



PIONEER PARK RESTROOM UPDATES

GENERAL NOTES

- DRAWINGS AND SPECIFICATIONS ARE COMPLIMENTARY AND WHAT IS CONTAINED IN ONE SHALL BE CONSIDERED TO BE INCLUDED IN BOTH.
- THE CONTRACT DOCUMENTS ARE COMPRISED OF THE DRAWINGS, PROJECT MANUAL AND ADDENDA (IF ANY). THE CONTRACT DOCUMENTS ARE CONSIDERED INCOMPLETE UNLESS ALL ELEMENTS LISTED ARE PRESENT.
- IN THE CASE OF A CONFLICT BETWEEN ANY ASPECT OF THE CONTRACT DOCUMENTS AND ANOTHER, CONTACT THE ARCHITECT IMMEDIATELY FOR DIRECTION.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES. IF A CONFLICT ARISES BETWEEN WHAT IS SHOWN IN THE CONTRACT DOCUMENTS AND AN APPLICABLE CODE, PROMPTLY NOTIFY ARCHITECT FOR DETERMINATION OF HOW TO PROCEED.
- DO NOT SCALE DRAWINGS
- PERFORM EXCAVATION & FOUNDATION WORK IN CONFORMANCE WITH THE SOILS REPORT AND CONSTRUCTION DOCUMENTS
- DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.

VICINITY MAP



PROJECT SITE

PROJECT TEAM

OWNER: CITY OF PUYALLUP 333 SOUTH MERIDIAN PUYALLUP, WA 98371 CONTACT: SARAH HARRIS EMAIL: SARAH@PUYALLUP.GOV PHONE: 253-841-5516	ARCHITECT: ARC ARCHITECTS, INC. 119 S MAIN ST, SUITE 200 SEATTLE, WA 98104 PHONE: 206-322-3322 CONTACT: JEFF WANDASIEWICZ, PRINCIPAL EMAIL: WANDASIEWICZ@ARCARCHITECTS.COM
STRUCTURAL ENGINEER: KPFF CONSULTING ENGINEERS 1601 FIFTH AVE, SUITE 1600 SEATTLE, WA 98101	CIVIL: MIG 615 2ND AVE SEATTLE, WA 98104 CONTACT: MARK DAVIES EMAIL: MDAVIES@MIGCOM.COM PHONE: 206-223-0326
ELECTRICAL ENGINEER: TFWB ENGINEERS 1200 WESTLAKE AVE NORTH, SUITE 509 SEATTLE WA, 98109 CONTACT: KEVIN WARTELLE EMAIL: KEVIN@TF-WB.COM PHONE: 206-413-5022	MECHANICAL ENGINEER: NOTKIN P2S ENGINEERING 920 5TH AVE, SUITE 2300 SEATTLE, WA 98104 CONTACT: PETER EBERLE EMAIL: PETER.EBERLE@P2SINC.COM PHONE: 206-267-6940
COST ESTIMATE: DCW COST MANAGEMENT 500 YALE AVE NORTH, SUITE 100 SEATTLE, WA 98109 CONTACT: BRITTANY GELLER EMAIL: BRITTANY@DCWCOST.COM PHONE: 206-259-2997	

ADDITIONAL DOCUMENTS

PROJECT DESCRIPTION

SCOPE OF WORK:
THIS PROJECT IS A CONTINUATION OF ARCHITECTURAL AND ENGINEERING SERVICES STEMMING FROM A PROJECT STUDY. IT INVOLVES AN APPROXIMATE 1,200 SF RENOVATION/ EXPANSION TO THE CURRENT RESTROOM BUILDING WITHIN THE CITY OF PUYALLUP'S PIONEER PARK. ORIGINALLY CONSTRUCTED IN 1974, THE EXISTING BUILDING IS APPROXIMATELY 21' x 28', FEATURING A WOOD SHAKE HIP ROOF, SPLIT FACE MASONRY, AND GLASS BLOCK. THE PREVIOUSLY COMPLETED ASSESSMENT CONCLUDED THAT THE EXISTING INFRASTRUCTURE HAS THE CAPACITY TO ALLOW FOR ADDITIONAL PLUMBING FIXTURES. THE RENOVATION WILL ENSURE A STRUCTURE THAT WILL SERVE A LARGER POPULATION AND ONE THAT WILL SIT IN COHESION WITH THE OTHER EXISTING STRUCTURES LOCATED AT THE SITE.

SHEET INDEX

GENERAL	PROJECT INFO
T1.0	
ARCHITECTURE	
A1.1	SITE PLAN
A1.2	DEMO FLOOR PLAN
A2.1	FLOOR PLAN
A2.2	DEMO ROOF PLAN
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A6.1	REFLECTED CEILING PLAN

GOVERNING CODES

SEATTLE MUNICIPAL CODE
2016 SEATTLE BUILDING CODE
2018 SEATTLE EXISTING BUILDING CODE
ICC/ ANSI 117.1 - 2009 ACCESSIBILITY CODE
2016 SEATTLE ENERGY CODE
2018 SEATTLE MECHANICAL CODE
2018 SEATTLE PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE W/ SEATTLE ELECTRICAL CODE REPLACEMENT PAGES
2018 SEATTLE FIRE CODE

