

There is a 0' rear yard setback for the RM-Core zone. The site plan shows a 6' setback from the property line between the property line and the parking lot. The proposed site plan does not reflect the 2' setback.

- LANDSCAPE
- OPEN SPACE
- PARKING
- SETBACKS
- WALKWAY

SET BACK - FRONT YARD:	10'-0"	PMC 20.25.015
SET BACK - REAR YARD:	0'-0"	PER DOWNTOWN DESIGN GUIDELINES 3.B.5
SET BACK - SIDE YARD:	0'-0"	PER DOWNTOWN DESIGN GUIDELINES 3.B.5
MAXIMUM LOT COVERAGE:	90%	PMC 20.25.020
MINIMUM LANDSCAPE AREA:	10%	PMC 20.25.020
MAXIMUM UNIT DENSITY:	IN THE RM-CORE ZONE, RESIDENTIAL USES ARE PERMITTED WITH NO UNIT-PER-ACRE DENSITY LIMIT	PMC 20.25.022
FAR:	1.5 FAR - DOWNTOWN PLANNED ACTION AREA	PMC 20.25.023
BUILDING HEIGHT LIMIT:	50'-0"	PMC 20.25.020

**SITE AREA**

PROPERTY	AREA	AREA (SF)
SITE BOUNDARY	1.67 acres	72,782 SF

**CODE ANALYSIS**

APPLICABLE CODE:	2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2018 INTERNATIONAL FIRE CODE 2018 WASHINGTON STATE ENERGY CODE 2016 NFPA STANDARD 72 2016 NFPA STANDARD 13, 13-D, AND 13-R
OCCUPANCY:	R-2 (APARTMENTS)
CONSTRUCTION TYPE:	VA
BUILDING TYPE:	3 STORY / 4 STORY
FIRE SPRINKLERS:	13R
BASE ALLOWABLE AREA:	12,000 S.F. (TABLE 503)
ALLOWABLE HEIGHT:	60'-0" PER 2015 IBC SECTION 504.2

**STRUCTURES ON SITE**

STRUCTURES	FIRE SPRINKLERS	OCCUPANCY	CONSTRUCTION TYPE	BUILDING TYPE	COUNT
APARTMENT BUILDINGS	NFPA 13R	R-2	VA	4-STORY	1
TOTAL STRUCTURES ON SITE:					1

**BUILDING MATRIX**

DESCRIPTION	UNIT COUNT
UNIT - 1BED / 1BATH	11
UNIT - 2BED / 2BATH	35
UNIT - 3BED / 2BATH	12
TOTAL UNITS	58

**UNIT %**

DESCRIPTION	BED COUNT	UNIT COUNT	UNIT %
UNIT - 1BED / 1BATH	1	11	19%
UNIT - 2BED / 2BATH	2	35	60%

Please provide a surveyed site plan that delineates where the exact property lines are located to assist with determining if setbacks are being met.

