



City of Puyallup

Development Services Center

333 S Meridian, Puyallup, WA 98371

(253) 864-4165 Fax (253) 840-6678

www.cityofpuyallup.org

DATE: February 23, 2021

TO: Glenna Mahar & Project File

FROM: Nabila Comstock - Planning Technician

PROJECT: P-21-0009

SITE ADDRESS: 220 2nd Ave NE

PROJECT DESCRIPTION (as provided by applicant): New construction of approximately 11 units with associated parking. The project is proposed to be on lots 7 and 8 of the submitted survey draft.

Thank you for meeting with the city's Development Services staff to discuss your proposed project.

For your use here is a memo to the file for this project, which highlights the issues discussed at our meeting. Please note that this is a list of specific issues discussed and is not intended to replace the final condition letter that will be provided to you when a formal application is submitted and reviewed.

We hope that you find this information helpful and informative as you proceed through the permitting process. If you have any questions or concerns regarding these notes, please do not hesitate to contact the appropriate staff member or me directly at (253) 770-3361.

We look forward to working with you on the completion of this project.

PLANNING – Chris Beale, 253-841-5418 cbeale@puyallupwa.gov

This letter is intended to outline specific code sections and other standards that may be applicable to the project. This is not an exhaustive list and other requirements may be triggered by the actual development proposal. The applicant is advised and encouraged to consult the Puyallup Municipal Code (PMC) when finalizing their application proposal and contact the planner listed above with questions

To address the questions on the submitted pre-app letter dated 01.20.21:

- The project is located in the city's downtown tax exemption area. The project qualifies for a tax exemption per the standards of PMC 3.70. Contact us for further information if needed.
- Project is located in the downtown SEPA planned action area; as a qualifying project, no SEPA Determination is anticipated for this project. A SEPA checklist is required with the land use permit however to verify.

- The project will still need to receive a land use approval (preliminary site plan).
- As a qualifying project in the CBD planned action SEPA area, **concurrent review of plans is permitted outright**. Civil and Building plans can be submitted concurrent with land use application for this type of qualifying project.
- Staff anticipates land use review cycle to be approximately 5-8 weeks.
- Project will need to receive design review approval from the Design Review and Historic Preservation Board (DRHPB). It's strongly encouraged to have a project architect lead the application process. A design review application, narrative and full elevations are required. The DRHPB meets twice a month on Thursdays (virtually during the pandemic). A pre-app meeting with the Board is encouraged and can be scheduled by staff at request.
- The project qualifies for a four story height max. Ground floor should be 14'.
- **We will need to follow up with you regarding front yard setbacks and frontage improvement dimensions. Setbacks:** See PMC 20.30.031 for max. front yard setbacks in the CBD.

20.30.031 Maximum front yard setback in the CBD and CBD-Core zones.

Building shall be located on the front setback line (i.e., a zero-foot front yard setback) but may be set back far enough to incorporate one or a combination of the following site amenities:

- (1) Pedestrian-oriented plaza in area incorporated into a niche or recess in the building's front facade when consistent with PMC [20.30.033](#);



Example of Front Facade Features

- (2) A pedestrian-oriented plaza space in front of the building at least eight feet deep running the full width of the building when consistent with PMC [20.30.033](#);
- (3) A landscape strip at least four feet wide and no greater than eight feet wide located between the sidewalk and the building edge; and/or
- (4) Developments proposed at the corner of streets intersecting with Meridian Street shall provide a corner inset pedestrian-oriented plaza space based on the size parameters and