**PIONEER PARK
RESTROOM UPDATES**

324 S MERIDIAN
PUYALLUP, WA 98371

**DESIGN
DEVELOPMENT**

ISSUE DATE: APRIL 4, 2022

REVISION	DATE	DESCRIPTION

CONTENTS:
COVER SHEET

SCALE: 1/4" = 1'-0"
DRAWN: PRO/EGW
CHECKED: SWL
PROJECT NO: 0000000.00

SHEET:
T0.0

**PIONEER PARK
 RESTROOM UPDATES**

324 S MERIDIAN
 PUYALLUP, WA 98371

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 DEVELOPMENT**

ISSUE DATE: APRIL 4, 2022

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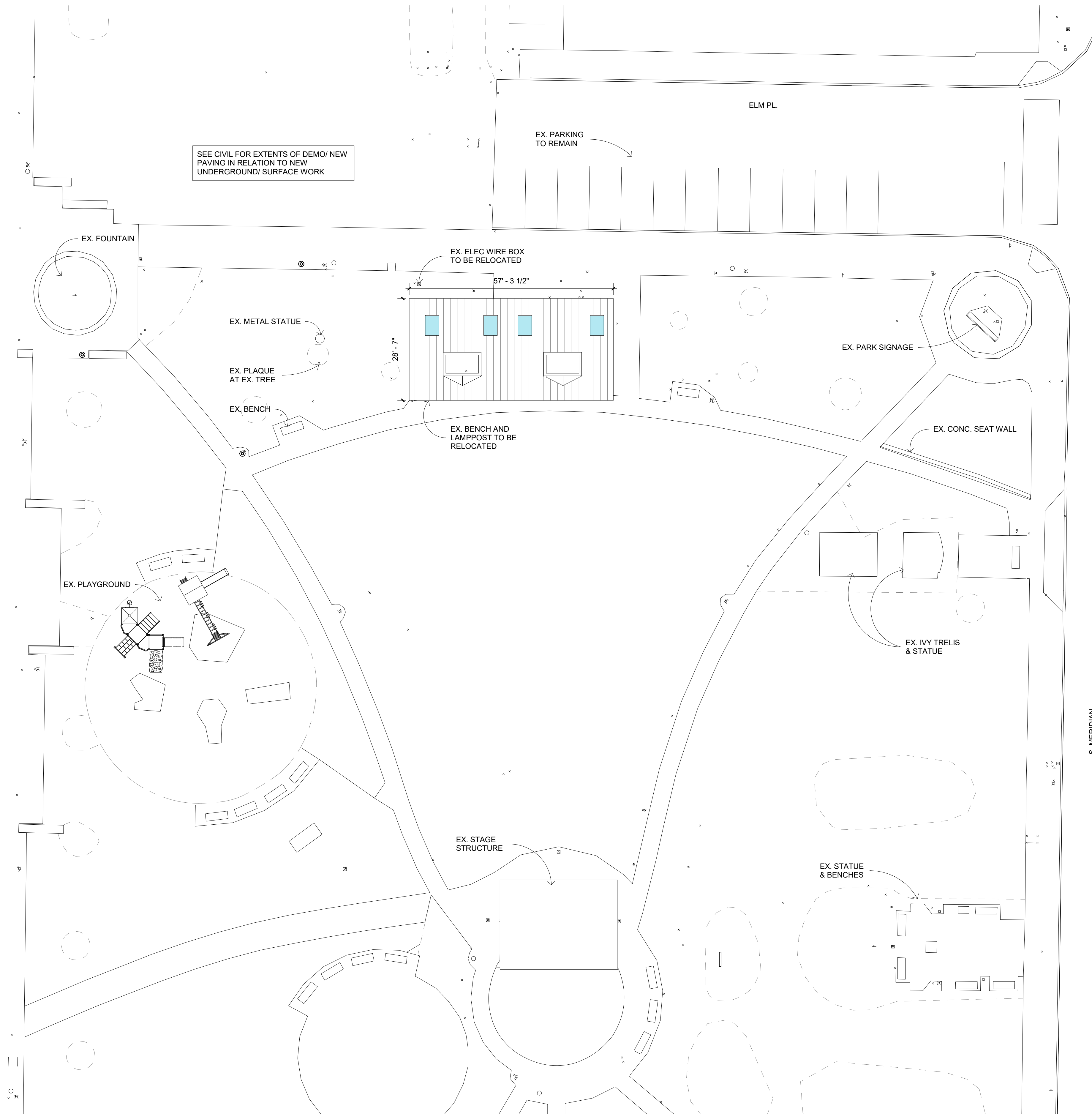
CONTENTS:
SITE PLAN

SCALE: **As Indicated**
 DRAWN: **Author**
 CHECKED: **Checker**
 PROJECT NO: **0000000.00**

SHEET:
A1.1

SITE PLAN NOTES:

1. ALL PARTITIONS ARE TYPE A-1 U.O.N.
2. REFER TO T1.0 FOR GENERAL NOTES.
3. SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
4. NOT ALL STRUCTURAL, MECHANICAL, AND ELECTRICAL ITEMS ARE SHOWN. REFER TO STRUCTURAL, ELECTRICAL, AND MECHANICAL DWG. COORDINATE LOCATIONS W/ ARCHITECT, IF CONFLICTS ARISE.
5. SEE A3.3 AND A3.4 FOR TYPICAL WALL, FLOOR, AND SLAB ASSEMBLIES, U.O.N.
6. SEE BUILDING ELEVATIONS FOR EXTERIOR MATERIALS.
7. REFER TO SCHEDULE SHEETS FOR ADDITIONAL INFORMATION.
8. NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN CEILINGS AND PAINT TO MATCH ADJACENT SURFACES.
9. SEE FINISH PLANS FOR CONTROL JOINT AND EXPANSION JOINT LOCATIONS AT EXPOSED TO VIEW CONCRETE FLOORS.
10. ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.
11. THE 1/8"FT AND 1/4"FT SLOPES SHOWN @ CONCRETE SLABS FOR FLOOR AND TRENCH DRAINS SET THE DRAIN LOCATIONS. SLOPES SHALL NOT EXCEED 1/4"FT OR BE LESS THAN 1/8"FT.



