

City of Puyallup
Development Services Center
333 S. Meridian - Puyallup, WA 98371
Tel: (253) 864-4165
Email: PermitCenter@PuyallupWA.gov

PRE-APPLICATION SUBMITTAL REQUIREMENTS

With little lead time prior to these meetings, information provided by City staff is not guaranteed to thoroughly address all issues that may arise concerning a proposal. Applicants are encouraged to bring all necessary representatives to the meeting, particularly those individuals who will actually work on the project during its design/approval phase.

The first pre-application meeting is at no charge to the applicant; however, any subsequent meetings, reviewing the same project, will be billed at a rate of \$40.00 per hour (minimum one hour) for each staff member in attendance.

You are not required to submit engineered or construction plans at this time. You are required to submit however, the following information:

1. A vicinity map showing the property boundaries in relation to the closest streets and major streets in the area.
2. Locations, sizes, and uses for the existing and proposed structures. Indicate gross floor area of each structure and type of construction.
3. Proposed parking layout, including new and existing access points to streets and drive aisles. (if applicable)
4. Existing and proposed utilities/easements on site, including hydrant locations, waterlines, sewer and storm lines, street lights, and any wells and/or septic tanks and drain field areas.
5. Landscaping existing and proposed (if applicable).
6. Proposed location, size and type of solid waste and recycling containers (if applicable).
7. Location of proposed/existing stormwater retention/detention facilities and type of facilities (if applicable).
8. One set of plans. These plans can be conceptual and do not need to be construction quality drawings. However, the more information you provide, the more complete our assessment of your application will be. Your plans should be legible and to scale.

Please submit your application, summary form, site plan, and additional submittal items via the CityView portal.

PURPOSE:

Pre-Application meetings are a valuable tool to help process your application, particularly if:

- You are unfamiliar with City standards or the permits you will need;
- Your proposal is complex or involves multiple approvals;
- You anticipate requesting a deviation and/or a variance from City standards or City Code requirements;
or
- Your proposal requires an environmental checklist application (SEPA) and/or a public hearing.

The meetings will familiarize you with the various elements of the City's permitting process. This includes:

- Meeting the staff coordinating the review of your application upon formal submittal;
- Introducing you to the regulations and plan submittal requirements specific to your proposal;
- Providing you an early opportunity to identify potential major issues; and
- Discussing the plan review process to expedite permit processing and approvals.

Based upon the information provided in your application the City will bring together appropriate representatives from Building, Engineering, and Planning who will be involved with the review of your application. The City will strive to make the meeting informative and efficient to make more effective use of your time and resources.

PROCEDURE:

Pre-application meetings are scheduled at a minimum of three (3) weeks out from when they are submitted to the permit center, subject to calendar availability. We schedule pre-application meetings on a first-come-first-serve basis. You will be notified within two (2) business days of your submittal, of the time and date of your meeting.

For the City to be as responsive as possible to your proposal, the pre-application packet must include the following:

- The fully completed meeting request form
- A vicinity map
- One (1) set of plans for project action. These plans can be conceptual and do not need to be construction quality drawings. The more information you provide, the more complete the city assessment of your application. Your plans should be legible and to scale.

THE MEETING:

At the pre-application meeting, you will be asked to briefly summarize your proposal. City staff will then follow-up with questions and identify major issues and applicable requirements. Your design team (i.e., architects, engineers, etc.) are welcome to attend and participate. At pre-application meetings, the City will provide you with requested copies of applicable City codes and regulations, informational handouts, maps and any required land use or environmental application form(s).

At the typical meeting you can expect to meet:

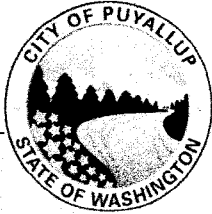
- A representative of the City's Building Division
- A representative of the City's Building Division who represents Fire issues
- A Planner, representing the Planning Division
- A Development Engineer, representing the Engineering Division
- A Traffic Engineer representing the Engineering Division

LIMITATIONS:

Pre-application meetings are intended to assist the applicant with preparing plans for submittal to the City.