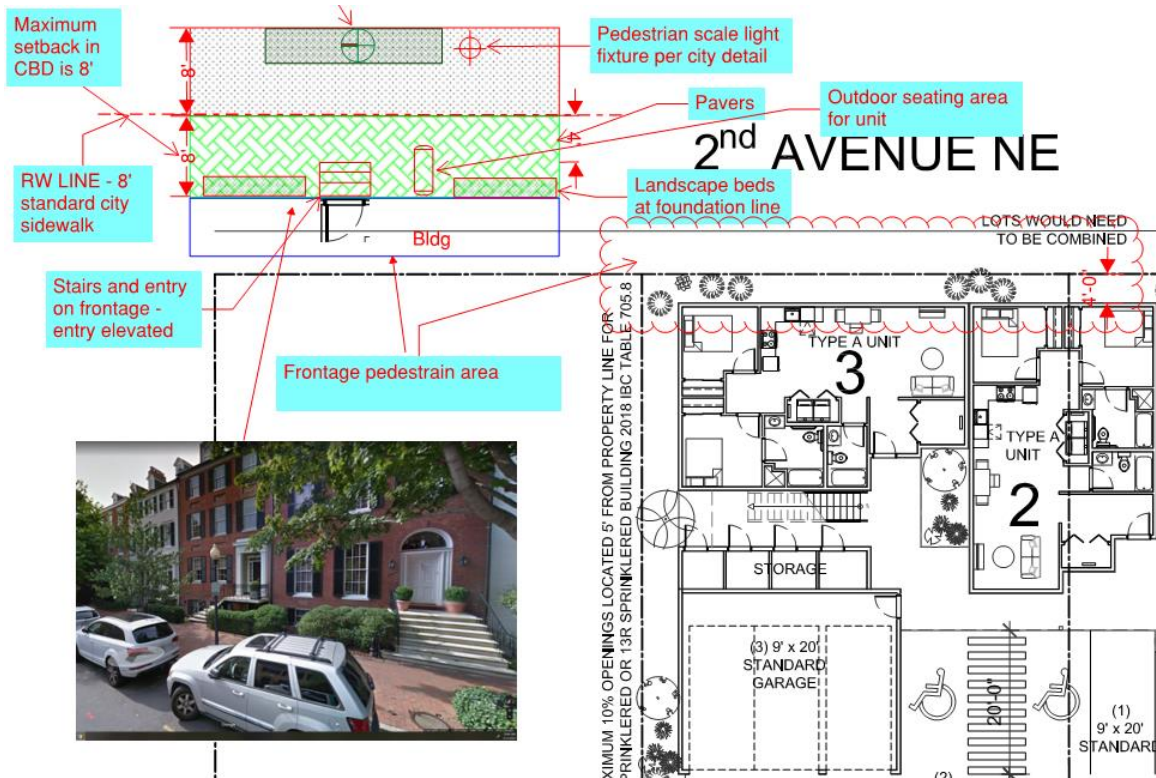
Pre-app Notes

P-21-0009 E Main Ave Multifamily

3 of 18

amenities identified in PMC [20.30.033](#). (Ord. 3172 § 1, 2018; Ord. 2851 § 5, 2006; Ord. 2694 § 5, 2001; Ord. 2563 § 1, 1998; Ord. 2454 § 1, 1995).

- Due to the configuration of the existing sidewalk, curb and ROW offset width, we will need to follow up with you regarding the method of setback and improvements within the setback area. Unit entry doorways are required facing the RW and staff would like to see an addition of hard surfacing pavers abutting the back of public RW walk to serve as an extension of the pedestrian area.



- Individual units facing the 2nd Ave RW are required to have unit entry doors. The project architect will need to address how the entries will interact with the RW. Staff recommends applying multi-family entry standards for the downtown planned action zone:
 - Entrances serving single units shall have either a minimum 50-square-foot outdoor entrance landing or an entrance threshold that is at least seven inches above the abutting sidewalk level.
 - Entrances serving multiple units shall have an outdoor entrance landing that is at least 50 square feet per unit served by said entrance or 100 square feet, whichever is less.
 - Entrance landings are at least three feet higher than the elevation of the street or street sidewalk level and do not extend into the required setback.

- *Entrance steps may extend into the required setback to give visual emphasis to entries and to connect entrance landings with the right-of-way sidewalk.*
- *The area between the front or side-street lot line and the building shall be landscaped with a mixture of shrubbery and trees sufficient to achieve 75 percent ground coverage within a three-year period. At least 20 percent of the vegetation necessary to achieve required coverage shall consist of deciduous and/or evergreen trees.*
- Rear and side yards are zero (0') in this zone. However, if the setback area is unoccupied by buildings, the yard area shall be landscaped at 6'. Buffering from adjacent SFR uses is encouraged (the site is surrounded by SFR uses that are CBD zoning - buffering standards of 20.30.030 (9) do not apply).
- Parking is required at 1:1 per unit per 20.55.011. It's incorrectly listed as 2:1 on the submitted plans. You don't need a reduction unless you are proposing less than 11 parking stalls.
- Parking lot landscaping islands shall be provided consistent with the city VMS landscaping manual, requiring 12' landscape islands and no more than 8 stalls consecutively without an island.
- A lot combo is required. A building cannot straddle property lines. Lot combos come through our department for approval.
- Pre-apps are not pre-approvals. The notes represent a snapshot of current codes at the time you requested the pre-app and do not vest the project at all.

LAND USE PERMIT REQUIREMENTS

The following land use permits are required for your proposal:

- Preliminary site plan,
- SEPA environmental checklist (**project is the planned action area, but a checklist is required by code to verify status as a qualifying project**)
- Downtown design guidelines review applications (See below for more information regarding architectural design review)
- To facilitate a complete submittal, provide the following documents:
 - Complete application form, with required # of copies and supporting documents, as outlined on the application form checklist.
 - Contact a permit technician for permit submittal instructions or if you have questions about the minimum submittal checklist requirements permitcenter@puyallupwa.gov).
 - SEPA checklist with an 8.5"X11" or 11"X17" copy of the site plan
 - Proposed building elevations, along with any applicable design review application.
 - Required preliminary storm water report, consistent with Engineering's requirements and notes contained in this letter or as otherwise directed by the case Engineer.
 - Required Traffic Scoping Worksheet and Traffic Impact Analysis, consistent with Traffic Engineering's requirements and notes contained in this letter or as otherwise directed by the city Traffic Engineer.
 - Any required critical areas report, as noted herein by the case planner
 - Preliminary landscape plan

- Geotechnical report, where required.
- Preliminary utility plan, or preliminary Technical Information Report (TIR), consistent with Engineering's requirements and notes contained in this letter or as otherwise directed by the case Engineer.

