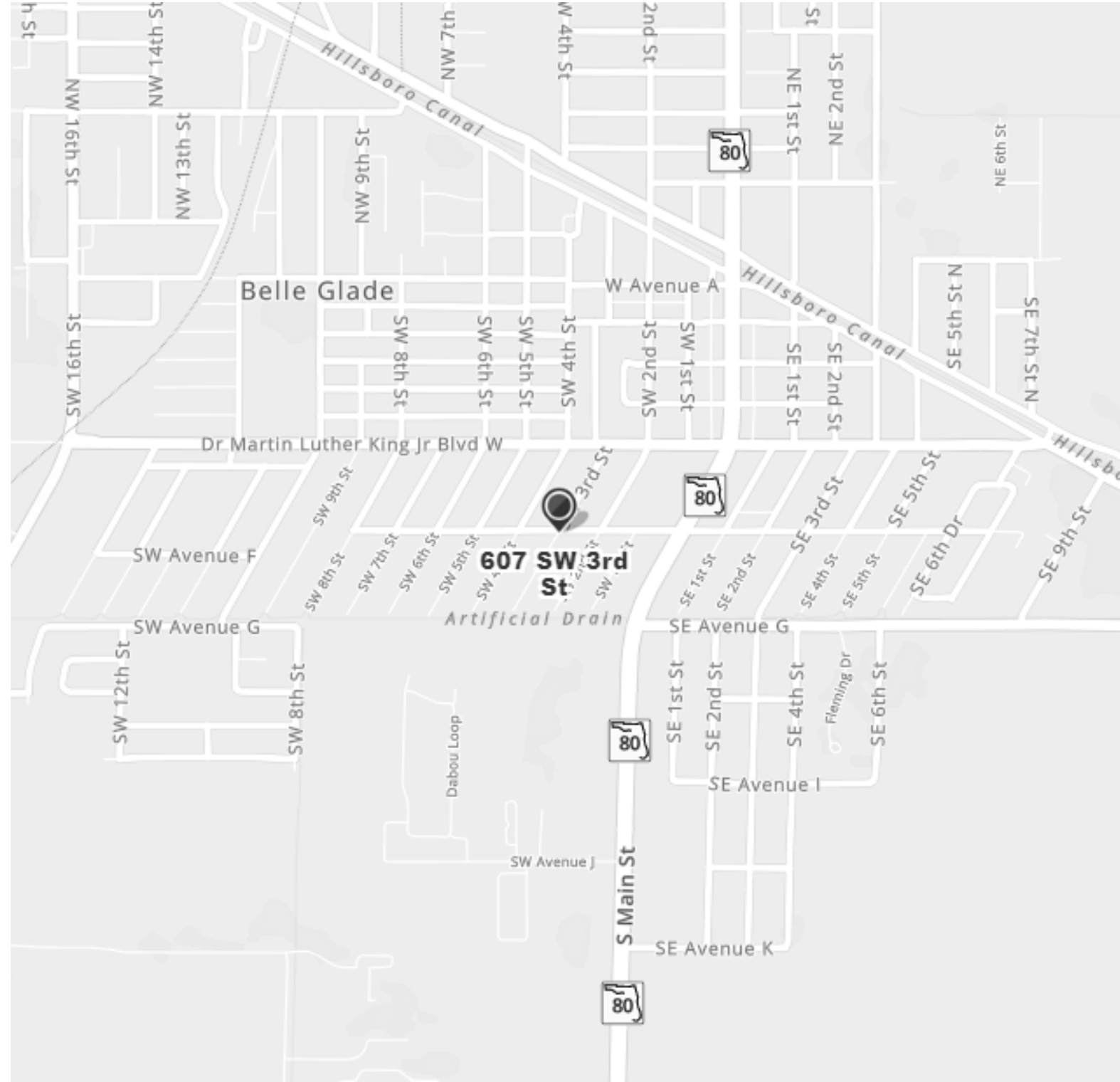


ALL SAINTS FOOD WAREHOUSE



VICINITY MAP

PROJECT TEAM

OWNER:
ALL SAINTS CATHOLIC CHURCH
CARMEN BRYANT
204 6TH AVE SW
PUYALLUP, WA 98371
T: (253) 877-2049
EMAIL: CARMENB@ALLSAINTSPARISH.COM

ARCHITECT:
JENNIFER WEDDERMANN
WEDDERMANN ARCHITECTURE PLLC
CONTACT: SARAH COMMET
2302 A STREET, TACOMA WA 98405
T: (253) 973-6611
EMAIL: SARAH@WEDDERMANN.COM

STRUCTURAL:
TBD

CIVIL:
BEYLER CONSULTING, LLC
LONDON BEYLER
5920 100TH ST SW, SUITE #25
LAKEWOOD, WA 98499
T: (253) 984-2900
EMAIL: LONDON@BEYLERCONSULTING.COM

ELECTRICAL:
CROSS ENGINEERS, INC
BRICE ANDERSON
923 MLK JR. WAY
TACOMA, WA 98405
T: (253) 759-0118
EMAIL: bricea@crossengineers.com

LANDSCAPE:
NATURE BY DESIGN
KATHY OWENS
1320 ALAMEDA AVE, SUITE B
FIRCREST, WA 98466
T: (253) 460-6067
EMAIL: Kathy@naturebydesigninc.com

PROJECT CODE ANALYSIS

APPLICABLE CODES
2018 INTERNATIONAL BUILDING CODE
(including IBC 2015-WSBC Amendments, July 1, 2016, w/IEBC-2015 and ANSI-2009)
2018 INTERNATIONAL MECHANICAL CODE
(including IMC 2015-WSBC Amendments, July 1, 2016, w/IFGC-2015, NFPA-54, NFPA-58)
2018 INTERNATIONAL FIRE CODE
(including IFC 2015-WSBC Amendments, July 1, 2016)
2018 UNIFORM PLUMBING CODE
(including UPC 2015-WSBC Amendments, July 1, 2016)
2017 NATIONAL ELECTRICAL CODE (NFPA 70) - SEE DEPT. OF L & I ADOPTION/ AMENDMENTS
2018 INTERNATIONAL FUEL GAS CODE (WAC 51-50)
2018 WASHINGTON STATE ENERGY CODE (WAC 51-11C)
ICC / ANSI A.117-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
(including IBC 2015-WSBC Amendments, July 1, 2016, w/IEBC-2015 and ANSI-2009)
CITY OF PUYALLUP MUNICIPAL CODE

PROJECT NAME ALL SAINTS FOOD WAREHOUSE
PROJECT DESCRIPTION NEW STORAGE FACILITY FOR ALL SAINTS CHURCH
5,962 SQ FT HEATED SPACE (3,100 SF FIRST FLOOR, 2,862 SF
SECON FLOOR)
BUILDING WILL BE USED FOR FOOD STORAGE, CHURCH
EQUIPMENT STORAGE, AND SCHOOL EQUIPMENT STORAGE
ADDRESS 607 3RD ST SW
JURISDICTION CITY OF PUYALLUP
ZONE RM-20
PARCEL NUMBER 5745300550
SITE AREA 0.30 Acres (13,054 sq. ft.)
IBC OCCUPANCY CLASS S-2
IBC CONSTRUCTION TYPE VB
FIRE SPRINKLER NO
HEIGHT 34.5' (1' PER 1' OF SETBACK FOR FIRST 30', 1 1/2 PER 1' OF
SETBACK UP TO 50') PROPOSED BUILDING HEIGHT = 31'-3 3/4"
SETBACKS FRONT 20'-0"
REAR 20'-0"
SIDE INTERIOR 15'-0"
PARKING PER 20.55.010 1 STALL PER 2,000 SF
(3) PARKING SPACES WITH (1) VAN-ACCESSIBLE BARRIER FREE
LANDSCAPE FULL DEPTH OF REQUIRED SETBACKS OR 12', WHICHEVER IS
LESS
30' LANDSCAPE BUFFER ON NORTH SIDE

DRAWING INDEX

ARCHITECTURAL
A0.0 COVER
A1.00 SITE DEMO
A1.01 SITE PLAN
A2.01 FIRT FLOOR PLAN
A2.02 SECOND FLOOR PLAN
A3.01 EXTERIOR ELEVATIONS
A3.02 EXTERIOR ELEVATIONS
LANDSCAPE
L1 LANDSCAPE PLAN
L2 DETAIL SHEET
L3 IRRIGATION SHEET
ELECTRICAL
E2.0 FIRST FLOOR LIGHTING PLAN
CIVIL
C0.0 COVER SHEET/ SITE PLAN
C1.0 DEMOLITION PLAN
C2.0 TESC PLAN, NOTES, ETAILS
C3.0 GRADING & DRAINAGE PLAN, NOTES, ETAILS
C4.0 ALLEY IMPROVEMENTS
C5.0 UTILITY PLAN

LEGAL DESCRIPTION

Section 28 Township 20 Range 04 Quarter 44
MEEKERS 3RD: MEEKERS 3RD S 7 FT OF L 3, L 4
THRU 7 B 59

GENERAL PROJECT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CONTENT OF THESE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL PREVIEW DESIGN INTENT AS SUBSTANTIATED IN THESE DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ISSUE REQUEST FOR INFORMATION (RFI'S) INQUIRIES TO THE OWNER AND THE ARCHITECT WHERE DESIGN INTENT IS NOT SELF EVIDENT TO ELIMINATE DETRIMENTAL INTERPRETATIONS.
3. IN THE EVENT THE CONTRACTOR FINDS A CONFLICT OR DISCREPANCY WITH THESE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING. SHOULD THE CONTRACTOR PROCEED WITHOUT NOTIFYING THE ARCHITECT OF SUCH CONFLICT, THE CONTRACTOR SHALL BE PROCEEDING AT THEIR OWN RISK & ASSOCIATED LIABILITY.
4. THESE DRAWINGS SERVE TO REPRESENT DESIGN INTENT AS DIRECTED BY THE OWNER & COMPLIANT WITH GOVERNING JURISDICTIONAL LAW. IN NO WAY SHALL THESE DRAWINGS SERVE TO DICTATE METHODS OF CONSTRUCTION RELATIVE TO ADHERENCE TO EITHER. IT IS THE CONTRACTOR'S & OWNER'S RESPONSIBILITY TO WORK WITHIN THE PARAMETERS OF THE AGENCY APPROVED DOCUMENTS TO MAINTAIN THE INTEGRITY OF THE DESIGN INTENT AND AGENCY COMPLIANCE.
5. GENERAL CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE WSEC REQUIREMENTS AND MEET ANY AND ALL REQUIREMENTS FOR COMPLETING A PROPERLY INSULATED AND SEALED SHELL (WHERE APPLICABLE). THIS INCLUDES MEETING WSEC REQUIREMENTS FOR LIMITING AIR INFILTRATION.



1 STREET PERSEPCTIVE

WEDDERMANN

ARCHITECTURE
JENNIFER WEDDERMANN, AIA, LEED AP
2302 A STREET
TACOMA, WA 98405
(253)-973-6611
JENNIFER@WEDDERMANN.COM

PROJECT

ALL SAINTS
Food Warehouse
607 3rd St SW
Puyallup, WA 98371

REVISIONS

Rev# Date Description

INFO

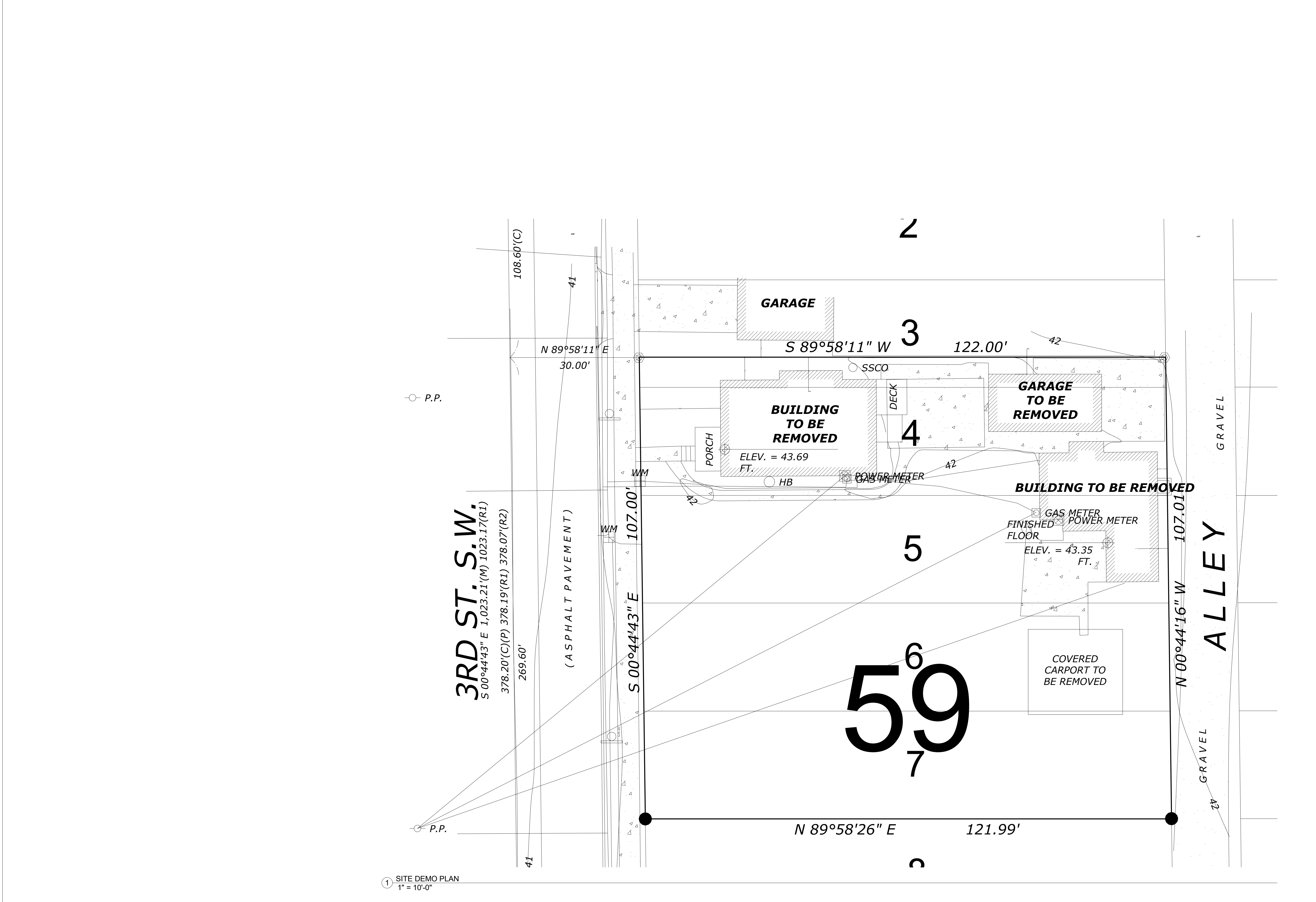
11-13-20
1869A
ALL SAINTS
FOOD
WAREHOUSE
7/13/2022 10:12:44 AM