SEE CIVIL FOR EXTENTS OF DEMO/ NEW PAVING IN RELATION TO NEW UNDERGROUND/ SURFACE WORK



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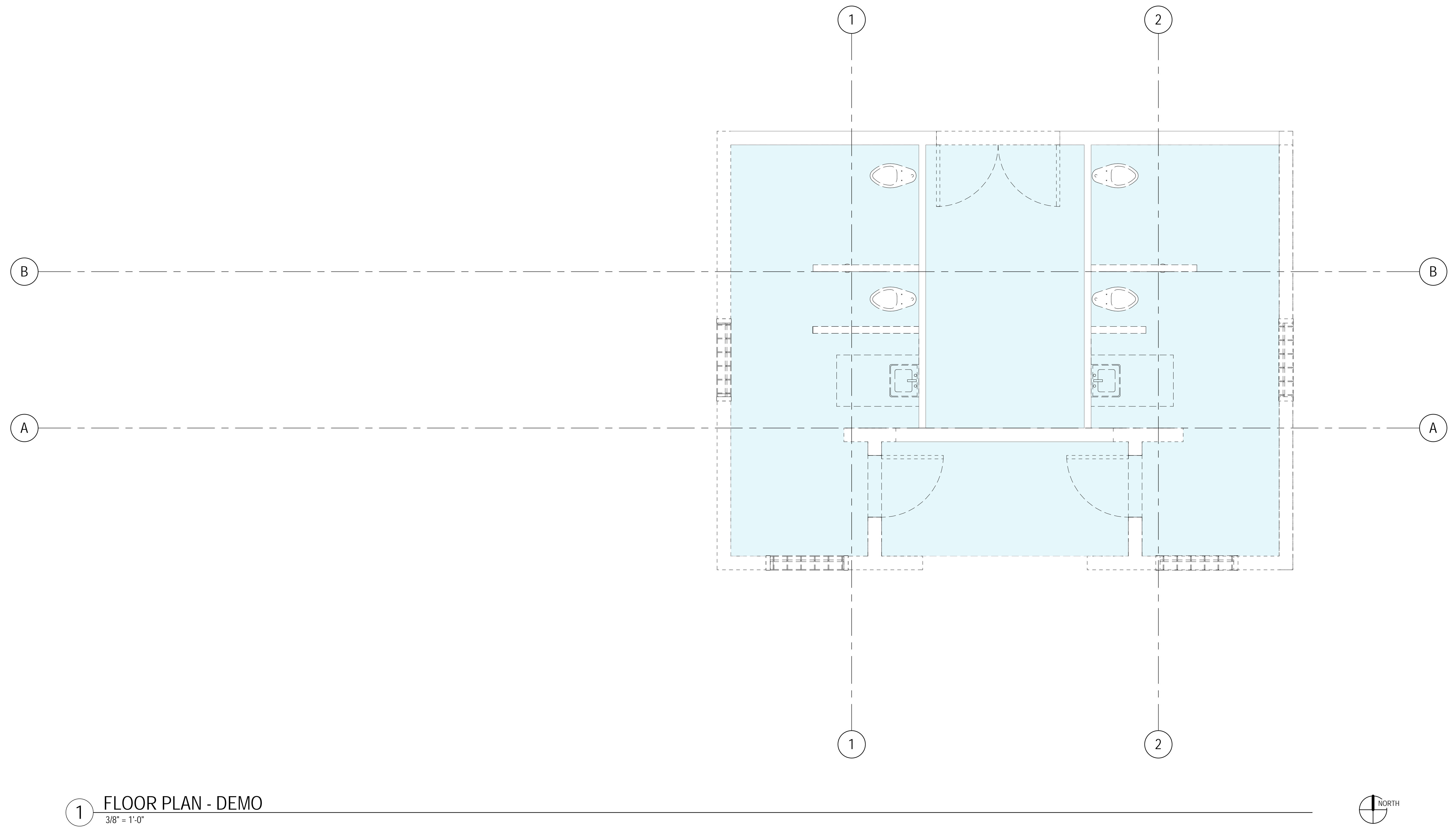
**DESIGN
 DEVELOPMENT**

REVISION	DATE	DESCRIPTION

CONTENTS:
**DEMO FLOOR
 PLAN**

SCALE: **3/8" = 1'-0"**
 DRAWN: Author
 CHECKED: Checker
 PROJECT NO: 0000000.00

SHEET:
A1.2



1 FLOOR PLAN - DEMO
 3/8" = 1'-0"

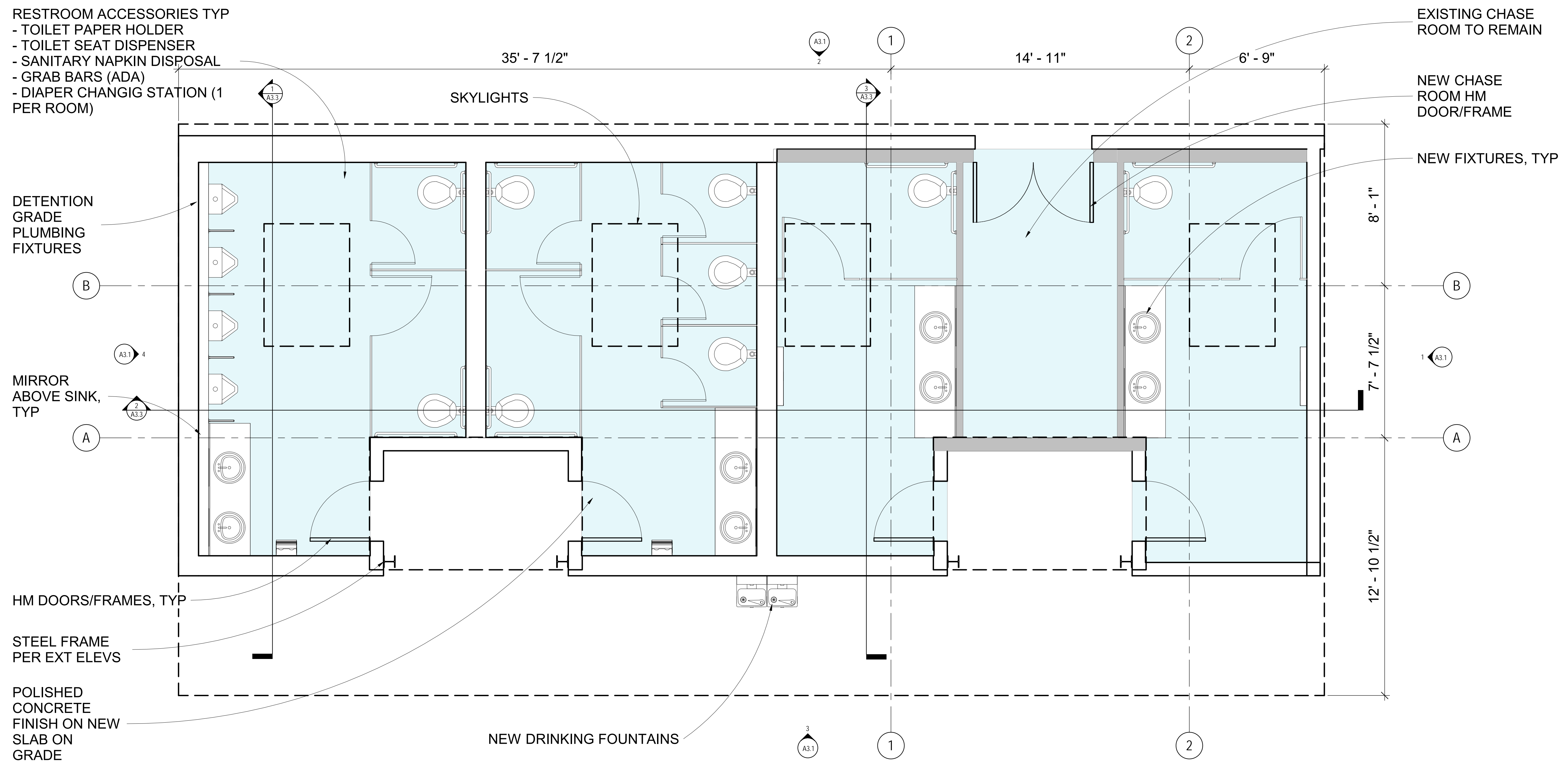
LEGEND

ROOM NAME 101	ROOM NAME ROOM NUMBER		1 Ref DRAWING # SHEET #
	DIMENSION POINT OR ELEVATION		1 Ref DRAWING # SHEET #
	PARTITION TYPE - SEE A7.1		DRAWING # SHEET #
	DOOR NUMBER SEE A7.1		DRAWING # SHEET #
	FIRE EXTINGUISHER RECESSED MOUNTED		DETAIL # SHEET #
	NEW WALL		
	EXISTING WALL TO REMAIN		