GIS PROPERTY DETAILS

QV Puyallup Detailed List - 7940100102

General Information	
Puyallup City Limit	Yes
City Owned Property	No
Concomitant Agreements	No
Regulated Floodplain 1980	No
Regulated Floodplain 2017	No
Regulated Seclusion Area	No
Future Land Use	POC
General Habitat Areas	No
Plats	794010
Potential Land Slide Hazard	No
Regional Growth Center	Yes
Revenue Development Area Boundary	Yes
Short Plat Number	N/A
Soils	31A
Urban Growth Boundary Area	Yes
Volcanic Hazard Areas	Yes
Water System Name	CITY OF PUYALLUP
Wetlands Inventory Puyallup	No
Zoning	CBD

Zoning Overlay	N/A
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QV Puyallup Detailed List - 7940100103

General Information

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Water System Name	CITY OF PUYALLUP
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Wetlands Inventory Puyallup	No
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Zoning	CBD
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Zoning Overlay	N/A
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LAND USE ANALYSIS

- The site is located the CBD zone district; residential land uses are permitted outright in this zone area and comp plan designation (POC).

CRITICAL AREAS ANALYSIS

The following critical areas are known or suspected on or within the vicinity of the subject site:

	CRITICAL AREA
X	Critical aquifer recharge area
	10-year wellhead protection area
	5-year wellhead protection area
	1-year wellhead protection area
X	Geologic hazard area – Volcanic hazard area
	Geologic hazard area – Landslide hazard area
	Geologic hazard area – Erosion hazard area
X	Geologic hazard area – Seismic hazard areas
	Wetland and wetland buffer
	Fish and Wildlife Conservation Area - Stream and/or stream buffer
	Fish and Wildlife Conservation Area – General habitat area
	Flood prone area – 100-year floodplain
	Shoreline of the State

- The following critical area report requirements may be triggered by known or suspected critical areas:
 - **Critical aquifer recharge areas:**
 - Reporting requirements vary based on the proposed use of the property. Most land subdivisions will not trigger these report requirements for the purposes of subdividing the land, but may be triggered by future planned use of the land.
 - Activities that do not cause degradation of ground water quality and will not adversely affect the recharging of the aquifer may be permitted in a critical aquifer recharge area and do not require preparation of a critical area report; provided, that they comply with the city storm water management regulations and other applicable local, state and federal regulations. These activities typically include commercial and industrial development that does not include storage, processing, or handling of any hazardous substance, or other development that does not substantially divert, alter, or reduce the flow of surface or ground waters.
 - Activities that have the potential to cause degradation of ground water quality or adversely affect the recharging of an aquifer may be permitted in critical aquifer recharge areas pursuant to an approved critical area report in accordance with PMC 21.06.530 and 21.06.1150. These activities include:
 - Activities that substantially divert, alter, or reduce the flow of surface or ground waters, or otherwise adversely affect aquifer recharge;

- The use, processing, storage or handling of hazardous substances, other than household chemicals used according to the directions specified on the packaging for domestic applications;
 - The use of injection wells, including on-site septic systems, *except those domestic septic systems releasing less than 14,500 gallons of effluent per day* and that are limited to *a maximum density of one system per one acre*;
 - Infiltration of storm water from pollution-generating surfaces; or
 - Any other activity determined by the director likely to have an adverse impact on ground water quality or on a recharge of the aquifer.
- **Volcanic hazard areas:**
 - The site is within a volcanic hazard area. In the event of an eruption of Mt. Rainier, the site is expected to be inundated by pyroclastic flows, lava flows, debris avalanche, inundation by debris flows, lahars, mudflows, or related flooding resulting from volcanic activities. Uses and activities on this site shall comply with the city's critical area ordinance (Puyallup Municipal Code 21.06, Article XII, section 21.06.1260, or succeeding section, regarding volcanic hazard areas.
 - **Seismic hazard areas:**
 - The site may or may not be within a seismic hazard area, which is dependent upon site soil conditions. Please consult the building department and your geotechnical engineer for more information.
 - PMC 21.06.1120 Performance standards – Alteration of critical aquifer recharge areas.
 - PMC 21.06.1260 Performance standards – Volcanic hazard areas