SHEET NAME

COVER
CONDITIONAL USE PERMIT SET

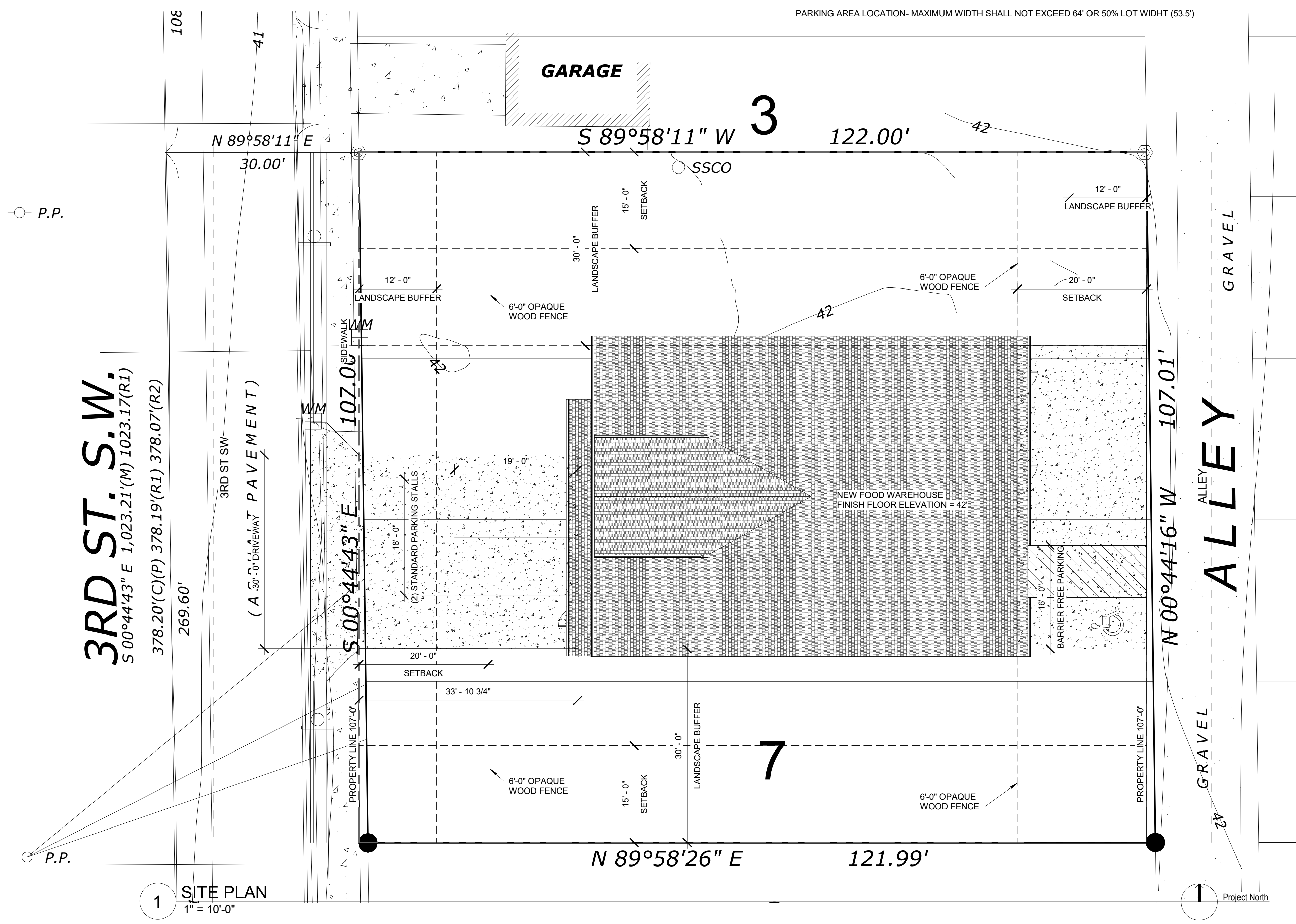
SHEET NO.

A0.0



① SITE DEMO PLAN
1" = 10'-0"

SHEET NAME	SITE DEMO	INFO	REVISIONS	PROJECT	WEDDERMANN
	CONDITIONAL USE PERMIT SET				
SHEET NO.	A1.00	11-13-20 1989A ALL SAINTS FOOD WAREHOUSE	ALL SAINTS Food Warehouse 607 3rd St SW Puyallup, WA 98371	ALL SAINTS Food Warehouse 607 3rd St SW Puyallup, WA 98371	ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM



1 SITE PLAN
1" = 10'-0"

CODE SUMMARY

MAXIMUM BUILDING HEIGHT = 34.5' (1' PER 1' OF SETBACK FOR FIRST 30', 1 1/2' PER 1' OF SETBACK UP TO 50')
 PROPOSED BUILDING HEIGHT = 31'-3 3/4"

SETBACKS:
 FRONT - 20'
 REAR - 20'
 SIDE - 15'

LANDSCAPE BUFFERS:
 FRONT - 12'
 REAR - 12'
 SIDES - 30'

BUILDING AREA = 5,926 SF
 FIRST FLOOR = 3,098 SF
 SECOND FLOOR = 2,828 SF

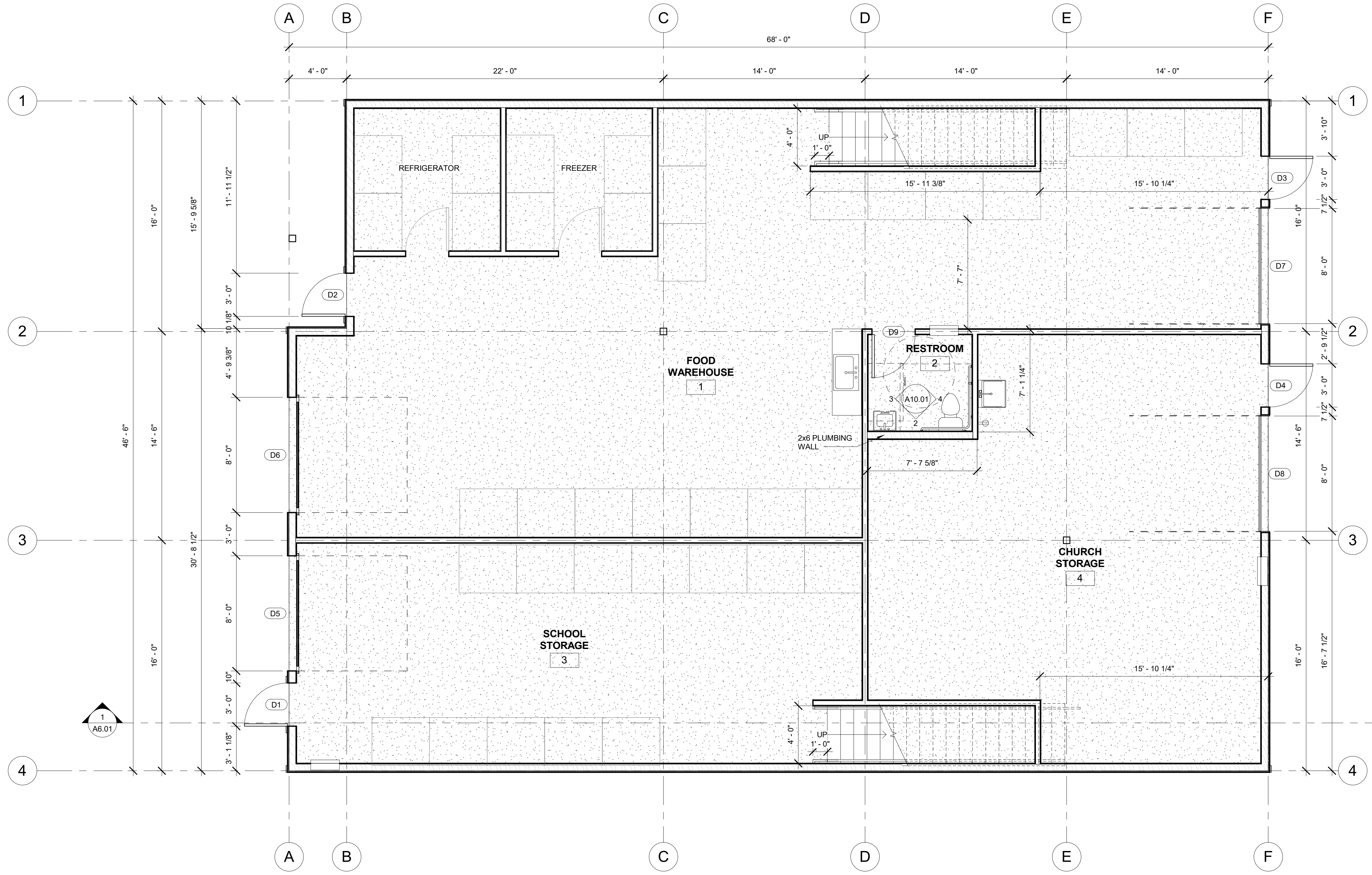
PARKING REQUIRED = 1 STALL PER 2,000 SQ FT BUILDING AREA = 3 STALLS REQUIRED

PARKING PROVIDED = 3 STALLS
 (2) STANDARD PARKING STALLS
 (1) BARRIER-FREE PARKING STALL

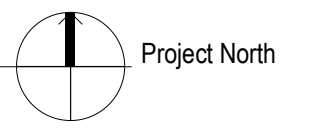
DESIGN REVIEW
 FRONT YARD (FRONT OF BUILDING) - ZONE TRANSITION STANDARDS PMC 20.26.500 (2) (a) ASSIMILATE RESIDENTIAL ARCHITECTURE
 REAR YARD - NON RESIDENTIAL DESIGN REVIEW STANDARDS 20.26.300
 WALL PLANE - NO WALL PLANE VISIBLE FROM ANY PUBLIC RIGHT-OF-WAY SHALL BE WIDER THAN TWO AND ONE HALF THE HEIGHT OF THE WALL PLANE. [(31'-3 3/4" HEIGHT)(2 1/2) = 78'-3 3/8" MAX WALL PLANE]
 HORIZONTAL MODULATION - THE MAXIMUM ALLOWABLE HORIZONTAL LENGTH OF A BUILDING BETWEEN MODULATIONS IS 100'
 ROOFLINE MODULATION - NONE (ROOF DOES NOT EXCEED 50' IN LENGTH)
 BUILDING WALL AND FACADE ARTICULATION - THERE ARE NO PORTIONS OF WALL GREATER THAN 400 SQ FT IN AREA WHICH DO NOT CONTAIN DOORS OR WINDOWS.
 SIDES - NONE

PARKING AREA LOCATION - MAXIMUM WIDTH SHALL NOT EXCEED 64' OR 50% LOT WIDTH (53.5')

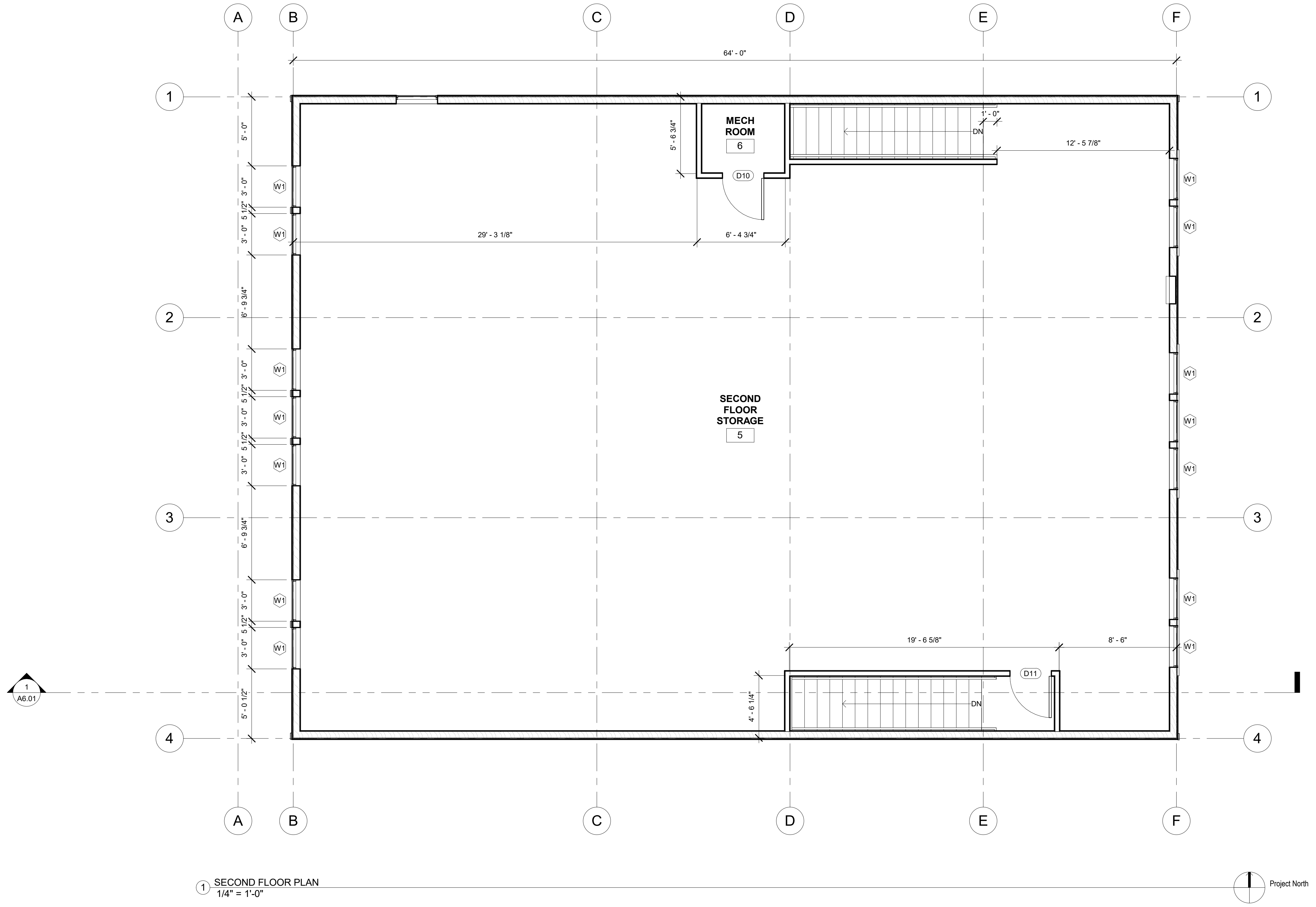
SHEET NAME	SITE PLAN	INFO	11-13-20	Rev#	Date	Description	REVISIONS	PROJECT	ALL SAINTS	WEDDERMANN ARCHITECTURE
	SITE PLAN		1889A			ALL SAINTS FOOD WAREHOUSE			Food Warehouse	
SHEET NO.	CONDITIONAL USE PERMIT SET									JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM
	A1.01									