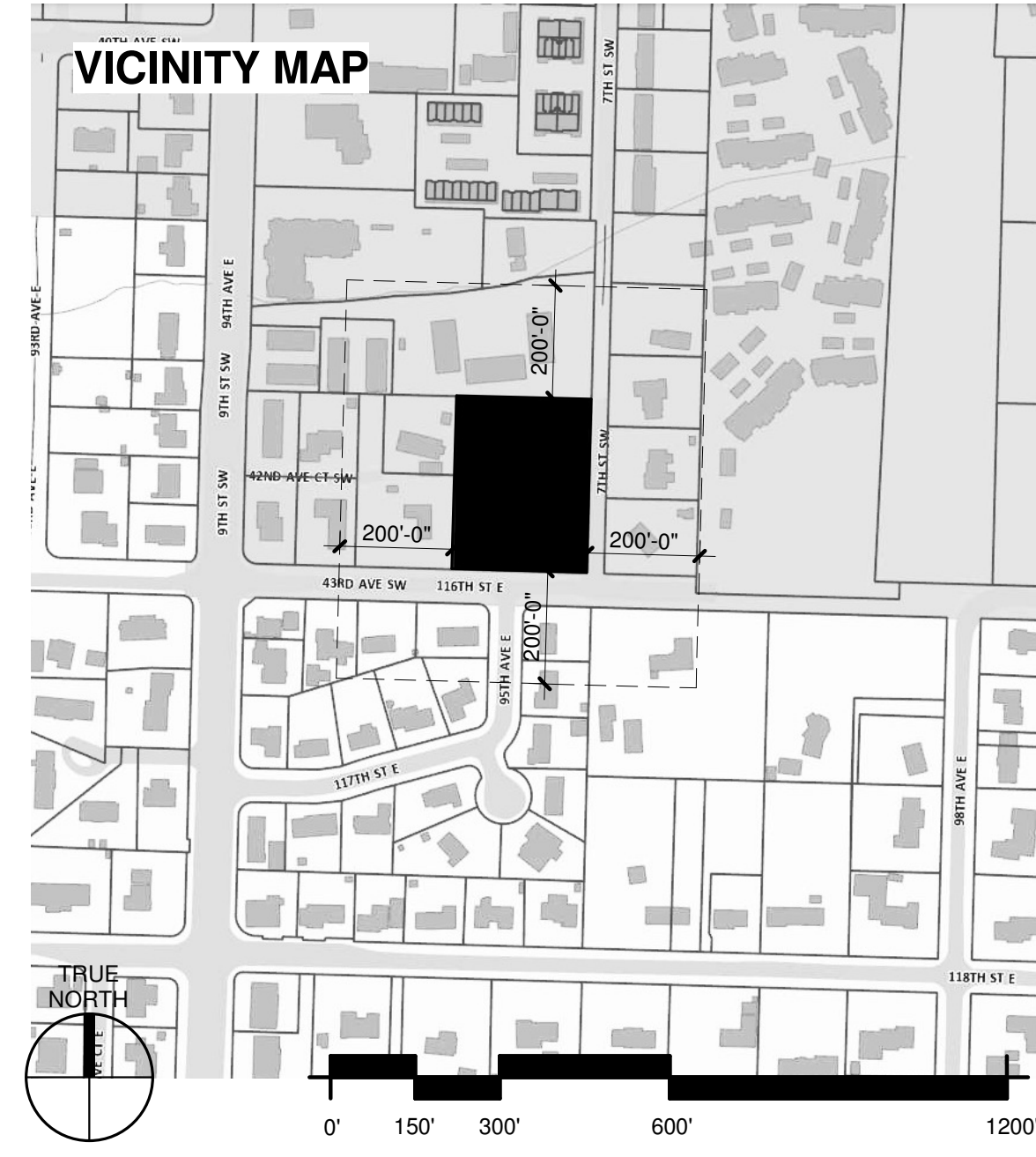
**PARKING STATISTICS**

DESCRIPTION	TYPE	STALLS PROVIDED
COMPACT	C	9
ELECTRIC VEHICLE	EV	4
HANDICAP	HC	1
HANDICAP ELECTRIC VEHICLE	HEV	1

Please document the parking reduction request you are pursuing from PMC 20.55.018 on the site plan sheet under the parking calculation.

**OPEN SPACE SITE PLAN**

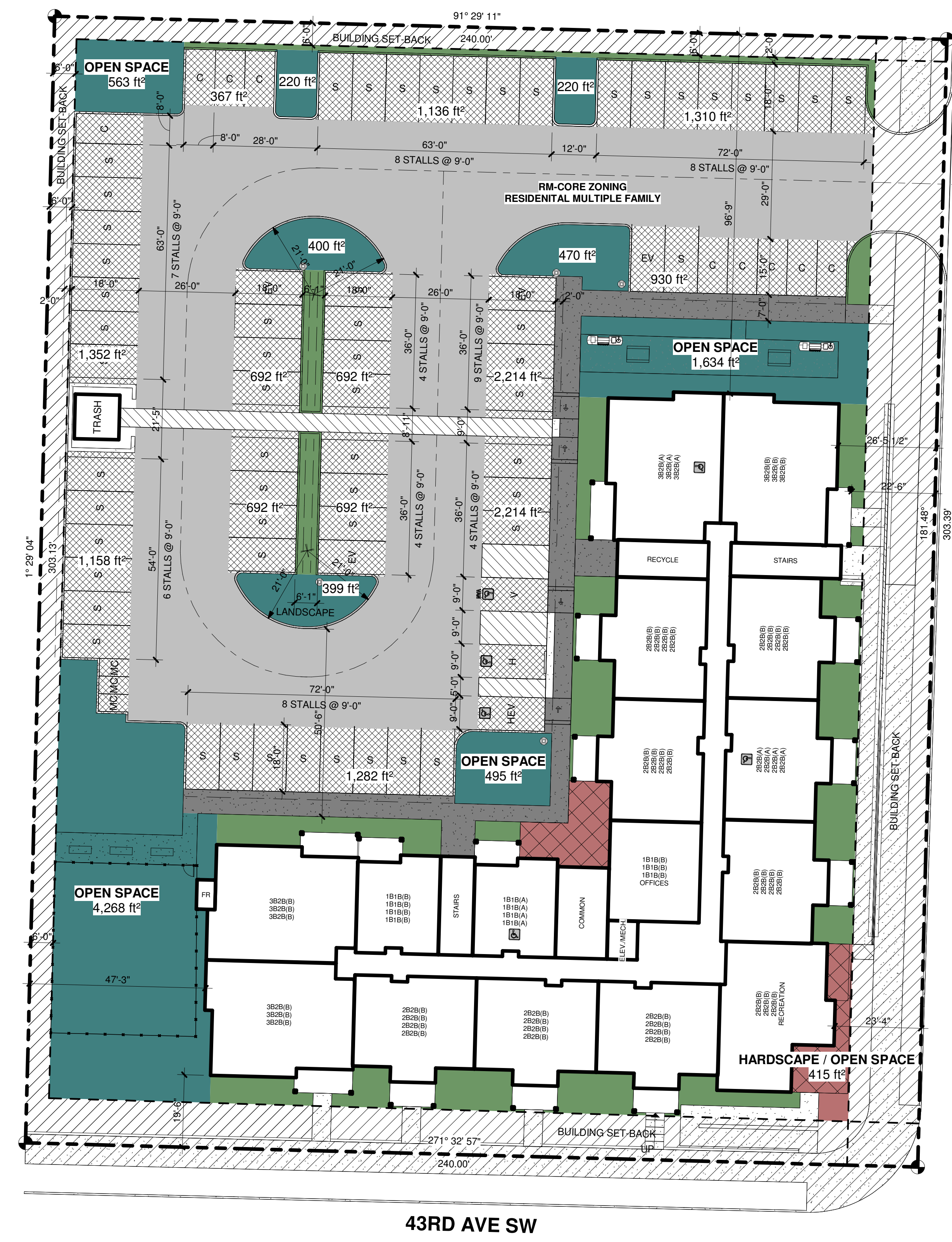
OPEN SPACE TYPE	AREA
OPEN SPACE	8,670 ft <sup>2</sup>
	8,670 ft <sup>2</sup>