ARCHITECTURAL DESIGN REVIEW ANALYSIS

- The project is subject to the Downtown Design Guidelines (DDG) applicability area Your project will be reviewed by the Design Review Board. The Board will review and approve, approve with conditions or deny your application.
- You can schedule a pre-application meeting with the Board to receive early feedback before proceeding into the formal design review process. Contact me for further details
- **Current DDG guidelines:**
<http://cityofpuyallup.org/DocumentCenter/View/10170/Downtown-Design-Guidelines---2019-Update->
- The following is a short summary of areas flagged for attention as you finalize the design. This is not an exhaustive review of the design review submittal and is advisory only.
 - **Review 3.B.1 for applicability based on project size and scope of proposal.**
 - **3.B.1 (5) – review and apply guidelines.**
 - **3.B.2 - review and apply guidelines.**
 - **3.B.3 - review and apply guidelines.**
 - **3.B.5 - review and apply guidelines.**
 - **3.B.6 - review and apply guidelines.**
 - **4.B.1 (5). – review and apply guidelines for residential only projects.**
 - **Two strategies must be used from list of 4.B.2 – 4.B.6.**

▪ **Application of 4.B.6 building materials is strongly encouraged.**

- **5.A – see notes regarding residential units**
- **5.B.1 (4) - review and apply guidelines.**
- **5.B.2 - review and apply guidelines.**
- **5.B.3 - review and apply guidelines.**
- **5.B.4 - review and apply guidelines.**
- **5.B.5 - review and apply guidelines.**
- **5.B.6 - review and apply guidelines.**
- **5.B.7 - review and apply guidelines.**
- **5.B.8 - review and apply guidelines.**

OFF-STREET PARKING ANALYSIS

- PMC 20.55.011 Number of parking spaces required – Downtown planned action area:
 - (1) Dwellings, multiple-family, including apartments, condominiums, duplexes and townhouses: one parking space per dwelling unit

- Other relevant parking code sections to consult:
 - PMC 20.55.016 Motorcycle/bicycle parking requirements.
 - PMC 20.55.018 Reduced parking requirements for low impact development
 - PMC 20.55.025 Compact parking spaces.
 - PMC 20.55.035 Aisle and driveway dimensions.
 - PMC 20.55.040 Conflict with use of street or alley
 - PMC 20.55.042 Parallel parking maneuverability in off-street parking lots
 - PMC 20.55.055 Improvement and maintenance of parking areas.
 - PMC 20.56 Electrical vehicle infrastructure- requirement
 - PMC 20.55.045 Use of common parking facilities
 - PMC 20.55.050 Joint use of parking facilities

LANDSCAPING REQUIREMENTS ANALYSIS

PMC 20.58 outlines landscaping requirements. The city has a companion design manual – the Vegetation Management Standards (VMS) manual – found here:

- (cityofpuyallup.org → Planning Services → Current Planning (tab) → Vegetation Management Standards (PDF link))
- <https://www.cityofpuyallup.org/DocumentCenter/View/1133/Vegetation-Management-Standards-?bidId=>

Perimeter landscaping requirements:

- The perimeter of all sites shall be landscaped the full depth of the required setbacks for the subject site, or 12 feet, whichever is less
 - Consult PMC 20.26.500 if the subject site is nonresidential in a residential zone area, or abuts a residentially zoned site. A 30' landscape buffer may apply.
 - In no event shall a perimeter landscaping buffer be smaller than six (6) feet. In zone districts where the underlying building setback allows less than 6', a building footprint may project into a landscape yard. However, in no case shall paving areas project into landscape yards.
- Site Specific analysis:

Yard	N/S/E/W or street frontage	Width	Landscape type
Front	North	See PMC 20.30.031	Type II
Rear	South	6'	Type III (Evergreen landscaping encouraged on south side)
Side	West and east	6'	Type III (Evergreen landscaping encouraged on west side)