1 FIRST FLOOR PLAN
1/4" = 1'-0"

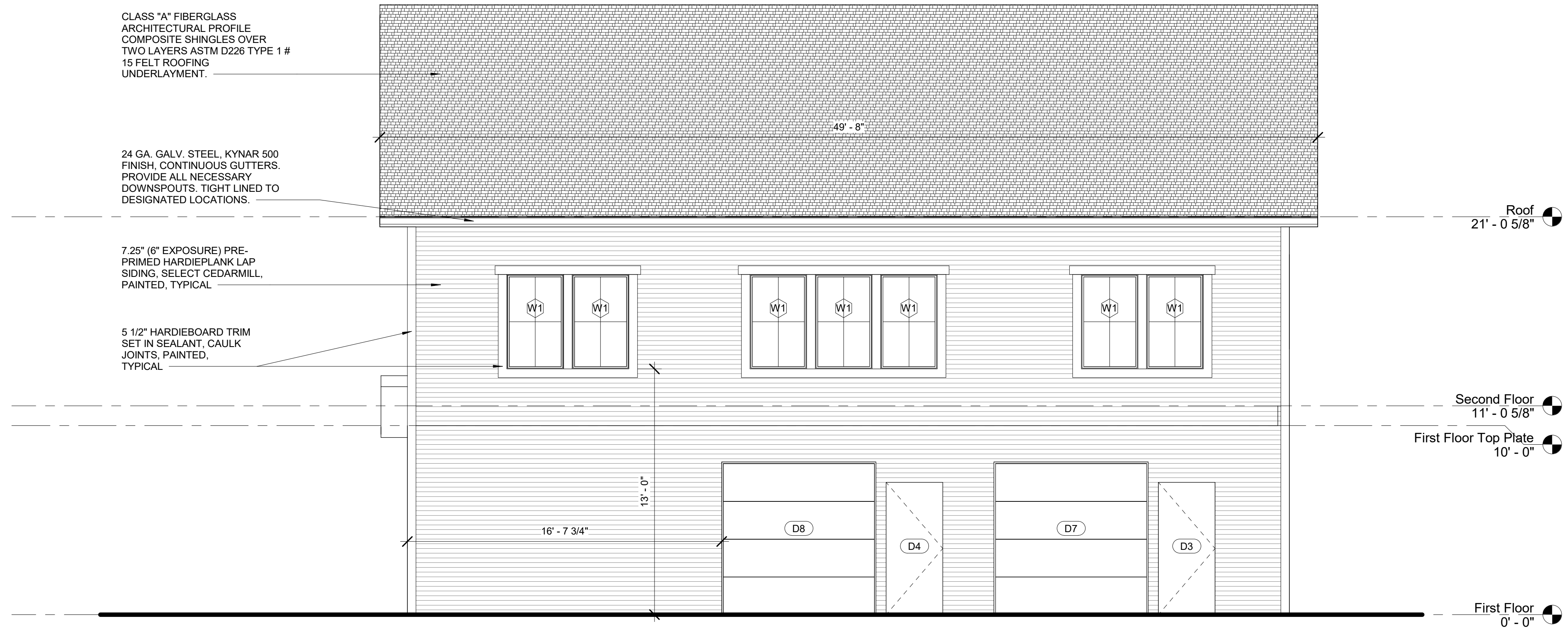


SHEET NAME	FIRST FLOOR PLAN	PROJECT	ALL SAINTS Food Warehouse	REVISIONS	11-13-20	1889A	INFO	11-13-20	1889A	PROJECT	ALL SAINTS Food Warehouse	WEDDERMANN ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM
	CONDITIONAL USE PERMIT SET		ALL SAINTS FOOD WAREHOUSE		7/13/2022 10:12:49 AM	7/13/2022 10:12:49 AM		607 3rd St SW Puyallup, WA 98371				
SHEET NO.	A2.01											



1 SECOND FLOOR PLAN
1/4" = 1'-0"

SHEET NAME	SECOND FLOOR PLAN	INFO	11-13-20	Rev#	Date	Description	REVISIONS	PROJECT	WEDDERMANN ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM
	CONDITIONAL USE PERMIT SET		1889A			ALL SAINTS Food Warehouse 607 3rd St SW Puyallup, WA 98371			
SHEET NO.		A2.02							



2 EAST ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

DESIGN REVIEW

FRONT YARD (FRONT OF BUILDING) - ZONE TRANSITION STANDARDS PMC 20.26.500 (2) (a) ASSIMILATE RESIDENTIAL ARCHITECTURE

REAR YARD - NON RESIDENTIAL DESIGN REVIEW STANDARDS 20.26.300

WALL PLANE - NO WALL PLANE VISIBLE FROM ANY PUBLIC RIGHT OF WAY SHALL BE WIDER THAN TOW AND ONE HALF THE HEIGHT OF THE WALL PLANE. $[(31'-3 \frac{3}{4}" \text{ HEIGHT}) / (2 \frac{1}{2})] = 78'-3 \frac{3}{8}" \text{ MAX WALL PLANE}$

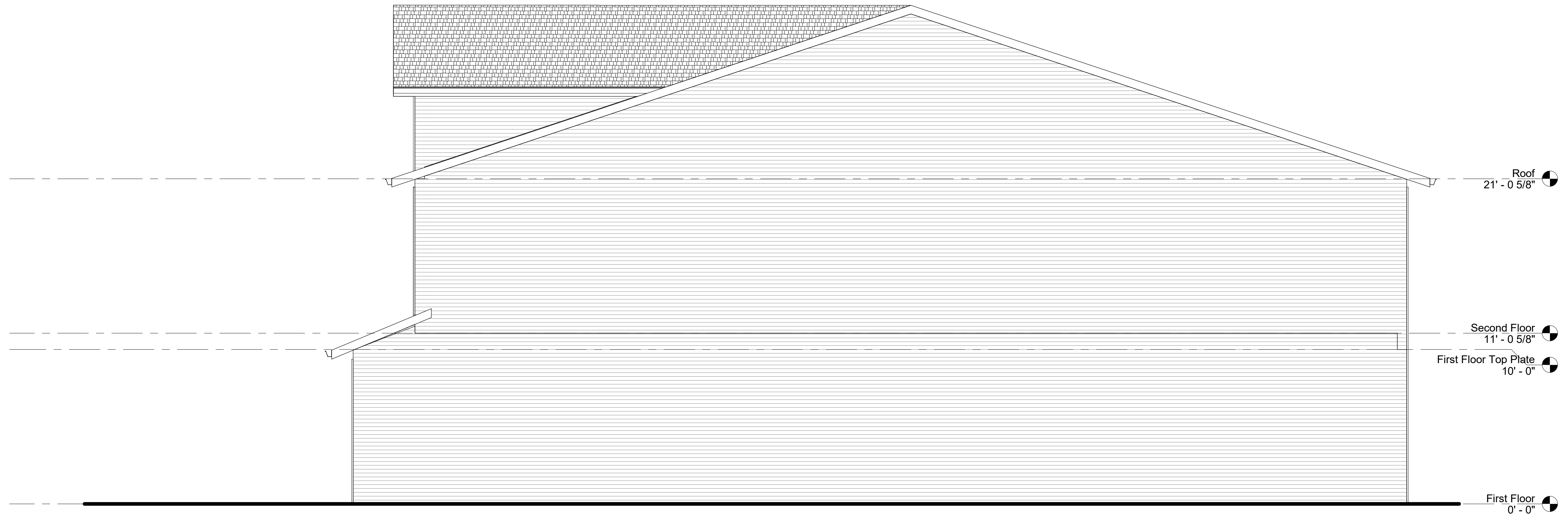
HORIZONTAL MODULATION - THE MAXIMUM ALLOWABLE HORIZONTAL LENGTH OF A BUILDING BETWEEN MODULATIONS IS 100'

ROOFLINE MODULATION - NONE (ROOF DOES NOT EXCEED 50' IN LENGTH)

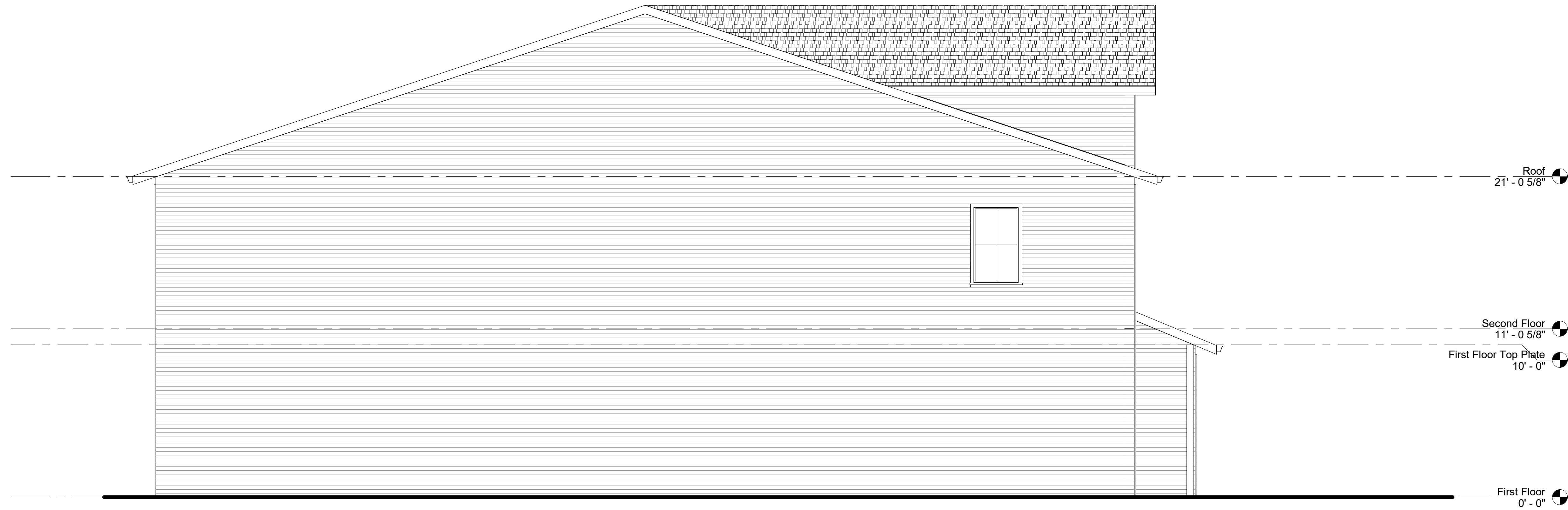
BUILDING WALL AND FACADE ARTICULATION - THERE ARE NO PORTIONS OF WALL GREATER THAN 400 SQ FT IN AREA WHICH DO NOT CONTAIN DOORS OR WINDOWS

PARKING AREA LOCATION - MAXIMUM WIDTH SHALL NOT EXCEED 64' OR 50% THE LOT WIDTH (53.5')

WEDDERMANN ARCHITECTURE JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM	PROJECT ALL SAINTS Food Warehouse 607 3rd St SW Puyallup, WA 98371	REVISIONS	11-13-20	1889A	1	06-15	Rev 1
			11-13-20	1889A	1	06-15	Rev 1
SHEET NAME EXTERIOR ELEVATIONS	INFO	REVISIONS	11-13-20	1889A	1	06-15	Rev 1
SHEET NO. A3.01	CONDITIONAL USE PERMIT SET	REVISIONS	11-13-20	1889A	1	06-15	Rev 1



2 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

WEDDERMANN
ARCHITECTURE
JENNIFER WEDDERMANN, AIA, LEED AP
2302 A STREET
TACOMA, WA 98405
(253)-973-6611
JENNIFER@WEDDERMANN.COM

PROJECT
ALL SAINTS
Food Warehouse
607 3rd St SW
Puyallup, WA 98371

INFO	Revisions												
<table border="1"> <thead> <tr> <th>Start Date</th> <th>Project Number</th> <th>File Name</th> <th>Rev#</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>11-13-20</td> <td>1869A</td> <td>ALL SAINTS FOOD WAREHOUSE</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	Start Date	Project Number	File Name	Rev#	Date	Description	11-13-20	1869A	ALL SAINTS FOOD WAREHOUSE				
Start Date	Project Number	File Name	Rev#	Date	Description								
11-13-20	1869A	ALL SAINTS FOOD WAREHOUSE											