PLAN NOTES:

- REFER TO T1.0 FOR GENERAL NOTES.
- SEE CIVIL & LANDSCAPE DRAWINGS FOR EXTERIOR OF BUILDING CONDITIONS BEYOND THE BUILDING PERIMETER.
- SEE A3.4, A3.5 AND A3.6 FOR TYPICAL WALL, FLOOR, AND SLAB BUILDING ASSEMBLIES, U.O.N.
- SEE BUILDING ELEVATIONS FOR EXTERIOR MATERIALS & DETAILS
- REFER TO SCHEDULE SHEETS FOR ADDITIONAL INFORMATION.
- NOT ALL REQUIRED ACCESS PANELS HAVE BEEN SHOWN. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE THEIR LOCATION WITH ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED IN CEILINGS AND PAINT TO MATCH ADJACENT SURFACES.
- SEE FINISH PLANS FOR CONTROL JOINT AND EXPANSION JOINT LOCATIONS AT EXPOSED TO VIEW CONCRETE FLOORS.
- ROOMS WITH CAPACITY GREATER THAN 50 OCCUPANTS SHALL HAVE CLEARLY VISIBLE SIGNAGE INDICATING OCCUPANT CAPACITY FOR THAT ROOM.

RESTROOM ACCESSORIES TYP
 - TOILET PAPER HOLDER
 - TOILET SEAT DISPENSER
 - SANITARY NAPKIN DISPOSAL
 - GRAB BARS (ADA)
 - DIAPER CHANGING STATION (1 PER ROOM)



1 FLOOR PLAN
3/8" = 1'-0"

ISSUE DATE: APRIL 4, 2022

REVISION	DATE	DESCRIPTION

CONTENTS:
FLOOR PLAN

SCALE: **As Indicated**
 DRAWN: **Author**
 CHECKED: **Checker**
 PROJECT NO: 0000000.00

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324 S MERIDIAN
 PUYALLUP, WA 98371

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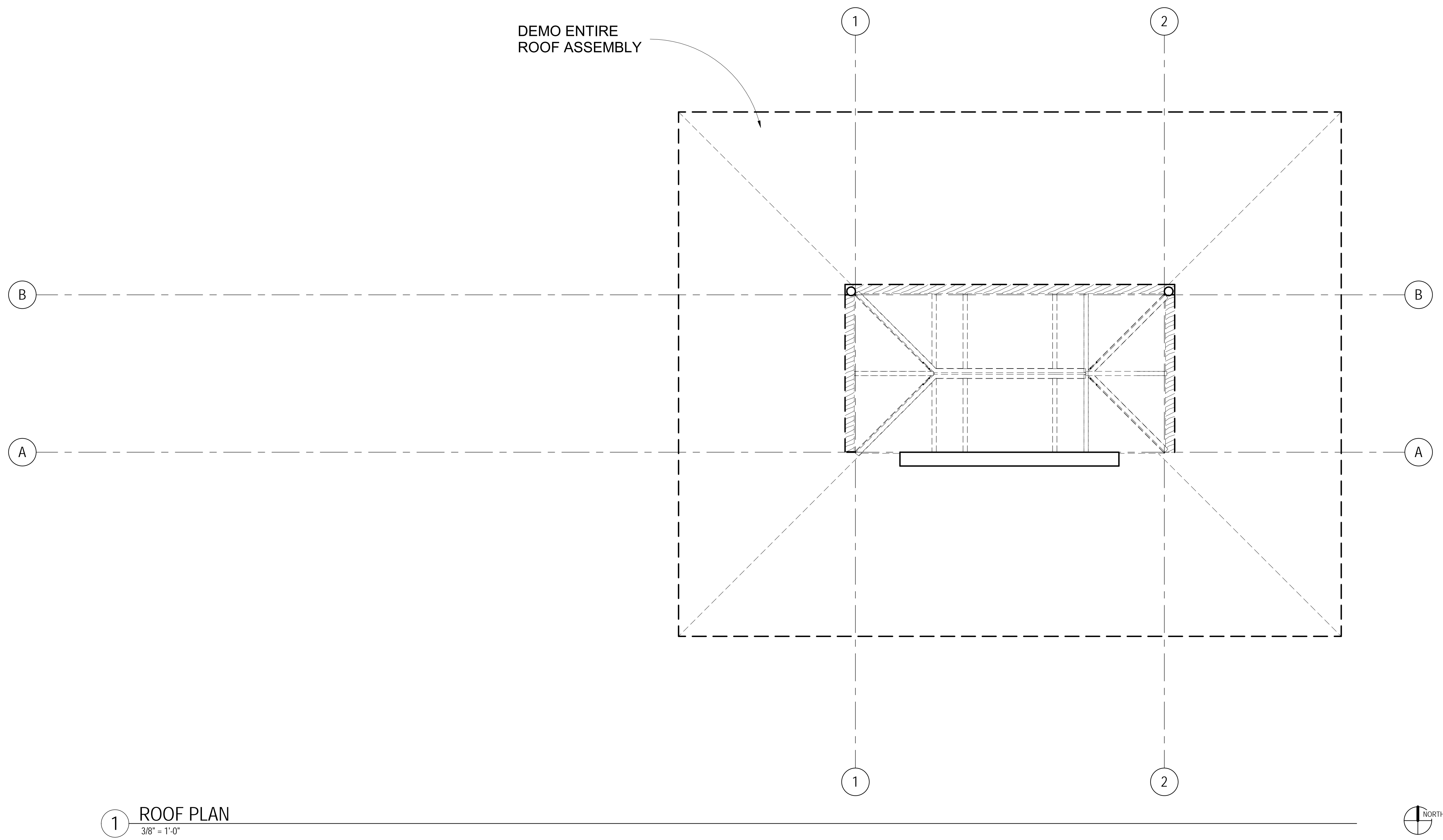
ISSUE DATE: APRIL 4, 2022

