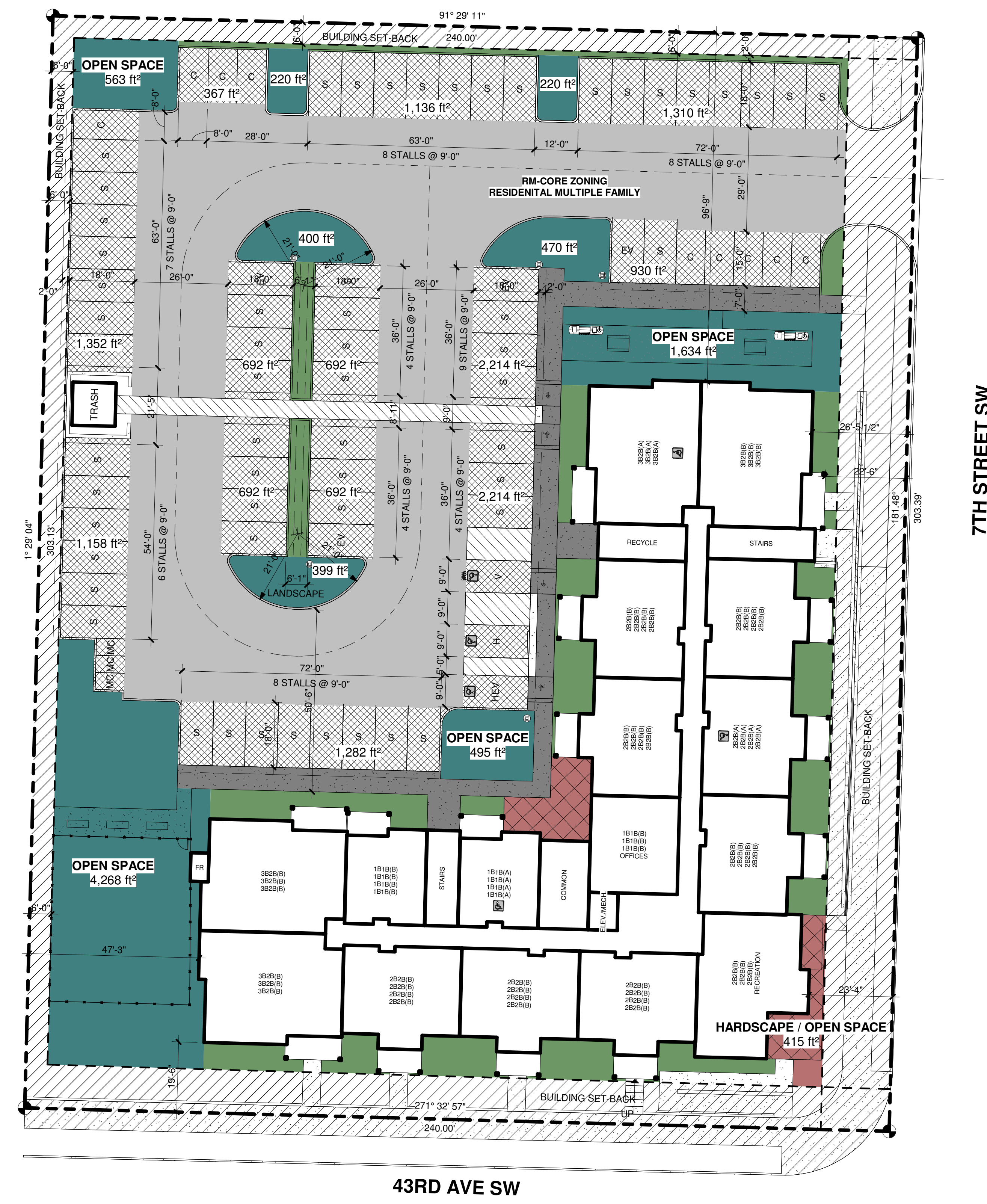


BUILDING AREA (GROSS)

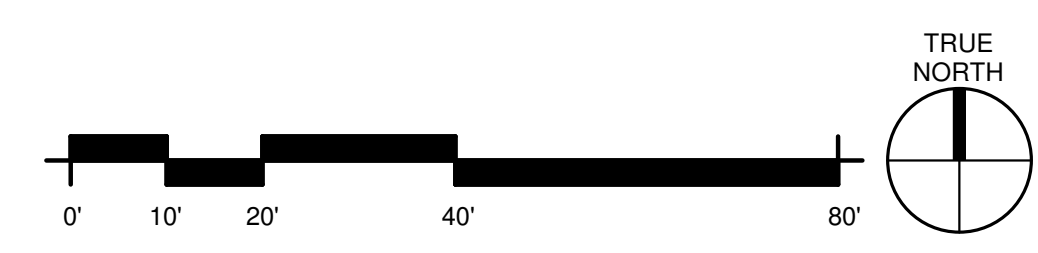
LEVEL	AREA
L1	21,480 SF
L2	16,849 SF
L3	16,849 SF
L4	12,156 SF
	67,335 SF

Please provide a dimensioned floor plan layout for each floor that includes the proposed square footage of the exterior decks. This was not included in the submitted plans. [Design Review Conceptual, pg.1]

Lighting has not been addressed on the site plan or landscape plan. Please include pedestrian pathway lighting, main entrance lighting, and unit entrance lighting referenced in the design review narrative on the landscaping plan. [Design Review Conceptual, pg.1]



CONCEPTUAL SITE PLAN
1" = 20'-0"