SHEET NAME
EXTERIOR ELEVATIONS
CONDITIONAL USE PERMIT SET

SHEET NO.
A3.02

PROJECT:
ALL SAINTS FOOD WAREHOUSE
607 3RD ST SW
PUYALLUP, WA 98371

REVISIONS:
C. REVISED PER AGENCY COMMENTS

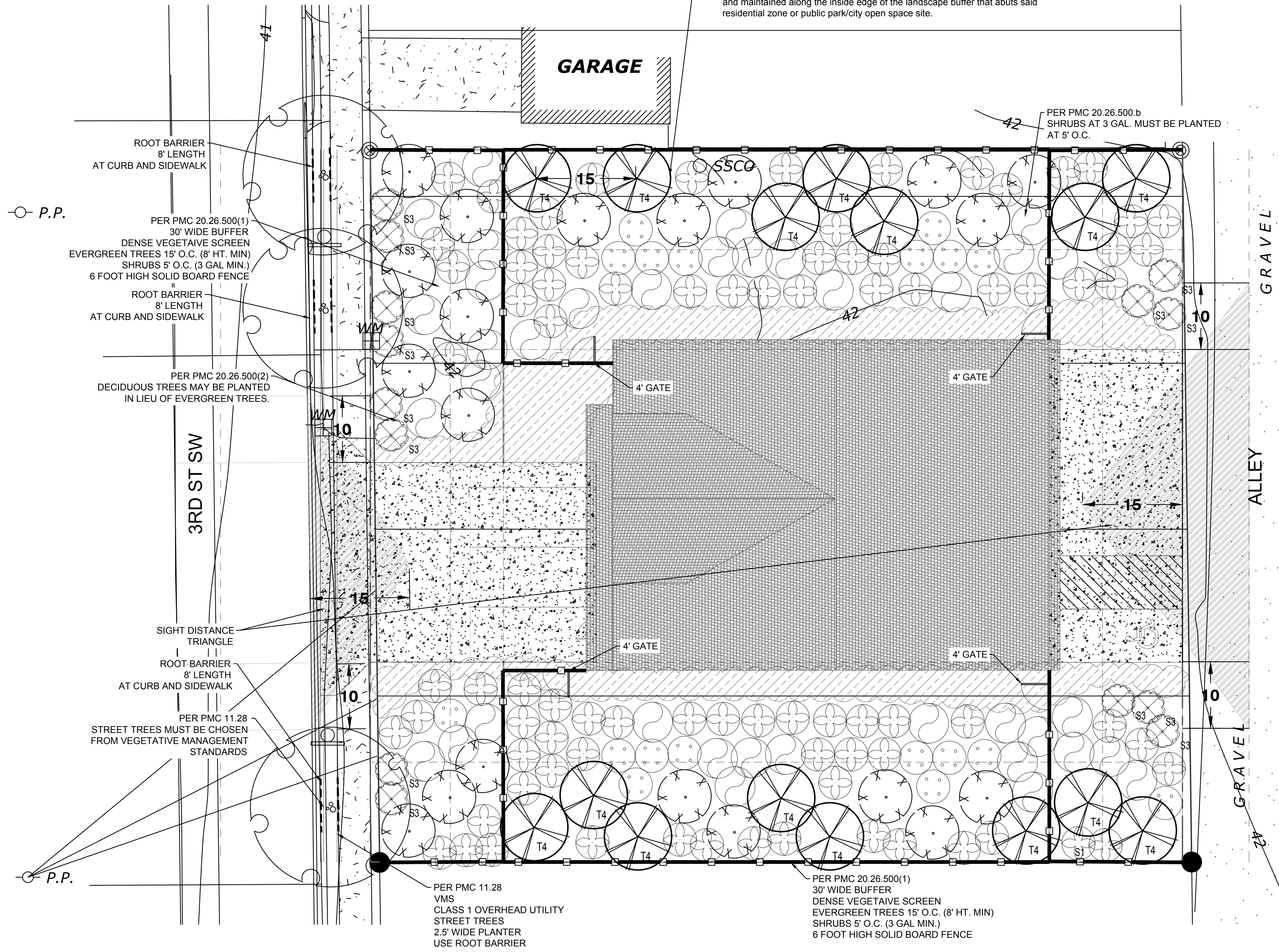
DRAWING ISSUED FOR:
AGENCY REVIEW
DATE: FEBRUARY 14, 2022

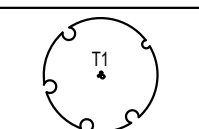
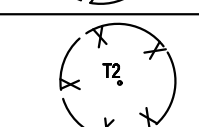
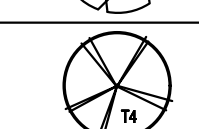
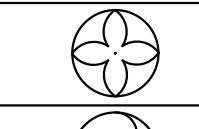
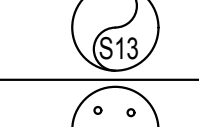
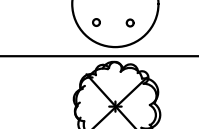

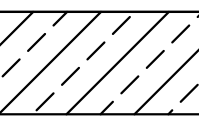


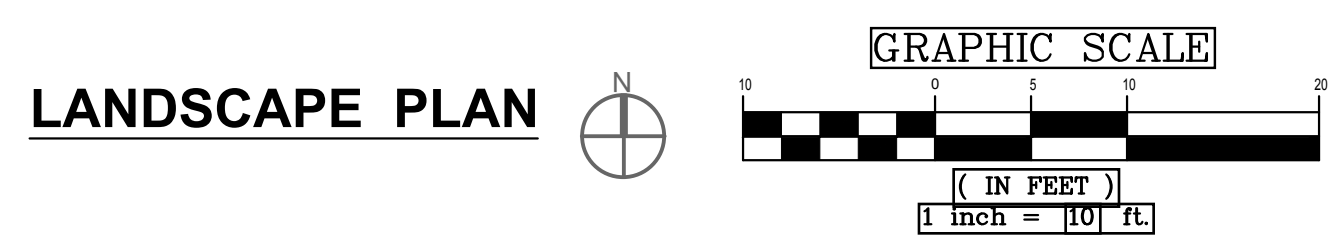
PROJECT NO: 2182
FILE NAME: 2182LSC
DRAWN BY: KLO
CHECKED BY: KLO
X-REFS: CIVIL
PLOT SCALE: 1:1
DRAWING SCALES: 1:10

DRAWING CONTENTS
LANDSCAPE PLAN
DRAWING NO.: **L1**
1 OF 3

PER PMC 20.26.500.a, b and c
ZONE TRANSITION
EVERGREEN TREES MUST BE
PLANTED 8' HT MIN. AT 15' O.C.
(a) Evergreen trees that are at least eight feet tall at planting, spaced no more than 15 feet on center, and placed in a triangular pattern (having three equal sides, except in 15-foot-wide buffers) to resemble a natural growth pattern and to give depth and density to the screening. For added interest and variation, deciduous trees may be mixed with evergreen trees, provided the required number of evergreen trees are installed and spaced in a manner that will provide required screening.
(b) Understory shrubs (at least three-gallon container size) spaced no more than five feet on center, or sufficiently sized and spaced to assure full screening between required trees up to a height of six feet within three years (as determined by a professional landscape architect and as approved by the director). A variety of shrubs may be used, provided they are of a type and species that will provide vertical height and horizontal fullness for screening purposes (e.g., photinia frasier, arborvitae, huckleberry, tall Oregon grape).
(c) A six-foot-high masonry wall or wood opaque fence shall be established and maintained along the inside edge of the landscape buffer that abuts said residential zone or public park/city open space site.



PLANT SCHEDULE			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer circinnatum Vine Maple	2' Cal. Min.	3
	Pinus contorta Shore Pine	8' Ht. Min. Full / Compact	20
	Thuja plicata 'Green Giant' Green Giant Cedar	8' Ht. Min. Full / Compact	15
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	Mahonia aquifolium Oregon Grape	3 gal.	84
	Myrica californica Pacific Wax Myrtle	3 gal.	37
	Ribes sanguineum Red Flowering Currant	3 gal.	18
	Symphoricarpos albus Common White Snowberry	3 gal.	14
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	QTY
	Fragaria chiloensis Beach Strawberry	1 GAL. AT 18" OC TRIANGULAR SPACING	2,294 sf



CITY OF PUYALLUP
Planning Division
Approved Landscape Plan
(253) 864-4165

Staff: _____
Date: _____

THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING MANAGER, DESIGNER, OR PROJECT MANAGER.
NOTE: If street trees are required, Call Planning Division for final inspection: (253) 864-4165 (Option 3) Root Barriers are required around street trees in accordance with city standard detail. Top soil shall be installed in accordance with city standards - field verification required. Failure to install top soil and root barriers in accordance with city standards may result in rejection of installation.



GENERAL LANDSCAPE NOTES

1. Contractor is responsible for obtaining all necessary permits from the appropriate agency prior to commencing work. Contractor shall contact Line Locators (811) a min. of 48 hours prior to any digging or trenching. If there are any discrepancies with existing lines and landscaping, it is the contractor's responsibility to contact the landscape architect and request a site visit to address the conflicts. Contractor shall comply and conform to any and all local and state codes for work, schedules and any other project related requirements.

2. Contractor shall coordinate directly with the landscape architect for all landscape related issues, concerns, inspections and approvals. Contractor shall provide the landscape architect with a written request for a site visit to address any related items.

3. Scope of work shall include any and all specified and unspecified but related incidental work to achieve the design indicated on the landscape plans. All labor, materials, subcontractors, equipment, and related incidental items shall be supplied and installed to achieve a complete project, unless directed otherwise by the general contractor or landscape architect.

4. Contractor to verify all sub grades are set below required amendments to insure the finished grade will match what is intended by civil or drainage design. All sub grades and finished or final grades shall be graded to drain to the designed drainage system with positive drainage away from all structures.

5. Grade Preparation BASED ON VEGETATIVE MANGAGEMENT STANDARDS REQUIREMENTS:

a. Slopes used for grass plantings or turf shall be less than 3:1 or 33 percent. Otherwise plantings should not require mechanized mowing equipment.

Soil Preparation.

a. Excavate soil - Excavate existing soil to a depth of 24" (or equal to the root ball depth, whichever is greater) and width of 8' (or three times (3X) wider than the root ball or root mass, whichever is greater). Stockpile excavated soil on a tarp away from the street and storm water catch basins.

b. Prepare the planting strip - After excavating all materials from the planter strip, scarify and rip the sub-base (by mechanical means or hand tools) to a depth of 6" with multiple passes, 90 degrees to each Prior to planting the tree, re-compact the tree base where the street tree will be planted to avoid setting of the root ball. At this stage, if the tree is to be planted when the planter strip is backfilled with amended top soil, the contractor/installer should measure the depth of the root ball to determine when to place the tree in the pit during the backfilling process. If the root ball or root mass (in the case of bare root trees) is less than 24", the street tree shall be planted in a manner in which the root flare is level with or at least 1" above grade at the time of finished planting. This may require the root ball be placed on a compacted sub-base of the compost amended top soil as backfilling is occurring.

c. Install root barrier panels - at this stage the contractor/installer shall place 24" deep root barrier panels (UB-24) along the edge of the sidewalk and curb line for a total of eight feet (8') of linear protection along either side of the planting area. The panels shall be installed perpendicular to the edge of paved surface in accordance with the manufacturer's standards for a "linear" application; the root barrier panels shall not be installed in the planting pit as a "surround" application, unless specified on the final landscape plans. The top of the root barrier panel shall be installed such that 1/2" of the root barrier is above the finished grade.

d. Compost amended top soils required - The top soil shall be amended on site during installation with compost to achieve a 40 percent by volume top soil mix in the right-of-way planter strip. Imported top soil may be used by the contractor/installer if data "cut sheets" are available from the supplier certifying compost amendment equaling 40 percent by volume using one of the approved compost sources below. Compost shall only be sourced from:

Cascade Compost - (also known as PREPILRI) (available through Pierce County Recycling, Composting & Disposal, 10308 Sales Road, Tacoma, Washington 98499, or retail/wholesale landscape material suppliers)

Tagro Compost Mix - available through City of Tacoma, 2201 Portland Avenue, Gate 6, Tacoma, WA, 98421, or retail/wholesale landscape material suppliers)

Cedar Grove Compost - (available through Cedar Grove Compost, 17825 Cedar Grove Road S.E., Maple Valley, 98038, or retail/wholesale landscape material suppliers)

e. Install and amend top soils - To avoid stratified layers, first place seven inches (7") of approved top soil in the prepared/scarified planting strip area and mechanically till in five inches (5") of approved compost; follow this procedure twice to achieve the total 24" top soil depth. Finished grade of top soil should be 1/2" below the edge of sidewalk to allow the root barrier panel to be properly installed above finished grade.

f. Install tree stakes and finish mulch - Placement of four inches (4") of wood chip mulch, water basin rings, tree staking and temporary irrigation bags (where required) shall follow city standard #01.02.07.

2. Mulching of Newly Planted or Replanted Areas.

In a planter strip which already exists and a new street tree shall be installed, the following procedures shall be followed to achieve a top soil mix with 40 percent compost by volume

a. Mulches must be applied to the following depths: a minimum 4 (four) inches over bare soil, and two inches where plant materials will cover.

b. Mulches must include organic materials, organic compost mulch material or wood chips over a properly cleaned, amended and graded surface.

c. Nonporous materials, such as plastic sheeting, shall not be used in any area of the landscape because of down-slope erosion and potential soil contamination from herbicide washing.

d. Mulch should be applied regularly to and maintained in all planting areas to assist soils in retaining moisture, reducing weed growth, and minimizing erosion.

7. Contractor shall field layout all plant material and contact the landscape architect for a site visit to approve the layout. Any field modifications shall be done by the landscape architect prior to planting.

8. Contractor shall immediately notify the landscape architect of any poor drainage condition in landscape areas. No standing water shall be permitted in any landscape areas - either on the surface or below the topsoil. The landscape architect shall coordinate the drainage solution with the general contractor and civil engineer. Once the concerns have been remedied planting shall commence.