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DEMO ROOF PLAN

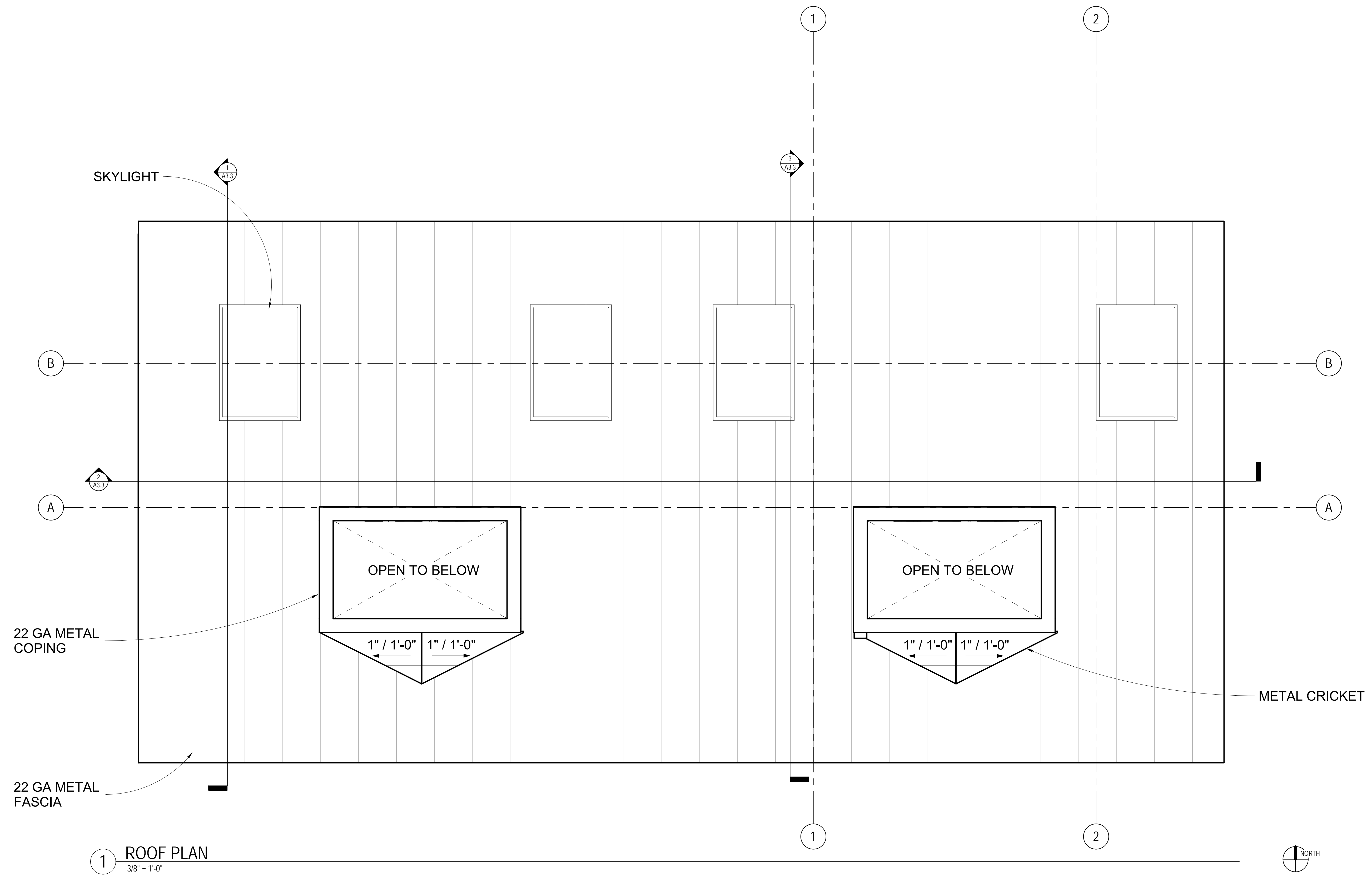
SCALE: **3/8" = 1'-0"**
 DRAWN: Author
 CHECKED: Checker
 PROJECT NO: 0000000.00

SHEET:
A2.2



ROOF PLAN NOTES:

1. FOR ROOF TYPE ASSEMBLIES - SEE BUILDING SECTIONS
2. FLAT STOCK INSULATION AT ALL AREAS, EXCEPT CRICKETS AT EQUIPMENT & SKYLIGHTS, ETC.
3. SEE EXTERIOR ELEVATIONS FOR DOWNSPOUT LOCATIONS.
4. FOR STEEL ELEVATIONS, SEE STRUCTURAL FOR BOTTOM OF DECK ELEVATIONS, SEE ARCHITECTURAL BUILDING AND WALL SECTIONS.
5. DRAWINGS INDICATE GENERAL & TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER, TYPICAL DETAILS SHALL APPLY.
6. ROOF PIPING AND VENT PENETRATION LOCATIONS ARE SHOWN FOR CONTRACTOR COORDINATION AND FOR DESIGN INTENT. FOR ACTUAL PENETRATION QUANTITIES REQUIRED, SEE MECH SHEETS



1 ROOF PLAN
 3/8" = 1'-0"

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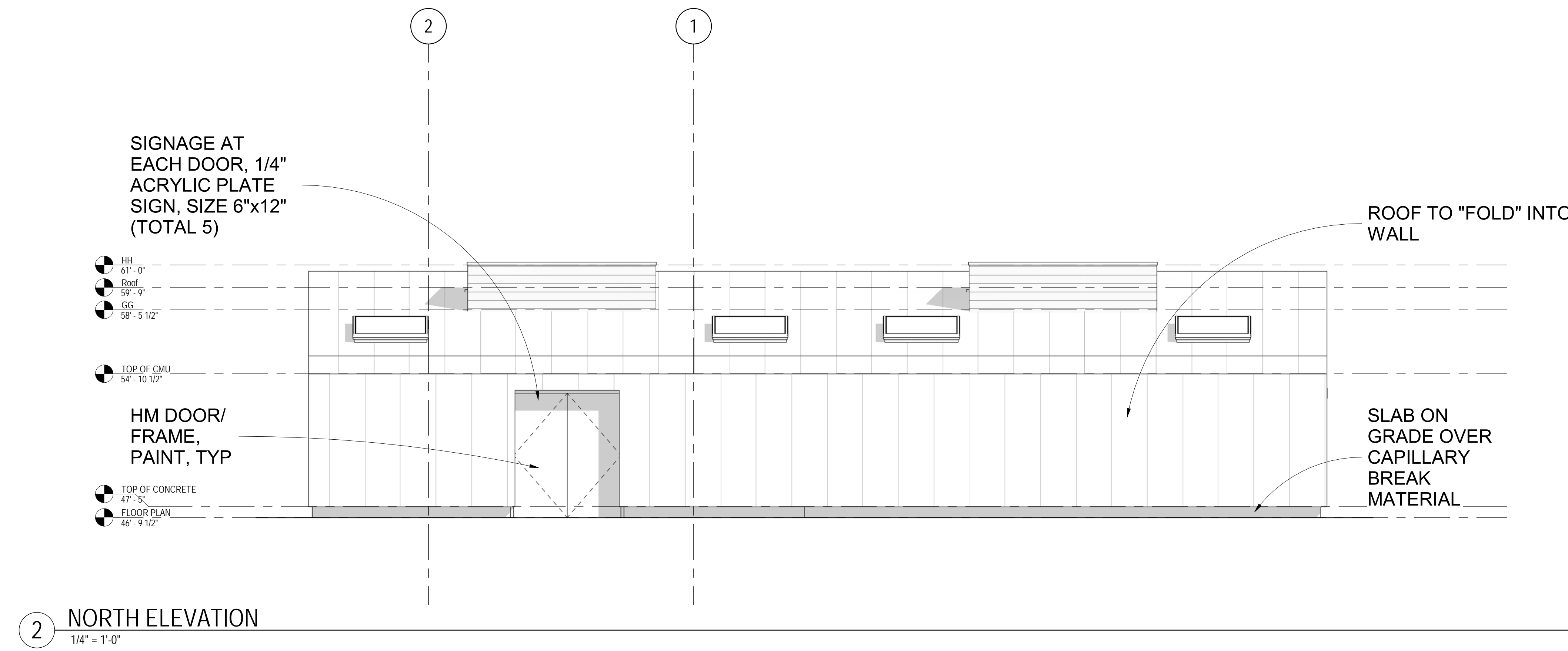
REVISION	DATE	DESCRIPTION