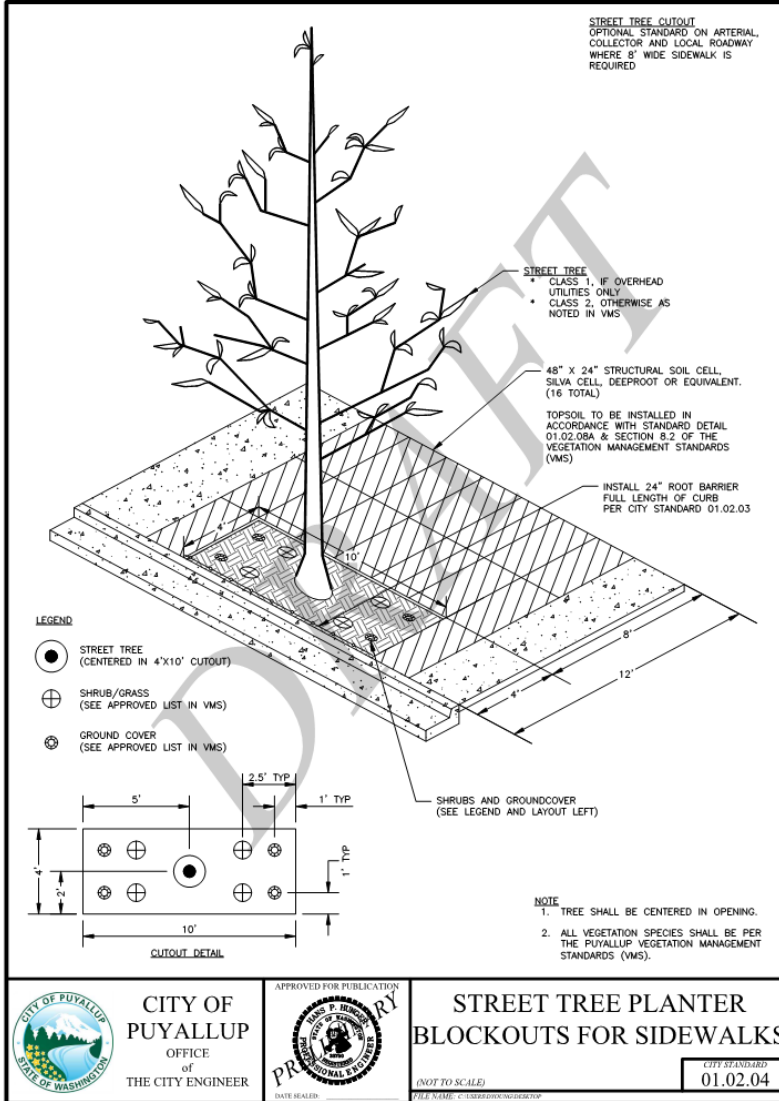
Significant trees

- Existing tree(s) on the site which is larger than 15” in Diameter at Breast Height (DBH) is considered to be a ‘significant tree’ and must be retained, where possible.
 - If your site includes any significant trees, then you must include a tree risk assessment completed by a certified arborist and provided with your land use application.

Street trees:

- Street trees are required, consistent with PMC 11.28 and the VMS; the following detail shall be used for the application of street trees:

DRAFT REVISION DATE: 12/15/2020



- Please provide a landscape plan indicating street trees consistent with the city's requirements as outlined in the Municipal Code (PMC 20.58), the Vegetation Management Standards (VMS) manual and city Public Works standards, found here: <https://www.cityofpuyallup.org/1445/100---Roadway>
 - Standards 01.02.02, 01.02.03, 01.02.04, 01.02.08A

Parking lot landscaping:

- **Applicability:** If the proposed paved areas on site exceed 10,000 square feet, the project landscape architect shall design to the city's parking lot landscaping standards (Type IV standards).
- The site designer and landscape architect will need to review and integrate all the other design requirements of the type IV landscaping standards, including:
 - No more than eight (8) parking spaces shall be placed consecutively without a landscaping island.

- All perimeter landscape islands (defined as islands which project into parking lots from an area connected to a perimeter landscape yard) shall be a minimum of 12' wide with a minimum area of 200 sq ft of area.
- All internal landscape islands (landscape islands entirely surrounded by paving) shall be a minimum of 15' in width with a minimum area of 500 sq ft.
- 'Head-to-head' parking stalls and internal landscape islands shall be separated by a 'connector landscaping strip' a minimum of 6' in width
- All internal landscape islands and connector strips shall include a single row of structural soil cells (EX. Silva cells, or equivalent) along the perimeter of all internal parking lot landscape islands where parking spaces are proposed (under the pavement directly abutting the outer edge of the landscape island, except in drive lanes)
- All 'head-to-head' parking stalls internal to a parking lot shall have internal island 'end caps' to separate the parking stalls from abutting drive aisles. These 'end cap' islands shall follow the requirements for internal islands (size, dimensions, required landscaping, etc.).
- We strongly suggest reviewing these requirements as early as possible to assess and determine costs, parking field layout and configuration of civil utilities as to minimize impacts for consistency with the Type IV standards. The Type IV standards may reduce the overall off-street parking stall count.

Other landscaping standards

- Storm water facilities shall be landscaped in accordance with SLD-02, contained in the VMS.
- The perimeter of all parking areas and associated access drives which abut public rights-of-way shall be screened with on-site landscaping, earth berms, fencing, or a combination thereof.
- All trash containers shall be screened from abutting properties and public rights-of-way by substantial sight-obscuring landscaping. Sight-obscuring fences and walls can be substituted for plant materials
- All portions of a lot not devoted to building, future building, parking, access drives, walks, storage or accessory uses shall be landscaped in a manner consistent with the requirements of this chapter.

ENGINEERING –ANTHONY HULSE, 253-841-5553 AHulse@PuyallupWA.gov

Engineered plans must follow the latest regulations and standards set forth in the Puyallup Municipal Code (PMC), the City Standards for Public Works Engineering and Construction (design standards), and the current City adopted stormwater manual at the time of civil permit application [PMC 21.10.040]. The stormwater design associated with this Development Permit will be reviewed for compliance with the 2014 amended Stormwater Management Manual for Western Washington (DOE manual), which is the current adopted stormwater manual. The comments provided below are project-specific in nature and should not be considered an exhaustive list of the requirements from the PMC, design standards, or the DOE manual.