9. All groundcover to be planted in a triangular spacing formation, equal in all directions to the centers of the groundcovers in distances indicated in the legend. Contractor shall verify all quantities of groundcovers by area calculations and spacing requirements.

10. Landscaping is to be per plan. Plant substitutions due to availability or otherwise will be allowed only with landscape architect, owner and agency approval. Any substitutions will be with material of similar size, growth characteristics, and quality.

11. All trees must be staked as necessary so as to maintain material in a healthy, vigorous growing condition.

12. Landscaping shall be installed in a professional workmanlike manner that is consistent and accepted throughout the industry. All landscape and irrigation work shall be performed by experienced persons familiar with scope of project.

13. All landscape material and labor is to be guaranteed for a period of one full year from the time of completion.

14. When planting 'Balled and Burlapped' product, remove all burlap, string & wire from any B&B plant material, cut and remove jute strings. Gently place in tact Rootball into planting pit. If rootball breaks or is not solid - the plant is unacceptable and shall be replaced.

15. Street trees shall have caliper size of at least 1" measure per American Association of Nurserymen Standards for Deciduous Trees Plant sizes: 5' Minimum height for Evergreen trees; 2 Gal. Min. for shrubs.

16. Street trees shall be high branching with canopy that starts at least 6' above finish grade.

17. All plant I.D. tags are to remain on the plant material until final inspection has been completed. Once approved all plant I.D. tags shall be removed and discarded appropriately.

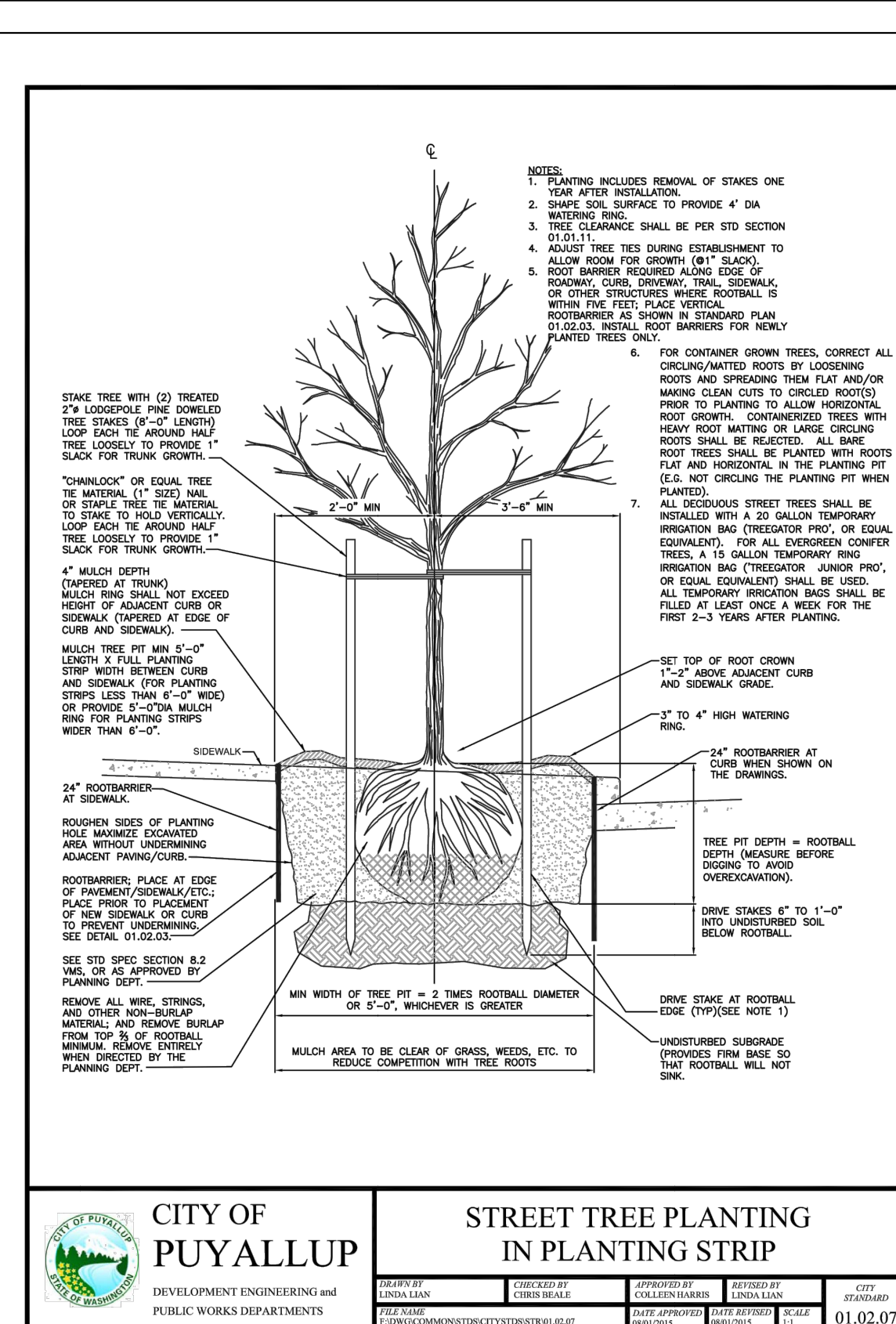
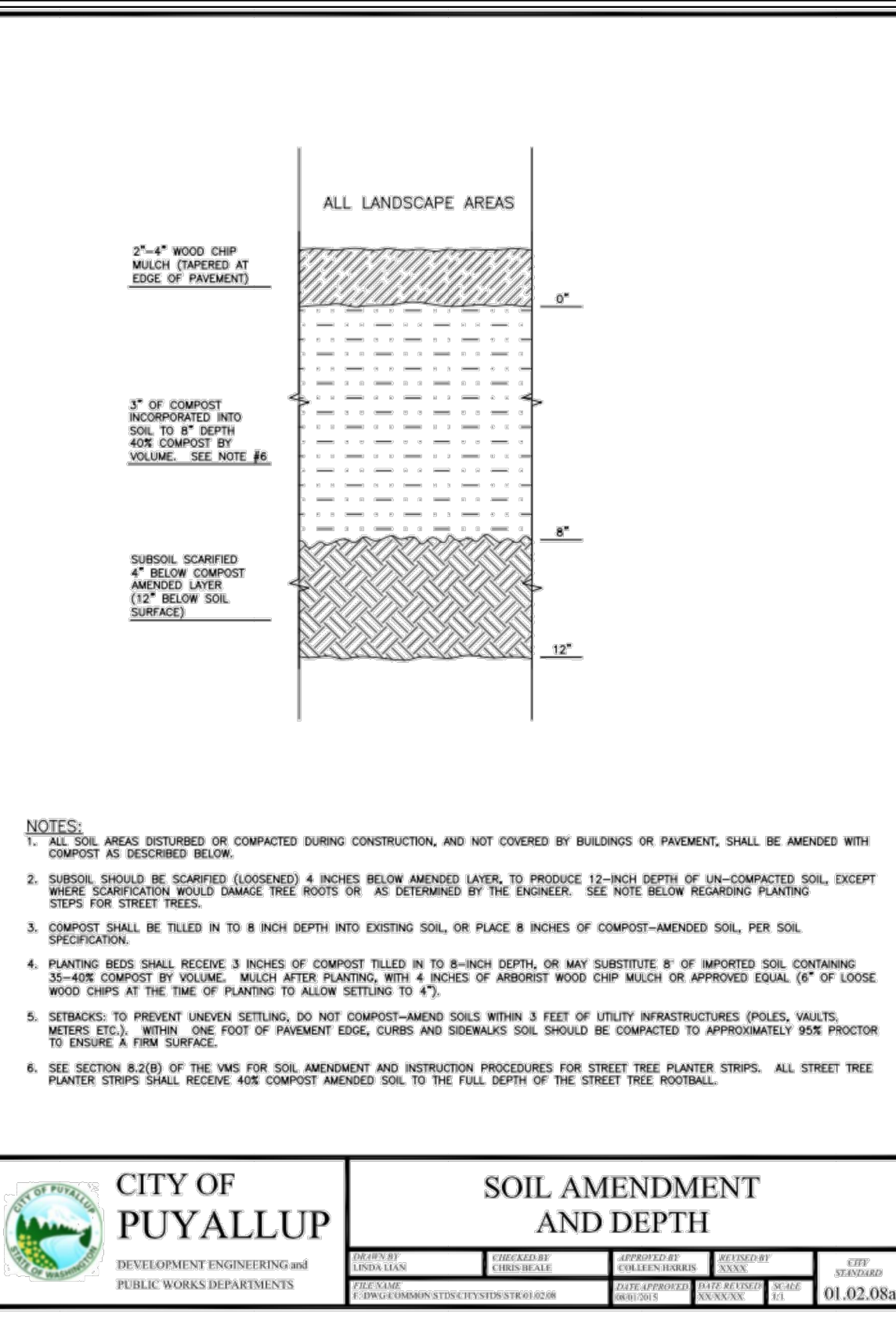
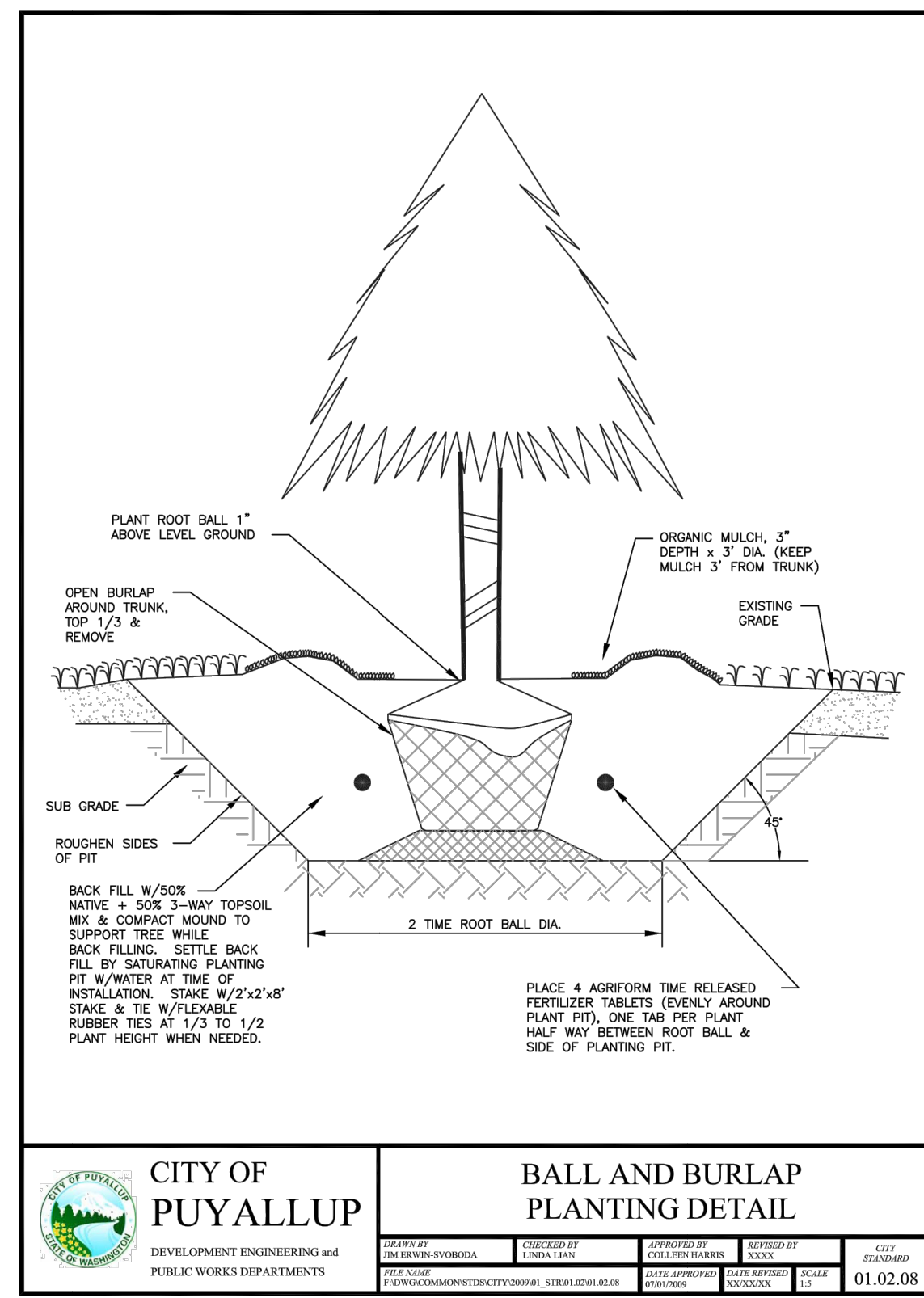
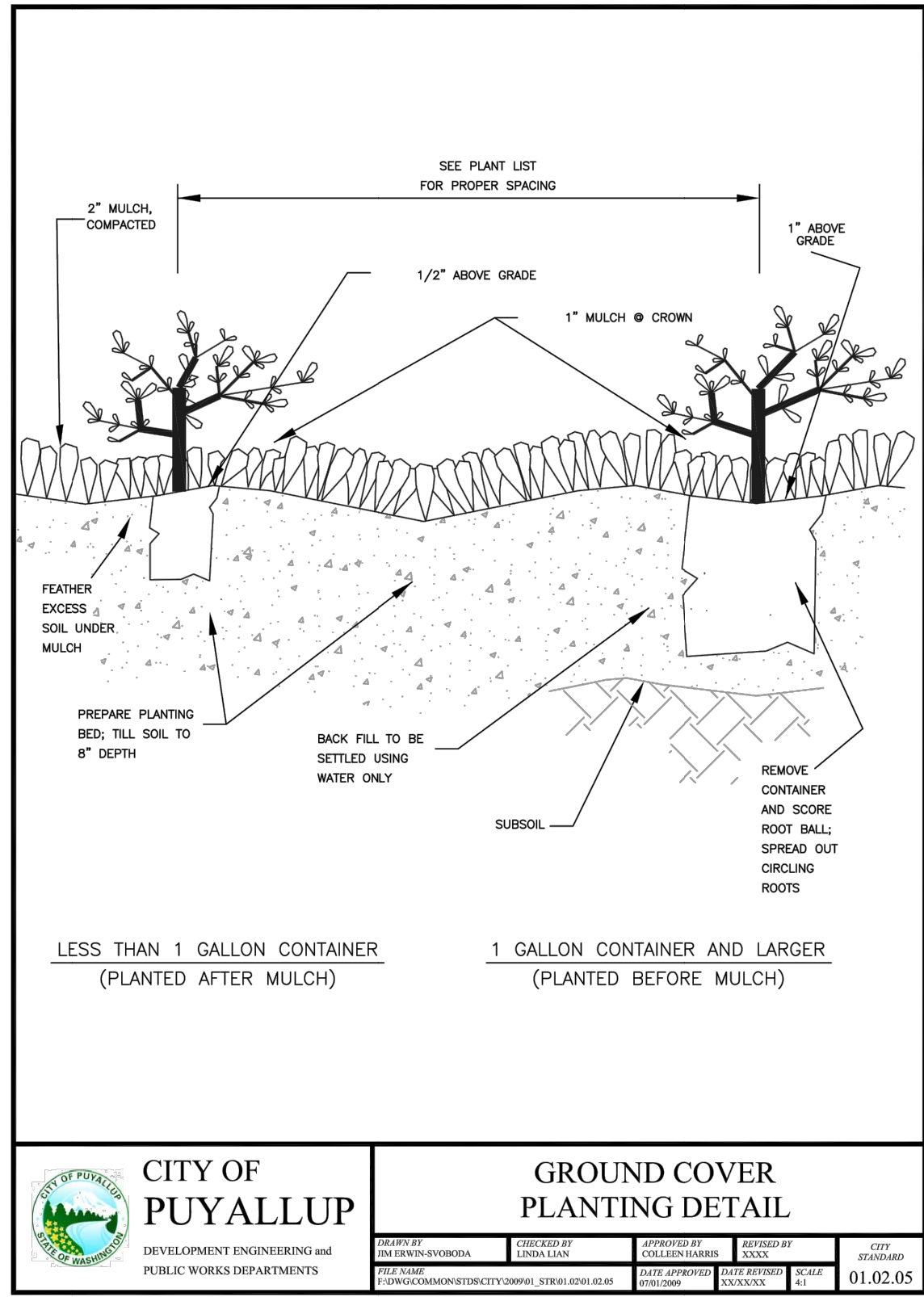
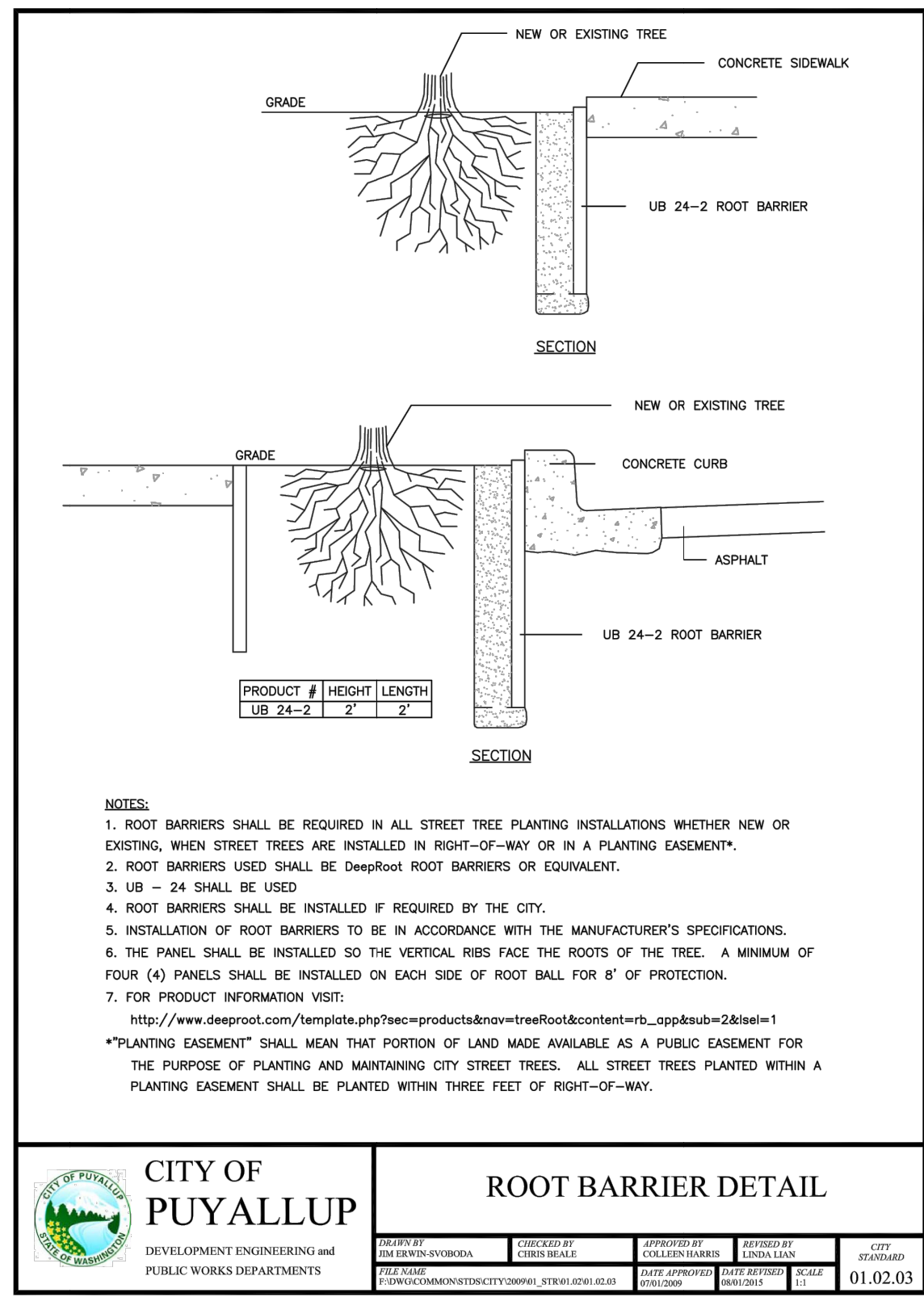
18. Trees shall be cared for in accordance with the American National Standards Institute (ANSI) standard practices for trees, shrubs and other woody plant maintenance (ANSI 300) in order to allow them to reach their mature height and form.