This meeting is not a substitute or a formal review or an acceptance of project plans.

PRE-APPLICATION FORM



Genesee Monroe, LLC

Mailing Address: 3616 S Genesee St City: Seattle, WA Zip: WA 98118

Phone: 206-948-5014

E-Mail: robert@modernconstructiondesign.com

REQUESTED DATE FOR MEETING: (NO MONDAY OR FRIDAY MEETINGS)

Provide 3 Options:

- 1. ASAP / Tu-W-Th /pm
- 2. ASAP / Tu-W-Th /pm
- 3. ASAP / Tu-W-Th /pm

APPLICANT REPRESENTATIVES:

(1) Name: Robert bruner

Firm: Modern Construction and Design, LLC

Tel: 206-94805014

E-Mail: robert@modernconstructiondesign.com

(2) Name: Ryan Moore

Firm: Vector Engineering

Tel: 360-970-5192

E-Mail: rmoore@vectorengineeringinc.com

(3) Name: Jack Richlen

Firm: Seattle Commercial Real Estate

Tel: 206-551-6699

E-Mail: jack@commbrokerage.com

Particular Issues to Discuss:

Verify that all the Engineering, Land Use and SEPA paperwork and drawings are complete for submittal.
 The Owner, Genesee Energy would like to move forward with the following temporary installations as soon as possible.
 Site Office/Trailer, Temp power, Temp Voice and Data, Fencing for security, Installation of operational 30,000 gal. Bulk Propane tank

I hereby certify under penalty of perjury that all the foregoing information is true and correct and recognize that any false or misleading information shall nullify the validity of the information provided as a result of this pre-application.

ROBERT BRUNER

4-4-2022

Applicant Signature

Date

SUMMARY FORM

Project Name: Genesee Propane Bulk Plant
 Site Address: 412 23rd St SEPuyallup, WA 98372
 Parcel No: 2105200303
 Person Filing Request: Robert Bruner
 Affiliation to Project: General Contractor, Project Manager
 Company: Modern Construction and Design, LLC
 Address: 2223 Oaks AveEverett WA 98201-2344
 Tel: 206-948-5014

Description of your proposal:

- Single Family Residential (No. of Lots) _____
- Multi-Family Residential (No. of Lots) _____
- Office/Commercial/Retail (Square Feet) _____
- Warehouse/Manufacturing (Square Feet) 4,000
- Mixed Use (Square Feet) _____
- Other (No. of units/lots/square feet) _____

Additional Information:

The project entails the new development of a propane bulk plant on a undeveloped 1.13 acre parcel. Proposed 4000sq/ft office-warehouse-shop building. Proposed 30,000 gallon propane storage tank. The site will be paved with asphalt with required landscape strip around the perimeter. Proposed parking for 8 vehicles for office-warehouse use and 10 delivery trucks. Existing city sewer and water will be extended to the site, no septic or well will be required. Proposed drainage for the parking/paved areas consists of capturing the runoff in catch basins, prior to detention/treating in proposed underground detention tanks, emergency overflow will tie into the existing city stormwater system. Roof runoff from the proposed building will be tightlined into the existing city stormwater system.

How many access points to the public street does the existing site have and how many are proposed under the proposed application?

Existing: 0 Proposed: 2

For non-single family residential applications only, please identify:

The proposed type of construction (i.e., VN, IIIN): Choose an item.

Types I and II

The proposed size of the building(s):

4000 sq/ft

The proposed occupancy of the structures (i.e., "S", "B", "H"): Choose an item.

Business group B

Any manufacturing processes proposed?:

Yes

No

Will you be utilizing fire sprinkler systems:

Yes

No

Do not know, but possible

Will you be storing or using hazardous material:

Yes

No

Do not know, but possible

If yes, type of material stored:

Bulk propane in 30,000 tank