CIVIL PERMIT APPLICATION

- Civil engineering drawings will be required for this project prior to issuance of the first building permit (The city has transitioned to electronic review. Please reach out to the city permit technicians at PermitCenter@PuyallupWA.gov and they will guide you how to submit). Included within the civil design package will be a utility plan overlaid with the landscape architects landscaping design to ensure that potential conflicts between the two designs have been addressed. **Engineering plans cannot be accepted until Planning Department requirements have been satisfied, including but not limited to, SEPA, Preliminary Site Plan approval, CUP, and/or Hearing Examiner conditions.**
- Civil engineering plan review fee is \$670.00 (plus an additional per hour rate of \$130.00 in excess of 5 hours). The Civil permit shall be \$300.00 and the inspection fee shall be 3% of the total cost of the project as calculated on the Engineering Division Cost Estimate form. [\[City of Puyallup Resolution No. 2098\]](#)
- **Civil Engineering drawings shall conform to the following City standards Sections 1.0 and 2.0:**
 - Engineering plans submitted for review and approval shall be on 24 x 36-inch sheets.
 - Benchmark and monumentation to City of Puyallup datum (NAVD 88) will be required as a part of this project / plat.
 - The scale for design plans shall be indicated directly below the north arrow and shall be only 1"=20' or 1"=30'. The north arrow shall point up or to the right on the plans.
 - Engineering plan sheets shall be numbered sequentially in this manner: Sheet 1 of 20, Sheet 2 of 20, etc. ending in Sheet 20 of 20.
 - All applicable City Standard Notes and Standard Details shall be included on the construction plans for this project. A copy of the City Standards can be found on the City's web site under Office of the City Engineer, Engineering Services.

WATER

Water Within City Service Area:

- The proposed water system shall be designed and constructed to current City standards. [\[PMC 14.02.120\]](#)
- A new water main line shall be extended to, and through, the site sufficient to provide the necessary flows for both the domestic system and fire system. The minimum water pipe size shall be 8-inch diameter. (Exception: A 4-inch water main may be installed if either, 1) the proposed main is a dead-end line with no possibility of being expanded in the future, or; 2) that portion of the proposed main beyond the last fire hydrant for the project.) [\[PMC 14.02.190, 14.20.010 & CS 301.1\(1\)\]](#)
- Applicant shall provide backflow protection on the domestic line with the installation of a double check valve assembly (DCVA), if one does not current exist. A plumbing permit is required for this work to be completed; and the unit should be located outside the building, immediately downstream of the existing water meter if possible. [\[PMC 14.02.220\(3\) & CS 302.2\]](#)
- The domestic service line and fire system service line shall have a separate, independent connection to the supply main. If a separate fire line is to be utilized, a Double Check Valve Assembly (DCVA) will be required near the property line at the point of connection to the public main. The fire sprinkler double detector check valve assembly (DDCVA) may be located either inside, or outside, of the building. The sprinkler supply line shall be designed, and shown on the plan, **into the building** to the point of connection to the interior building riser. Provide plan and elevation detail(s) where the riser enters the building with

dimensions, clearances, and joint restraint in accordance with NFPA 24. A post indicator valve (PIV) shall be provided for the fire sprinkler system in advance of the DDCVA. [PMC 14.02, CS 302.3, & CS 303]

- The applicant shall provide and install the water meters required to service the site. [PMC 14.02.120(f) & CS 301.3]
- The minimum distance between water lines and sewer lines shall be 10-feet horizontally and 18-inches vertically. If this criterion cannot be met, the applicant shall isolate the sewer and water lines by encasement, shielding, or other approved methods. [PMC 14.02.120(f) & CS 301.1(8)]
- Fire hydrants shall be placed as directed by the Puyallup Fire Code Official. Fire hydrants shall be placed so that there is a minimum of 50-feet of separation from hydrants to any building walls. [PMC 16.08.080 & CS 301.2, 302.3]
- Water connection fees and systems development charges are due at the time of building permit issuance and do not vest until time of permit issuance. [PMC 14.02.040, 14.10.030]
- Any existing services that are to be abandoned at this site shall be disconnected at the main, the corp. stop removed, and the service plugged to city standards. [PMC 14.02.120(f)]

SEWER

- The applicant shall connect into the existing public system located within the vacated 4th St NE 8" PVC main or in 2nd Ave NE which appears to be vitrified clay. If a proposed connection is to occur elsewhere, the applicant shall confirm that the system is located within a 40-foot easement dedicated to the City for maintenance purposes [PMC 14.08.070, PMC17.42 & CS 401(14)]
- A separate and independent side sewer will be required from the public main to all building sites for each proposed lot. Side sewers shall be extended from the main 15-feet beyond the property line at the building site and shall be 6-inch minimum diameter with a 0.02 foot per foot slope. [PMC 14.08.110 & CS 401(7)]
- Side sewers shall have a cleanout at the property line, at the building, and every 100 feet between the two points. [PMC 14.08.120 & CS 401(6)]
- The construction of an area drain for the trash enclosure, if proposed, will require the enclosure to be covered to prevent stormwater infiltration into the sewer system.