19. Pruning of street trees shall be performed per the ANSI 300 standards so as to maintain the natural form of the tree, encourage vigorous growth to a mature spread and height, and avoid weakening the tree to create a hazard. Street trees shall not be topped, pollarded, or otherwise pruned in a manner contrary to these goals, unless there is no practicable alternative that would preserve essential utility services.

20. Plant material selected is drought tolerant or native species. The project proponent shall be responsible for maintaining and watering all plant material throughout the first growing season and in times of drought. A Permanent Irrigation system will be designed upon approval of preliminary landscape plan.

21. All landscaping strips and islands internal to the site as paved areas/parking lots shall be designed and installed using a minimum of 1.5 (18) of top soil depth; Subsoils below the topsoil layer shall be scarified at least 6 inches with some incorporation of the upper material to avoid stratified layers.

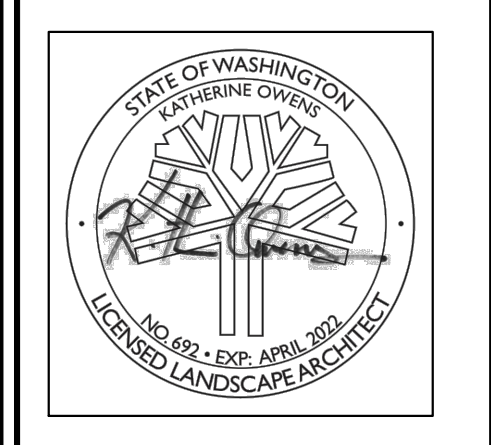
22. A minimum of eight (8) inches of top soil, containing ten percent dry weight in planting beds, and 5% organic mater content in turf areas, and a pH from 6.0 to 8.0 or matching the pH of the original undisturbed soil. The topsoil layer shall have a minimum depth of eight (8) inches except where tree roots limit the depth of incorporation of amendments needed to meet the criteria. Subsoils below the topsoil layer should be scarified at least six (6) inches with some incorporation of the upper material to avoid the stratified layers, where feasible. Installation of the eight (8) inches of top soil, as described above, shall generally be achieved by placing five (5) (sub-base scarified four (4) inches) with a three (3) inch layer of compost tilled into the entire depth.



PROJECT: ALL SAINTS FOOD WAREHOUSE
607 3RD ST SW
PUYALLUP, WA 98371

REVISIONS:
C. REVISED PER AGENCY COMMENTS

DRAWING ISSUED FOR:
AGENCY REVIEW
DATE: FEBRUARY 14, 2022



PROJECT NO: 2182
FILE NAME: 2182LSC
DRAWN BY: KLO
CHECKED BY: KLO
X-REFS: CIVIL
PLOT SCALE: 1:1
DRAWING SCALES: NTS

DRAWING CONTENTS
DETAIL SHEET
DRAWING NO.: L2
2 OF 3



CITY OF PUYALLUP
Planning Division
Approved Landscape Plan
(253) 864-4165

Staff: _____
Date: _____

THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING MANAGER, DESIGNER, OR PROJECT PLANNER.

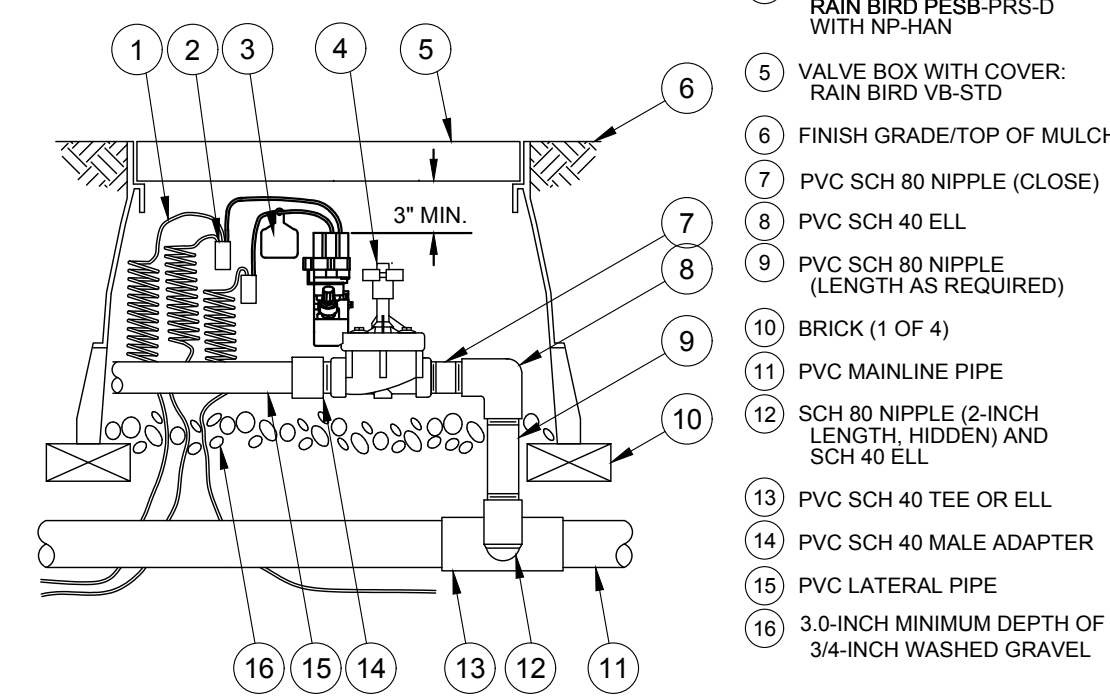
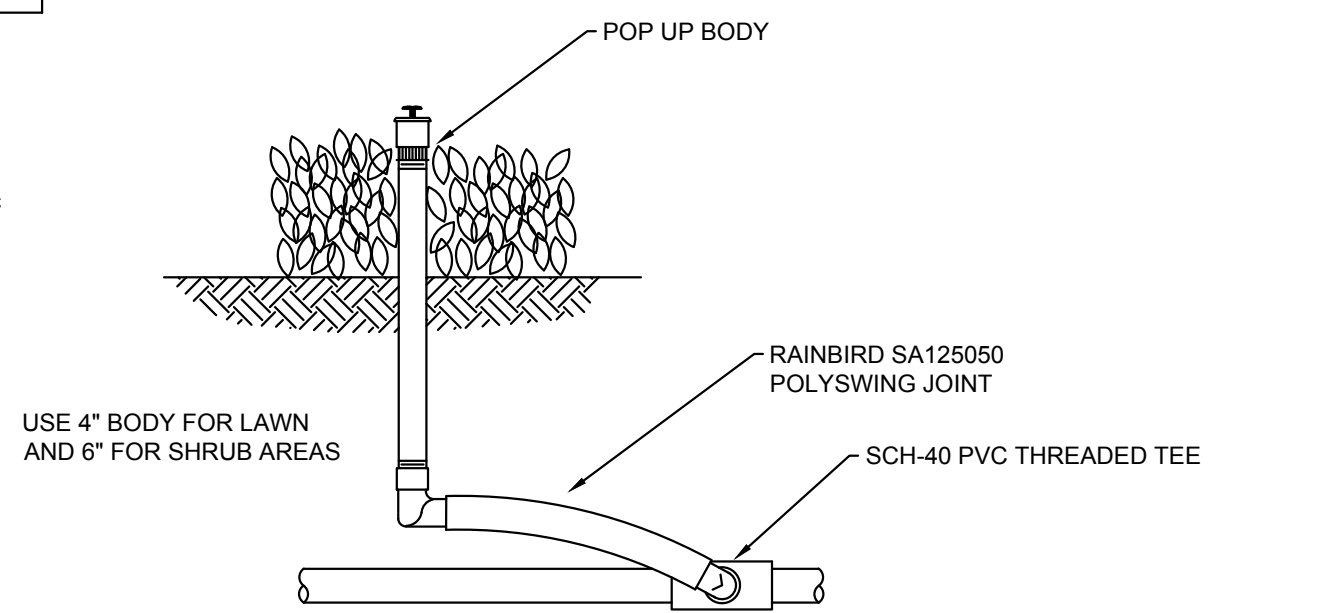
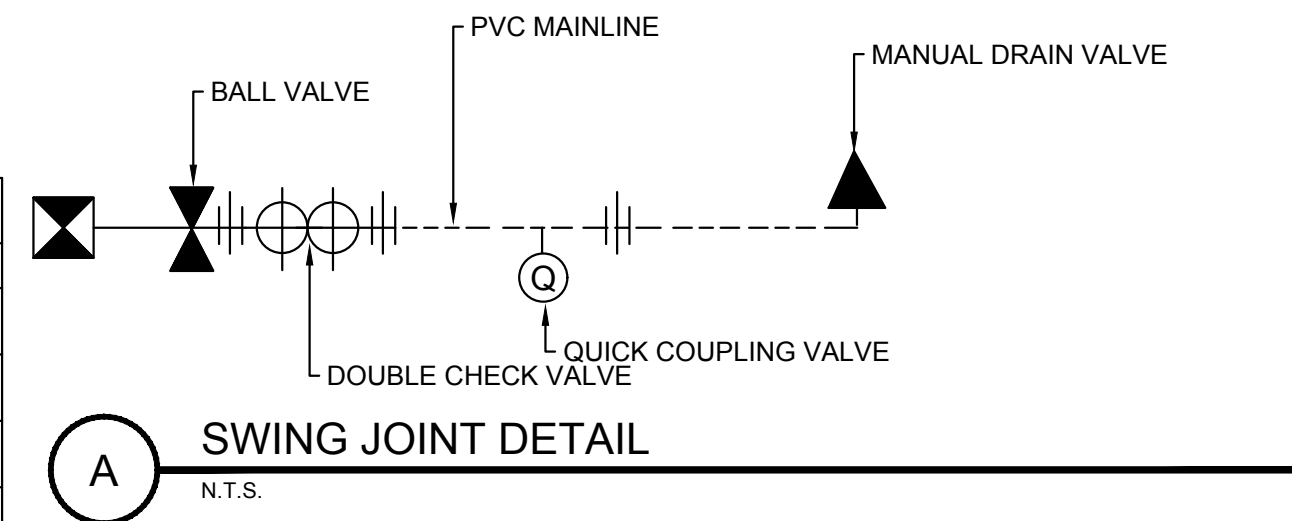
NOTE: If street trees are required, Call Planning Division for final inspection: (253) 864-4165 (Option 3) Root Barriers are required around street trees in accordance with city standard detail. Top soil shall be installed in accordance with city standards - field verification required. Failure to install top soil and root barriers in accordance with city standards may result in rejection of installation.