OPEN SPACE SITE PLAN

- BUILDING FOOTPRINT
- DRIVE AISLE
- HARDSCAPE / OPEN SPACE
- LANDSCAPE
- OPEN SPACE
- PARKING
- SETBACKS
- WALKWAY

PROJECT INFORMATION

	PROJECT STATISTICS	CODES / REFERENCES
PROJECT SCOPE	APARTMENT BUILDING	
PARCEL	4320000160	
PROJECT LOCATION	*** 7th ST. SW. PUYALLUP, WASHINGTON	
SITE ZONING	RESIDENTIAL MULTIPLE FAMILY (RM-CORE)	
ZONING JURISDICTION	CITY OF PUYALLUP, WA	
SITE USE	MULTI-FAMILY DWELLING UNITS	
SET BACK - FRONT YARD:	10'-0"	PMC 20.25.015
SET BACK - REAR YARD:	0'-0"	PER DOWNTOWN DESIGN GUIDELINES 3.B.5
SET BACK - SIDE YARD:	0'-0"	PER DOWNTOWN DESIGN GUIDELINES 3.B.5
MAXIMUM LOT COVERAGE:	90%	PMC 20.25.020
MINIMUM LANDSCAPE AREA	10%	PMC 20.25.020
MAXIMUM UNIT DENSITY	IN THE RM-CORE ZONE, RESIDENTIAL USES ARE PERMITTED WITH NO UNIT-PER-ACRE DENSITY LIMIT	PMC 20.25.022
FAR	1.5 FAR - DOWNTOWN PLANNED ACTION AREA	PMC 20.25.023
BUILDING HEIGHT LIMIT	50'-0"	PMC 20.25.020

SITE AREA

PROPERTY	AREA	AREA (SF)
SITE BOUNDARY	1.67 acres	72,782 SF

CODE ANALYSIS

APPLICABLE CODE:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 UNIFORM PLUMBING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 WASHINGTON STATE ENERGY CODE
- 2016 NFPA STANDARD 72
- 2016 NFPA STANDARD 13, 13-D, AND 13-R

OCCUPANCY: R-2 (APARTMENTS)

CONSTRUCTION TYPE: VA

BUILDING TYPE: 3 STORY / 4 STORY

FIRE SPRINKLERS: 13R

BASE ALLOWABLE AREA: 12,000 S.F. (TABLE 503)

ALLOWABLE HEIGHT: 60'-0" PER 2015 IBC SECTION 504.2)

STRUCTURES ON SITE

STRUCTURES	FIRE SPRINKLERS	OCCUPANCY	CONSTRUCTION TYPE	BUILDING TYPE	COUNT
APARTMENT BUILDINGS	NFPA 13R	R-2	VA	4-STORY	1
TOTAL STRUCTURES ON SITE:					1

BUILDING MATRIX

DESCRIPTION	UNIT COUNT
UNIT - 1BED / 1BATH	11
UNIT - 2BED / 2BATH	35
UNIT - 3BED / 2BATH	12
TOTAL UNITS	58

UNIT %

DESCRIPTION	BED COUNT	UNIT COUNT	UNIT %
UNIT - 1BED / 1BATH	1	11	19%
UNIT - 2BED / 2BATH	2	35	60%
UNIT - 3BED / 2BATH	3	12	21%
TOTALS		58	100%

UNIT MATRIX

Please provide a surveyed site plan that delineates where the exact property lines are located to assist with determining if the required RM

HANDICAP ELECTRIC VEHICLE	REV	COUNT
MOTORCYCLE	MC	3
STANDARD	S	57
VAN ACCESSIBLE	V	1
		76

PARKING AREA

OPEN SPACE TYPE	AREA
PARKING	12,518 ft²
	12,518 ft²

OPEN SPACE SITE PLAN

OPEN SPACE TYPE	AREA
OPEN SPACE	8,670 ft²
	8,670 ft²

43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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CONCEPTUAL SITE PLAN



ROSS DECKMAN & ASSOCIATES INC.

207 4th AVENUE SOUTHEAST,
PUYALLUP, WASHINGTON 98372
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PR-100



NORTH ELEVATION

1/8" = 1'-0"

Per DDG 4.B.6, a minimum of two different materials is required, each a minimum of 30% of the facade. Please provide a visual and the calculations that show this requirement is being achieved. [Design Review Conceptual, pg.2]

Please provide the mid-roof height for each elevation on the site plan. [Design Review Conceptual, pg.2]



EAST ELEVATION (7th STREET SW)

1/8" = 1'-0"

Per DDG 5.B.3, a minimum of 30% transparency within the pedestrian view plane should be achieved for ground-floor residential buildings. Please provide a visual and the calculations that show this requirement is being achieved. [Design Review Conceptual, pg.2]

43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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ELEVATIONS (GABLE ROOF)



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PR-203



SOUTH ELEVATION (43RD AVE SW)

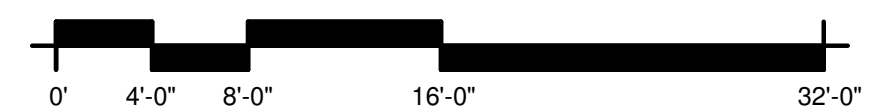
1/8" = 1'-0"

Downtown Design Guidelines Chapter 3.B.6 (3) require the incorporation of a flat roof (less than 3:12 pitch) with cornice or parapet articulation in the overall building form. The elevations propose 5:12 and 8:12 pitches. Please reduce the roof pitch to less than 3:12. [Design Review Conceptual, pg. 3]



WEST ELEVATION

1/8" = 1'-0"



43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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ELEVATIONS (GABLE ROOF)

R D + A

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PR-204



Please provide exterior renderings for each elevation. [Design Review Conceptual, pg. 4]

43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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EXTERIOR RENDER - OVERALL BUILDING

PR-902

R D + A

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43rd AVENUE APARTMENTS

PUYALLUP, WASHINGTON

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EXTERIOR RENDER - FRONT ENTRANCE

PR-903

R D + A

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