STORMWATER

- Design shall occur pursuant to the 2012 Stormwater Management Manual for Western Washington as amended in December, 2014 (The 2014 SWMMWW).
- Preliminary feasibility/infeasibility testing for infiltration facilities shall be in accordance with the site analysis requirements of the Ecology Manual, Volume I, Chapter 3, specifically:
 - Groundwater evaluation, either instantaneous (MR1-5) or continuous monitoring well (MR1-9) during the wet weather months (**December 21 through April 1**).
 - Hydraulic conductivity testing:
 - If the development triggers Minimum Requirement #7 (flow control), if the site soils are consolidated, or is encumbered by a critical area a Small Scale Pilot Infiltration Tests (PIT) during the wet weather months (**December 21 through April 1**) is required.

- If the development does not trigger Minimum Requirement #7, is not encumbered by a critical area, and is located on soils unconsolidated by glacial advance, grain size analyses may be substituted for the Small Scale PIT test at the discretion of the review engineer.
- Testing to determine the hydraulic restriction layer.
- The applicant shall include a completed stormwater flowchart, Figure 3.1, contained in Ecology’s Phase II Municipal Stormwater Permit, Appendix I with the stormwater site plan. The link below may be used to obtain the flowchart:

<https://ecology.wa.gov/DOE/files/7a/7a6940d4-db41-4e00-85fe-7d0497102dfd.pdf>
- Public right-of-way runoff shall be detained and treated independently from proposed private stormwater facilities. This shall be accomplished by providing separate publicly maintained storm facilities within a tract or dedicated right-of-way; enlarging the private facilities to account for bypass runoff; or other methods as approved by the City Engineer. [PMC 21.10.190(3)]
- **The following items shall be included at the time of Civil permit submittal:**
 - A **permanent** storm water management plan which meets the design requirements provided by PMC Section 21.10. The plan and accompanying information shall provide sufficient information to evaluate the environmental characteristics of the affected areas, the potential impacts of the proposed development on surface water resources, and the effectiveness and acceptability of measures proposed for managing storm water runoff. The findings, existing and proposed impervious area, facility sizing, and overflow control shall be summarized in a written report. [PMC 21.10.190, 21.10.060]
 - A written technical report that clearly delineates any offsite basins tributary to the project site and includes the following information: [PMC 21.10.060]
 - the quantity of the offsite runoff;
 - the location(s) where the offsite runoff enters the project site;
 - how the offsite runoff will be routed through the project site.
 - the location of proposed retention/detention facilities
 - and, the location of proposed treatment facilities
- All pipe reaches shall be summarized in a Conveyance Table containing the following minimum information and included in the TIR:

Pipe Reach Name	Design Flow (cfs)
Structure Tributary Area	Pipe-Full Flow (cfs)
Pipe Diameter (in)	Water Depth at Design Flow (in)
Pipe Length (ft)	Critical Depth (in)
Pipe Slope (%)	Velocity at Design Flow (fps)
Manning’s Coefficient (n)	Velocity at Pipe-Full Flow (fps)
HGL for each Pipe Reach	Percent full at Design Flow (%)

- In the event that during civil design, there is insufficient room for proposed stormwater facilities in the area(s) shown on the plans, the stormwater area(s) shall be increased as

necessary so the final design will be in compliance with current City Standards. This may result in the number of lots being reduced, or a reduction in other site amenities. [PMC 21.10.060(4), 21.10.150]

- The applicant is responsible for submitting a **preliminary** stormwater management site plan which meets the design requirements provided by PMC Section 21.10 and Ecology Manual Volume I, Section 2.5.1. The preliminary stormwater site plan (PSSP) shall be submitted prior to **Preliminary Site Plan** approval to ensure that adequate stormwater facilities are anticipated prior to development of the individual lot(s). The preliminary stormwater site plan shall reasonably estimate the quantity of roof and driveway stormwater runoff and the application of On-site Stormwater Management BMPs for the proposed development.

FEES

- Water and sewer connection fees and systems development charges are due at the time of building permit issuance and do not vest until time of permit issuance. Fees are increased annually on February 1st. To obtain credit towards water and sewer System Development Fees for existing facilities, the applicant shall provide the City evidence of the existing plumbing fixtures prior to demolition or removal. A written breakdown of the removed fixture types, quantities, and associated fixture units shall accompany the building permit application and be subject to review and approval by the City. [PMC 14.02.040, 14.10.030, PMC 14.02.040]
- Stormwater system development fees are due at the time of civil permit issuance for commercial projects and at the time of building permit issuance for single family or duplex developments and do not vest until time of permit issuance. Fees are increased annually on February 1st. The City will assess the amount of existing credits applied to the project based on how many credits the property is currently being billed for. [PMC 14.26.070]