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ROOF PLAN

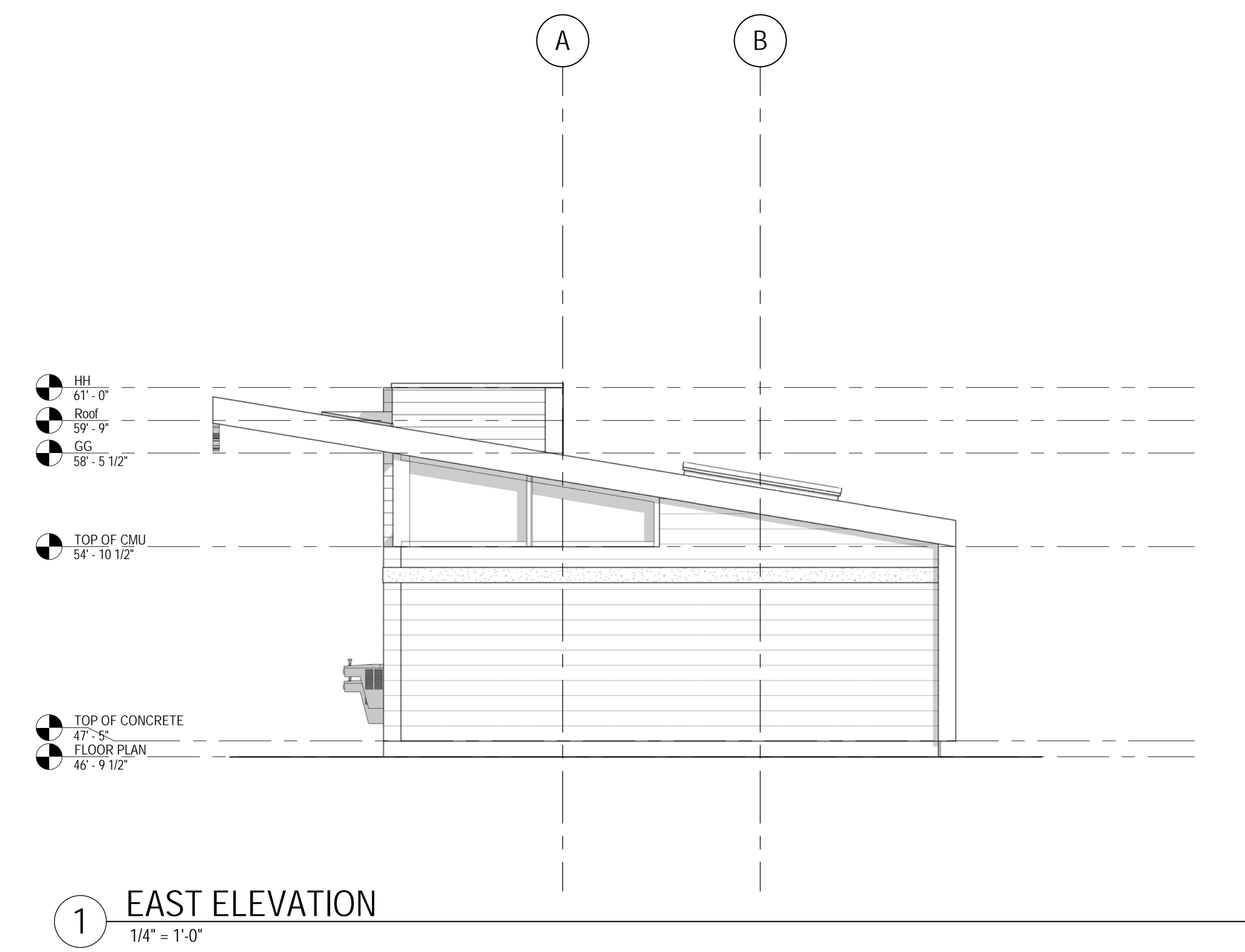
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 CHECKED: **Checker**
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SHEET:
A2.3