EQUIPMENT LEGEND				
CATALOG NUMBER	SYMBOL	DESCRIPTION	PSI	RADIUS
1806 PRS 10 MPR NOZZLE	●	HUNTER POP UP SPRAY HEAD	40	10'
1806 PRS 15 MPR NOZZLE	○	HUNTER POP UP SPRAY HEAD	40	14'
1806 PRS 30 MPR NOZZLE	⊙	HUNTER POP UP SPRAY HEAD	40	16'
100 BBVTFHAM	⊗	HAMMOND FULL PORT BRASS BALL VALVE		
850 1.00"	⊕	FEBCO DOUBLE CHECK VALVE ASSEMBLY		
HQ 44 LRC 1.00"	⊗	HUNTER QUICK COUPLING VALVE W/ MATCHING KEY		
75 SV 0.75"	▲	LAWN LIFE MANUAL DRAIN VALVE		
100 PEB	⊙	RAINBIRD AUTO CONTROL VALVE		
12 BCB 17"x30"x18"	NONE	NPS BACKFLOW BOX W/ BOLT DOWN LID		
113 BC 14"x19"x12"	NONE	NPS CONTROL VALVE BOX W/ LID		
111 BC 9"x12"	NONE	NPS MANUAL DRAIN BOX W/ LID		
MINI CLICK	■	HUNTER AUTO RAIN CENSOR		
SCH 40	---	SOLVENT WELD PVC MAINLINE, SIZE AS SHOWN		
CL 200	---	SOLVENT WELD PVC LATERAL, SIZE AS SHOWN		
SCH 40	----	SOLVENT WELD PVC SLEEVING, SIZE AS SHOWN		
14 1 UF	NONE	DIRECT BURY CONTROL WIRE, USE WHITE AS		
	NONE	COMMON RED SIGNAL AND YELLOW AS SPARES		

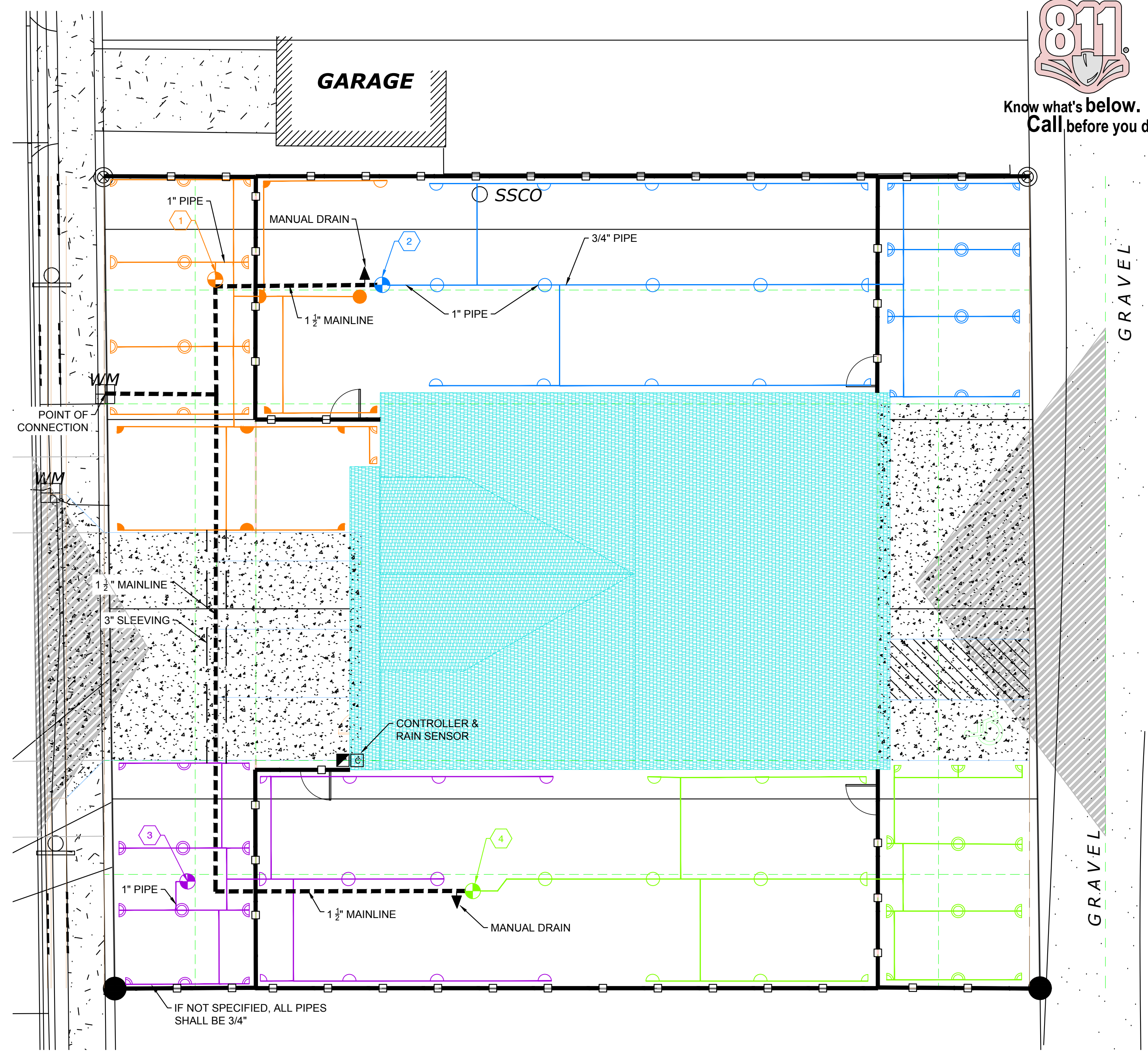
Valve Schedule		
No.	G.P.M.	AREA TYPE
1	12.26	SHRUB MULTI STREAM SPRINKLER
2	12.56	SHRUB MULTI STREAM SPRINKLER
3	10.04	SHRUB MULTI STREAM SPRINKLER
4	10.04	SHRUB MULTI STREAM SPRINKLER

Project Notes:

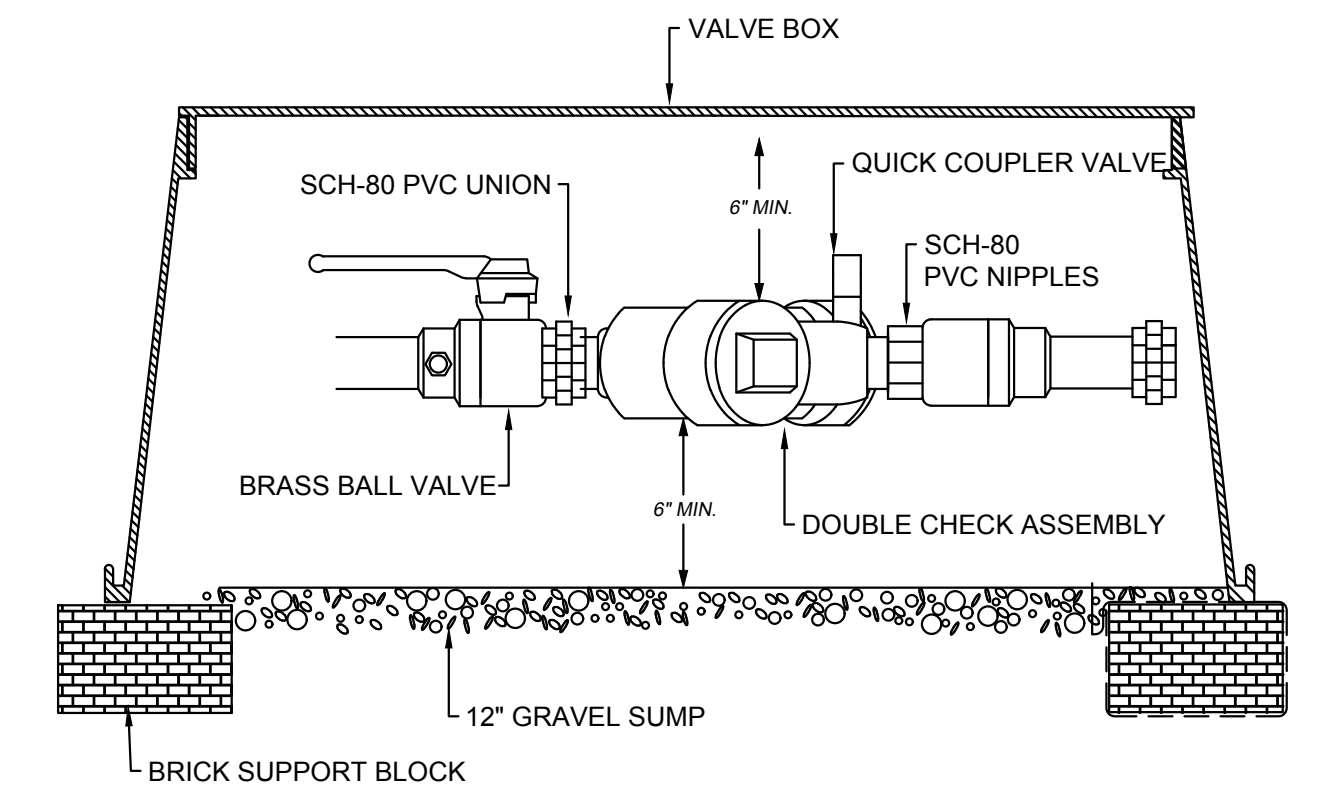
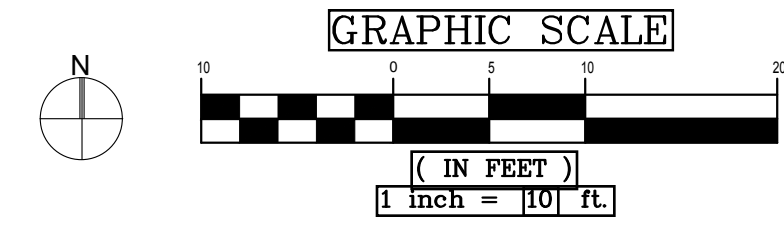
- Irrigation engineering design based on a dedicated 5/8" x 3/4" irrigation serviced water meter with 55.0 lbs static water pressure. Verify prior to installation.
- Install all equipment per State, County and City of Puyallup Water Department.
- Call for utility locates prior to excavation.
- Provide 18" of cover for the main line, control wiring and all sleeving. Provide 12" for all lateral piping.
- Prior to backfill of trenches, the main line shall be pressure tested at 100.0 lbs for (1) one hour with 0 loss. The completed test report is to be turned over to the Landscape Architect.
- Backfill material is to be rock free native soil or clean sand.
- Install equipment as per details shown.
- From the controller draw (2) two spare yellow wires to each control valve No. 2 & 4. All control valve boxes shall have the yellow wires visible inside.
- Wire splices shall be completed within the valve boxes only using 3M-DBY splice kits. Do not splice the red wire between the control valve and controller.
- All control valves shall be marked using plastic valve tags. Number valves as per the plan.
- Adjust all sprinkler head arc and radius to conform within the landscape areas to minimize water on hard surfaces.
- Upon completion of the backflow assembly installation, it shall be certified by a State licensed BAT. The certification form shall be turned into the City of Puyallup Water Department.
- The installer shall provide an exact as-built drawing of the installed system.
- As a part of the contract, the installer shall perform one each for the project. (1) system winterization and (1) Spring Start-Up. The Spring Start-Up shall include a complete system review to ensure that it is operating correctly. Adjustments and repairs will fall within the warranty contract.