**BUILDING AREA (GROSS)**

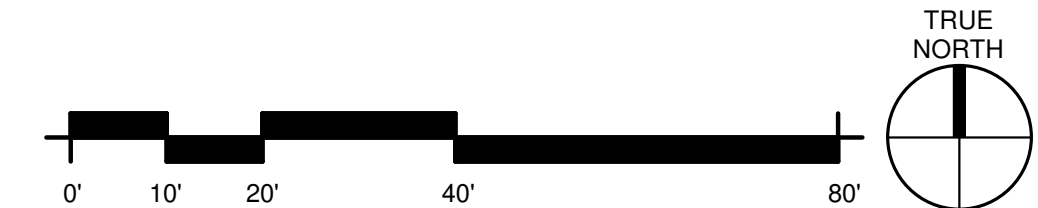
LEVEL	AREA
L1	21,480 SF
L2	16,849 SF
L3	16,849 SF
L4	12,156 SF
	67,335 SF

Please provide a dimensioned floor plan layout for each floor that includes the proposed square footage of the exterior decks. This was not included in the submitted plans. [design review conceptual, pg.1]



**CONCEPTUAL SITE PLAN**

1" = 20'-0"



**43rd AVENUE APARTMENTS**

PUYALLUP, WASHINGTON

SHEET ISSUE DATE: 1/21/2022 8:26:46 AM

CONCEPTUAL SITE PLAN



ROSS DECKMAN & ASSOCIATES INC.

207 4th AVENUE SOUTHEAST,  
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PR-100



**NORTH ELEVATION**

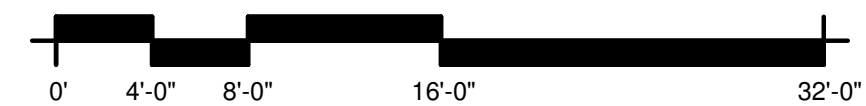
1/8" = 1'-0"

Please provide the mid-roof height for each elevation [design review conceptual, pg. 2]



**EAST ELEVATION (7th STREET SW)**

1/8" = 1'-0"



**43rd AVENUE APARTMENTS**

PUYALLUP, WASHINGTON

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ELEVATIONS (GABLE ROOF)



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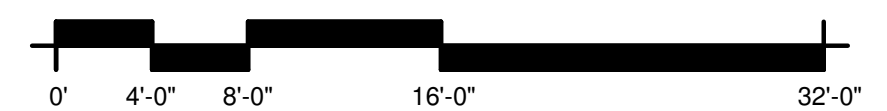
**SOUTH ELEVATION (43RD AVE SW)**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"



# 43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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ELEVATIONS (GABLE ROOF)

**R D + A**

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PR-204



# 43rd AVENUE APARTMENTS

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EXTERIOR RENDER - OVERALL BUILDING

PR-902

**R D + A**

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# 43rd AVENUE APARTMENTS

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EXTERIOR RENDER - FRONT ENTRANCE

PR-903

**R D + A**

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