→Water

- For each building, a water system development charge (SDC) will be assessed based on the number of “residential” units in the facility. Current SDC’s as of this writing are **\$4,020.00** for the first residential unit and **\$3,015.00** for each additional unit per building. [PMC 14.02.040, 14.10.030]

→Sewer

- For each building, a sanitary sewer system development charge (SDC) will be assessed based on the number of “residential” units in the facility. Current SDC’s as of this writing are **\$5,560.00** for the first residential unit and **\$4,170.00** for each additional unit. [PMC 14.10.010, 14.10.030]

→Stormwater

- A Stormwater Systems Development fee will be assessed for each new equivalent service unit (ESU) in accordance with PMC Chapter 14.26. Each ESU is equal to 2,800 square feet of ‘hard’ surface. The current SDC as of this writing is **\$3,360.00** per ESU.

- The city has adopted a City-Wide Traffic Impact Fee. The project's proportionate share to this fee program is collected at \$4,500 per new PM peak hour trip. Traffic Impact Fees shall be paid prior to building permit issuance. Multifamily developments have a PM peak hour trip generation rate of 0.56 trips per dwelling unit per ITE Land Use Code 220, Multifamily Housing (Low-Rise).
- Park impact fees were established by Ordinance 3142 dated July 3, 2017 and shall be charged per new dwelling unit based on its size:

Size of Residential Dwelling	Park Impact Fee (Per residential dwelling Unit)
Less than 500 sqft	\$1,560.05
500 - 999 sqft	\$2,313.53
1,000 – 1,999 sqft	\$3,291.31
2,000 sqft or more	\$4,017.30

- Per Puyallup Municipal Code Section 11.08.130, (if the project exceeds \$150,000 in valuation) the applicant/owner would be expected to construct half-street improvements including curb, gutter, sidewalk, roadway base, pavement, and street lighting. Any existing improvements which are damaged now or during construction, or which do not meet current City Standards, shall be replaced.
- A 30-foot width Commercial Driveway will be required for site access. Refer to City Standard 01.02.16, 01.02.17, or 01.02.18. The driveway can "neck-down" to the required width on site.
- Per City Standard 01.02.12 the minimum driveway spacing on a residential road is 35 feet.

FIRE PREVENTION – DAVID DRAKE, 253-864-4171 DDrake@PuyallupWA.gov

- 26' if over 30'
- The entrances shall meet ladder truck fire apparatus truck turning radiuses and approval of the angle of inclination.
- The fire access road (lane) shall be a minimum of 20', 26' in front of hydrants and 26' if the building is over 30' in height.
- Provide F.D.C, and P.I.V locations to determine code compliance.
- Fire sprinkler system per NFPA 13 is required.
- Fire Hydrants shall be at least 50' from the structure and the FDC supporting the fire sprinkler system shall be no closer than 10' and no greater than 15' from the hydrant.
- A stortz fitting will be required on Fire Hydrant NE 035.
- Fire Alarm system required per NFPA 72 to include "Total Coverage" and U.L. Certification.
- Fire lane striping and No Parking signs will be addressed at Civils.
- Maximum road grade shell be 10%

BUILDING – JANELLE MONTGOMERY, 253-770-3328 jmontgomery@Puyallupwa.gov

- Plans for each building will need to be complete with all building, mechanical, plumbing, energy code items and accessibility requirements that may apply on the plans.

- The truss specs for each building will also be required with the truss engineers' stamps and a layout that matches the submitted plans at the time of submittal.
- The R-2 apartments and "B" occupancies are required to have the infrastructure in place for charging stations 5% per IBC section 429 Washington State amendments and will need to be shown on the plans.
- Apartments will be required to have Type A & B units for accessibility, and this will need to be clearly depicted on the plans.
- Plans will need to be per the newly adopted 2018 WSEC and 2018 I-codes as of February 1, 2018 at the time of a complete submittal.
- The space between buildings see IBC table 602 and section 705.3 for additional information.
- The garage will require separate permit, keep in mind that a portion of them would need to meet accessibility requirements for size and locations and also not affect the setup of the fire department of aerial access and be clear of the fire access requirements for the trucks.

PUYALLUP SCHOOL DISTRICT – BRIAN DEVEREUX, 253-841-8772,
DevereBJ@puyallup.k12.wa.us

- Students from this project are assigned to Stewart Elementary, Kalles JH, and Puyallup HS.
- The project is within the walk area for all three schools. Will traffic engineering support a marked crosswalk be added to the east leg of 2nd Ave NE & 4th St NE to provide for K-6 students crossing the street walking to/from school?
- PSD will look at the number of bedrooms proposed per unit to help determine student generation from this project. Applicant should provide the bedroom count for each unit.
- Applicant may contact Brian Devereux, Director of Facilities Planning, Puyallup School District with any questions related to schools. Office – 253-841-8772 or email deverebj@puyallup.k12.wa.us