MATTHEW ABBAS, P.L.S.

**GEOTECHNICAL ENGINEER**  
EARTH SOLUTIONS NW  
15365 NE 90TH STREET, SUITE 100  
PHONE: (425) 449-4704  
FAX: (425) 449-4711  
CONTACT: KEVEN HOFFMANN

Provide a map legend [short plat, pg 1]

City standard details 01.02.12 requires a 3' paving from the driveway to any adjacent property lines. [short plat, pg 1]

Add the name and address of the owners to the face of the plat (sheet 1) (PMC 19.02.100 (a)). - Provide the legal description of the existing and proposed lots (PMC 19.02.100 (b)). - Provide the parcel number for the existing parcel at 808 14th St SW (PMC 19.02.100 (c)). - Delineate the existing lot lines using a heavy dashed line, and the proposed lot lines shown using a heavy solid line (PMC 19.02.100 (g)). - Move the square footage of proposed Lot 1 to be outside the approximate building outline of the future SFR (PMC 19.02.100 (h)). - Include the accurate location and dimensions/square footage of all existing and proposed structures, septic systems and utility services, and the distance between structures, improvements and utilities to the adjoining proposed lot lines (PMC 19.02.100 (i)). - Include contour lines to address the topography on the lot by showing existing and proposed contours at five-foot contour intervals except for any portion of the site containing slopes of 15 percent or greater which shall be shown at two-foot contour intervals. The contour intervals shall extend at least 100 feet beyond the boundaries of the site (PMC 19.02.100 (m)). - Update the site plan to delineate the boundaries and associated buffers, development envelopes, or other information for any critical areas as defined or required by Chapter 21.06 PMC (PMC 19.02.100 (o)). [short plat preliminary site plan, pg. 1]

Please submit the proposed short plat along with the completed City of Puyallup Short Plat template linked below: <http://www.cityofpuyallup.org/DocumentCenter/View/13810/Short-Plat-Cover-Page-Template-2021-?bidId=> [short plat preliminary site plan, pg. 1]

No.	Date	By	Clk.	Appr.

**PRELIMINARY SITE PLAN**

**FOR**

**MULLAN SHORT PLAT**

**Title:**

**KRIS MULLAN**

**For:**

Scale:  
Horizontal 1"=20'  
Vertical N/A

Designed: [Signature]  
Drawn: [Signature]  
Checked: [Signature]  
Approved: [Signature]  
Date: 1/30/22

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
**barghausen.com**

**Job Number**  
**22001**

**Sheet**  
**1 of 2**

**22001**

**2**

P:\22000A\22001\preliminary\22001-pp.dwg 1/17/2022 5:14 PM VARAS