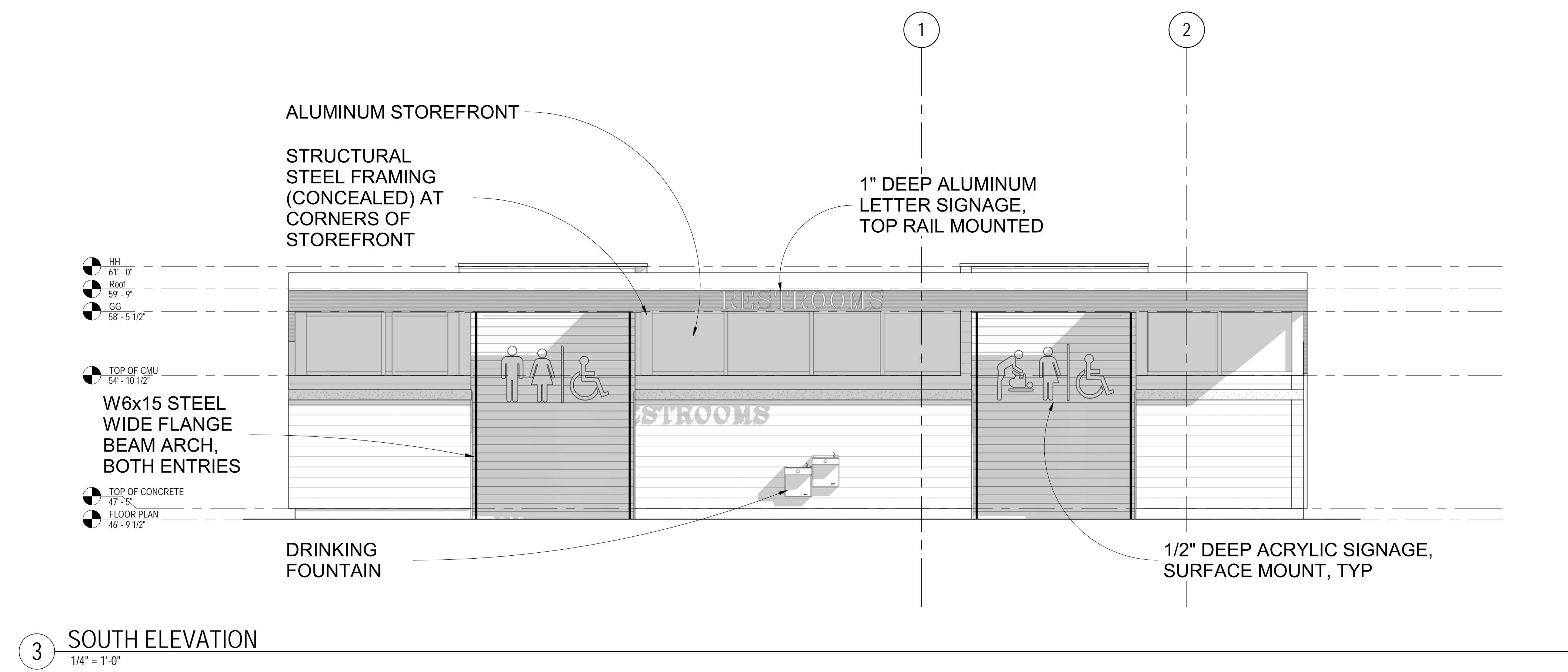
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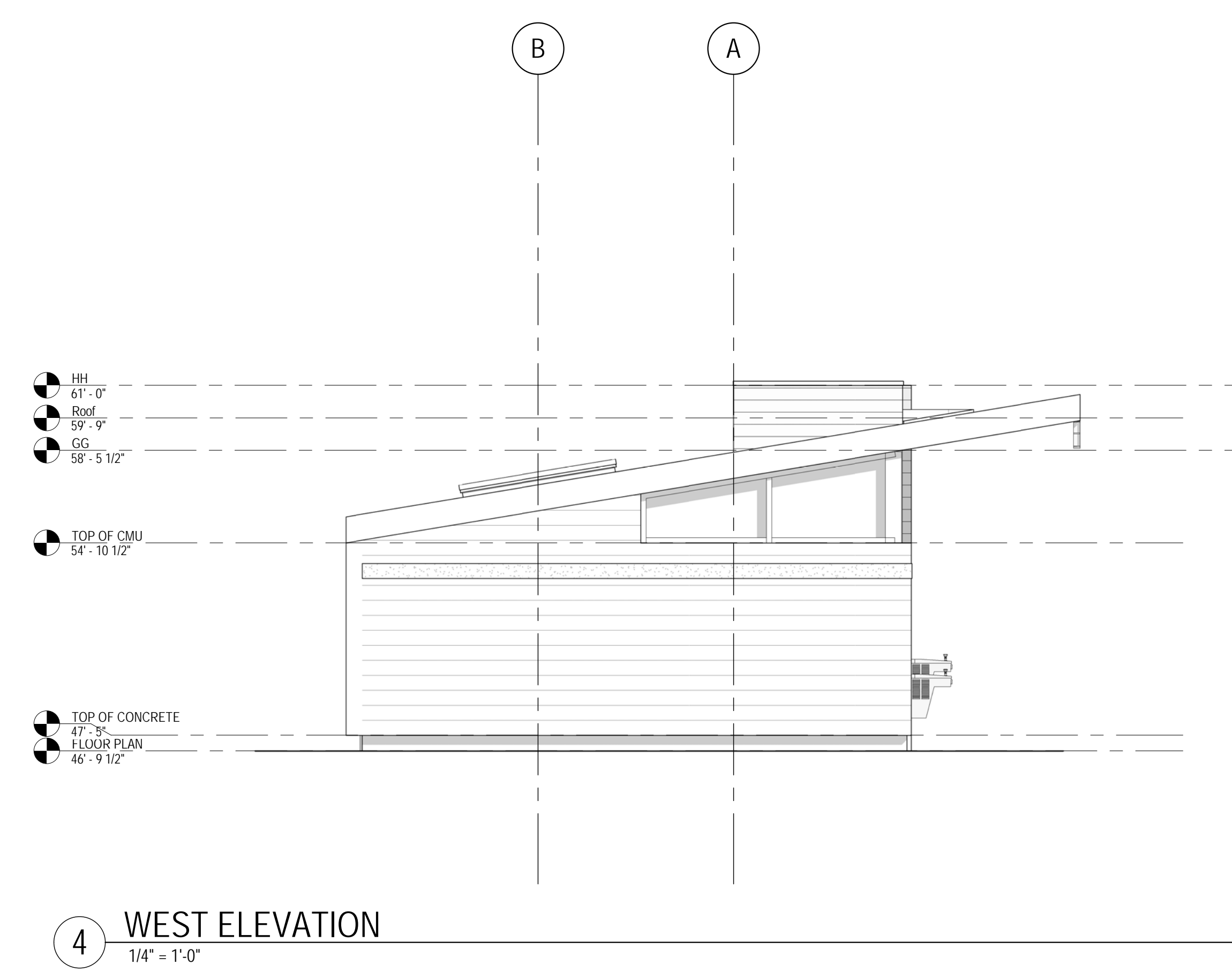
2 NORTH ELEVATION
 1/4" = 1'-0"



1 EAST ELEVATION
 1/4" = 1'-0"



3 SOUTH ELEVATION
 1/4" = 1'-0"



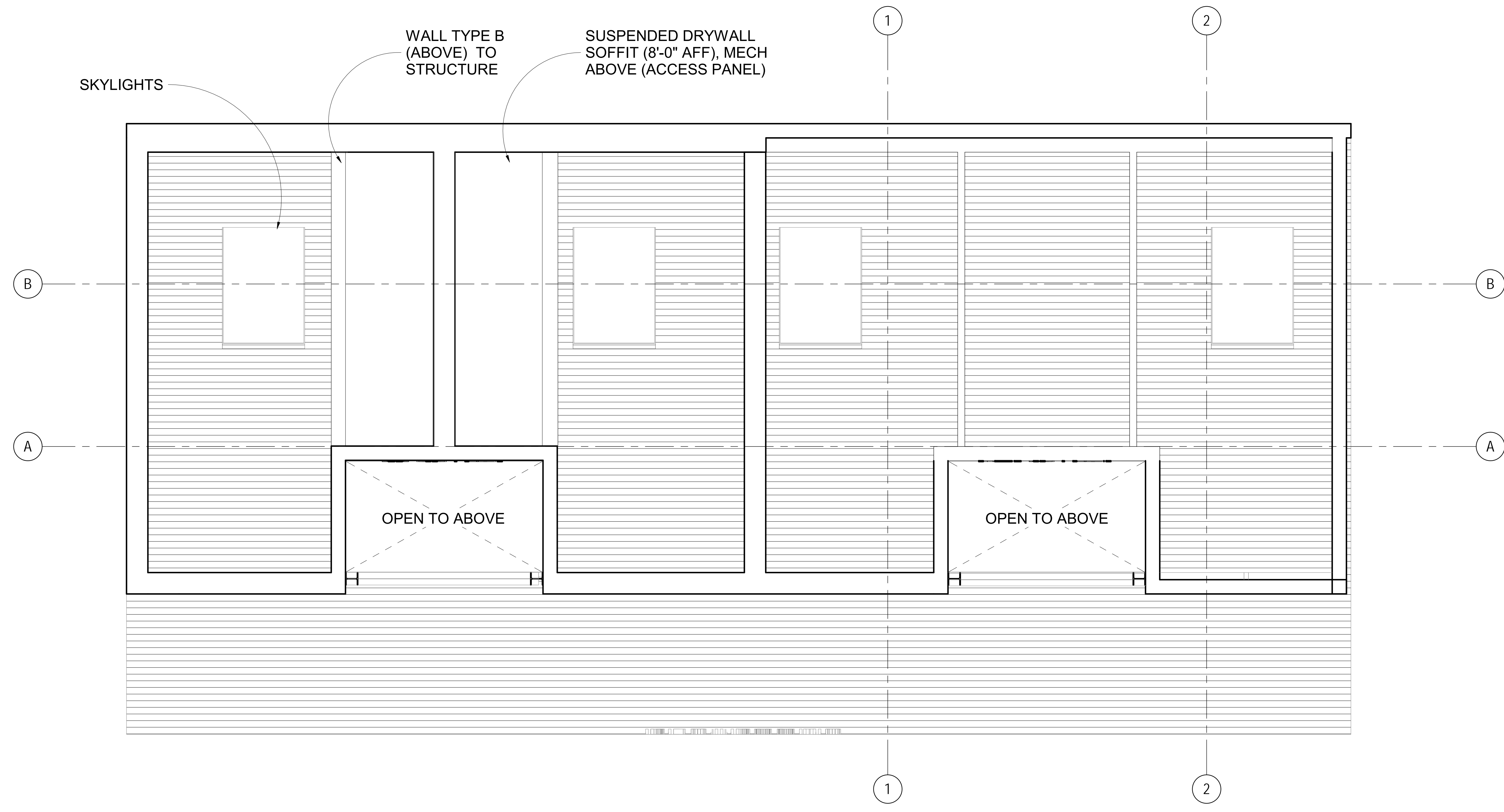
4 WEST ELEVATION
 1/4" = 1'-0"

CEILING PLAN NOTES:

1. REFER TO T1.0 FOR GENERAL NOTES.
2. SEE ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION, INCLUDING DEVICES NOT SHOWN ON THESE DRAWINGS.
3. ALL GWB CEILINGS AND SOFFITS ARE SUSPENDED ON CEILING JOISTS OF DESIGN-BUILD COLD FORMED METAL FRAMING. REFER TO SPECIFICATION SECTION 05 40 00 'COLD FORMED METAL FRAMING' AND STRUCTURAL NOTES.
4. REFER TO FINISH SCHEDULE FOR FINISHES INCLUDING, BUT NOT LIMITED TO THOSE AT CEILINGS, EXPOSED STRUCTURE, EXPOSED DUCTS AND EXPOSED PIPING.
5. FOR EXTERIOR LIGHTING AND ELECTRICAL DEVICES NOT MOUNTED DIRECTLY TO EXTERIOR WALLS, CONDUITS ARE TO BE INSTALLED WITHIN THE RIGID INSULATION LAYER ABOVE THE ROOF DECK.
7. MOTORIZED SHADES @ WINDOWS NOT SHOWN. REFER TO SPECIFICATIONS FOR LOCATIONS & QUANTITIES REQUIRED. SEE ELEVATIONS FOR HEIGHTS OF WINDOWS. COORDINATE WITH ELECTRICAL.
8. CEILING DESTRATIFICATION FANS BY MECHANICAL DESIGNER AT MULTIPLE LOCATIONS IN FITNESS ROOM 204 AND GYM 121. COORDINATION FINAL PLACEMENT WITH ARCHITECT.
9. MECHANICAL EQUIPMENT SHOWN IS FOR COORDINATION PURPOSES ONLY. ACTUAL MECHANICAL DESIGN SHALL BE BY PUBLISHED MECHANICAL DRAWINGS.
10. WOOD SLAT CEILING SLOPE TYPICAL. LOCATE 5'-2" BELOW DECK. DESIGN INTENT FOR MEMBERS TO BE 5/4" X 3" X 8' UNLESS OTHERWISE NOTED.

LEGEND

	ROOM NAME ROOM NUMBER		EXTERIOR ELEVATION	1 Ref DRAWING # SHEET #
	DIMENSION POINT OR ELEVATION		INTERIOR ELEVATION	1 Ref DRAWING # SHEET #
	PARTITION TYPE - SEE A7.1		BUILDING SECTION	DRAWING # SHEET #
	DOOR NUMBER SEE A7.1		WALL SECTION	DRAWING # SHEET #
	FIRE EXTINGUISHER RECESSED MOUNTED		DETAILS	1 Ref DRAWING # SHEET #
	NEW WALL			
	EXISTING WALL TO REMAIN			



1 REFLECTED CEILING PLAN
3/8" = 1'-0"



DESIGN DEVELOPMENT

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REFLECTED CEILING PLAN
SCALE: As Indicated
DRAWN: Author
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