- 30-INCH LINEAR LENGTH OF WIRE, COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- REMOTE CONTROL VALVE: RAIN BIRD PESB-PRS-D WITH NP-HAN
- VALVE BOX WITH COVER: RAIN BIRD VB-STD
- FINISH GRADE/TOP OF MULCH
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN AND SCH 40 ELL)
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC LATERAL PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



IRRIGATION PLAN



CITY OF PUYALLUP
Planning Division
Approved Landscape Plan
(253) 864-4165

Staff: _____

Date: _____

THIS APPROVAL IS VOID AFTER 180 DAYS FROM APPROVAL DATE. THE CITY WILL NOT BE RESPONSIBLE FOR ERRORS AND/OR OMISSIONS ON THESE PLANS. FIELD CONDITIONS MAY DICTATE CHANGES TO THESE PLANS AS DETERMINED BY THE PLANNING MANAGER, DESIGNER, OR PROJECT PLANNER.

NOTE: If street trees are required, Call Planning Division for final inspection: (253) 864-4165 (Option 3) Root Barriers are required around street trees in accordance with city standard detail. Top soil shall be installed in accordance with city standards - field verification required. Failure to install top soil and root barriers in accordance with city standards may result in rejection of installation.

Nature By Design
Landscape Architecture

1320 Alameda Avenue, Suite B, Everett, WA 98201
www.naturebydesigninc.com
253.460.6067

PROJECT:

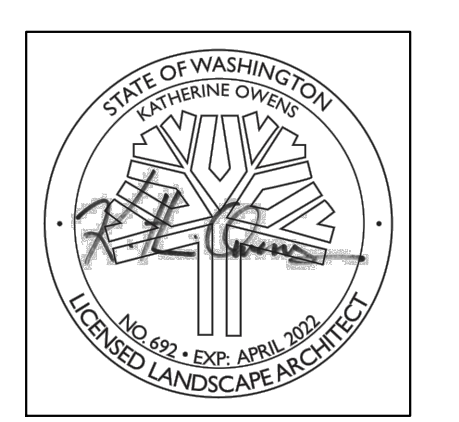
ALL SAINTS FOOD WAREHOUSE
607 3RD ST SW
PUYALLUP, WA 98371

REVISIONS:

C. REVISED PER AGENCY COMMENTS

DRAWING ISSUED FOR:
AGENCY REVIEW

DATE: FEBRUARY 14, 2022



PROJECT NO: 2182
FILE NAME: 2182LSC
DRAWN BY: KLO
CHECKED BY: KLO
X-REFS: CIVIL
PLOT SCALE: 1:10
DRAWING SCALES: 1:10

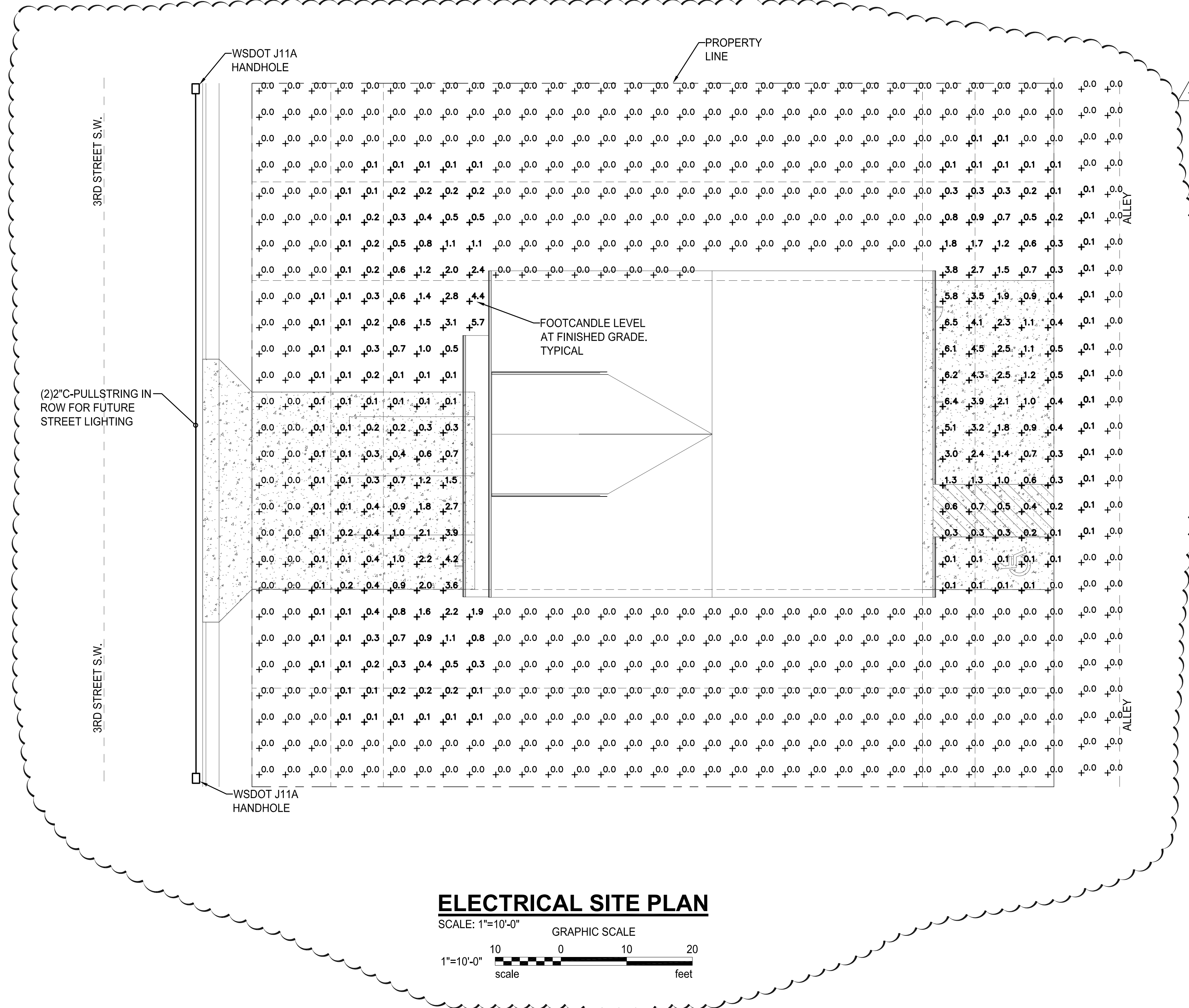
DRAWING CONTENTS

IRRIGATION PLAN

DRAWING NO.:

L3

3 OF 3



ELECTRICAL SITE PLAN
 SCALE: 1"=10'-0"
 GRAPHIC SCALE
 1"=10'-0" scale 10 0 10 20 feet

GENERAL NOTES:

1. CONTRACTOR SHALL TAKE OUT AN ELECTRICAL PERMIT AND INSTALL ALL ELECTRICAL EQUIPMENT PER NATIONAL ELECTRICAL CODE AND LOCAL CODES.

CROSS ENGINEERS, INC
 923 MLK Jr. Way
 Tacoma, WA 98405
 info@crossengineers.com
 Phone: (253) 759-0118
 Job Number: 21-108
 1/14/22

SHEET NAME	ELECTRICAL SITE PLAN	INFO	11-12-21 1869A ALL SAINTS FOOD WAREHOUSE 6/17/2021 4:45:46 PM	REVISIONS	PROJECT	ALL SAINTS Food Warehouse 607 3rd St SW Puyallup, WA 98371
	CONSTRUCTION SET		Rev# Date Description 1 2-14-22 CITY COMMENTS			
SHEET NO.	E1.0	JENNIFER WEDDERMANN, AIA, LEED AP 2302 A STREET TACOMA, WA 98405 (253)-973-6611 JENNIFER@WEDDERMANN.COM				

SECTION 28, TOWNSHIP 20N, RANGE 04E, W.M.

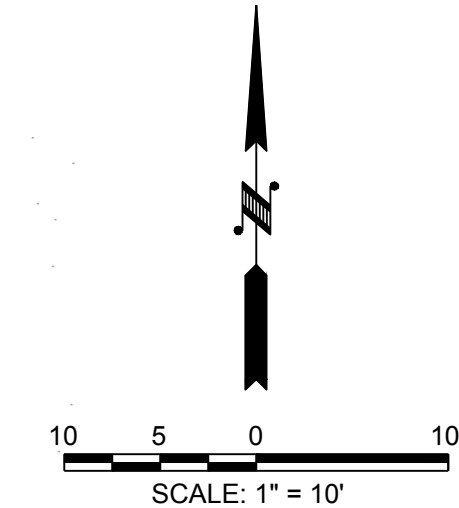
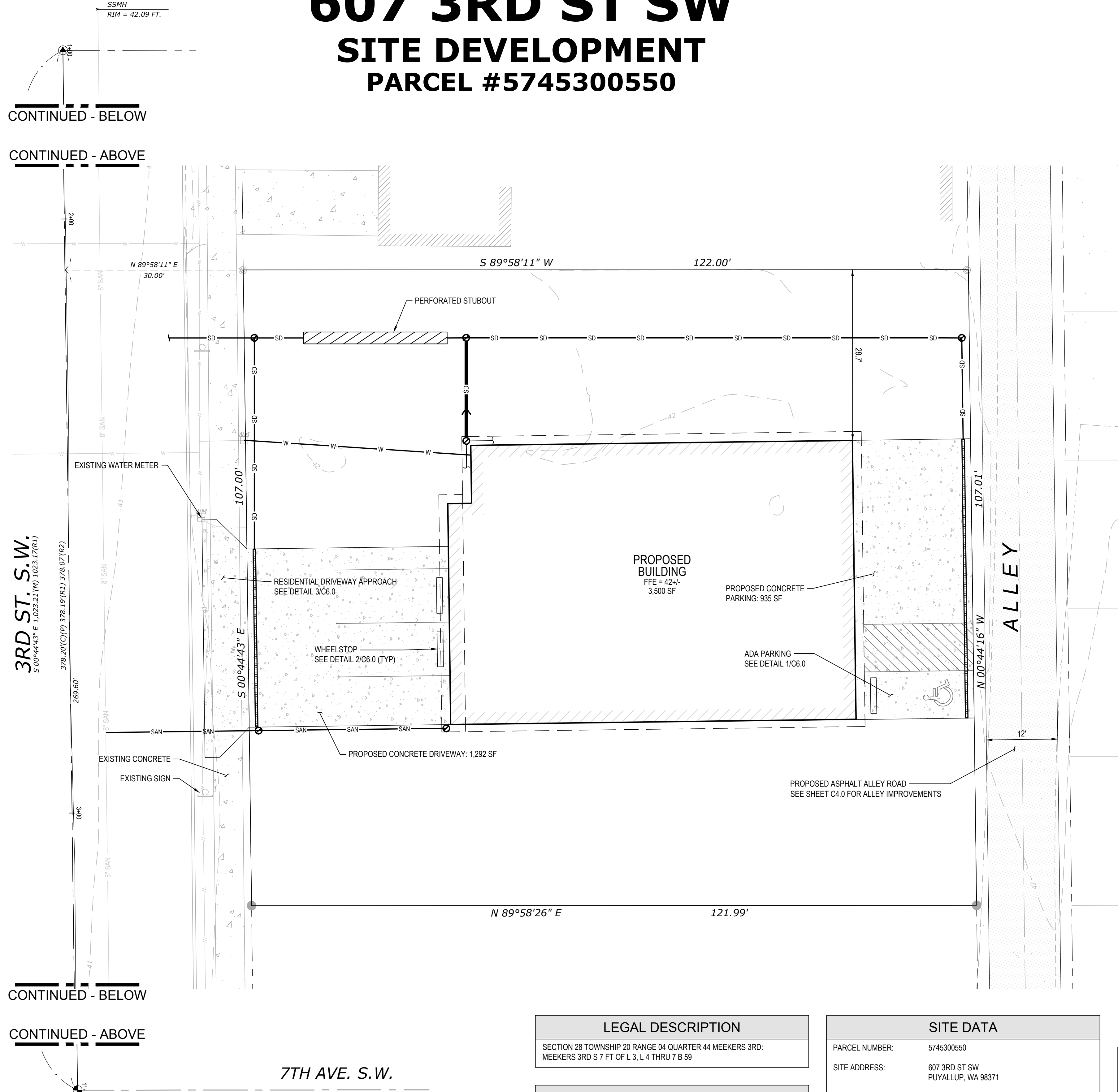
607 3RD ST SW

SITE DEVELOPMENT

PARCEL #5745300550



Know what's below.
Call before you dig.
1-800-424-5555



CIVIL ABBREVIATIONS	
BSBL	BUILDING SETBACK LINE
CB	CATCH BASIN
CO	CLEAN OUT
CONC	CONCRETE
DI	DUCTILE IRON
FH	FIRE HYDRANT
HP	HIGH POINT
LP	LOW POINT
MH	MANHOLE
PVC	POLYVINYLCHLORIDE
REQD	REQUIRED
RPBA	REDUCED PRESSURE BACKFLOW PREVENTOR
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSFM	SANITARY SEWER FORCE MAIN
SSMH	SANITARY SEWER MANHOLE
UBC	UNIFORM BUILDING CODE
WM	WATER METER
XFMR	TRANSFORMER
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

LEGEND	
	PROPERTY BOUNDARY
	PROPERTY SETBACK
	EXISTING ROAD EDGE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	BUILDING ABOVE
	BUILDING
	LIMIT
	SANITARY SEWER PIPE
	STORM DRAINAGE PIPE
	ROOF DRAIN
	DOWNSPOUT
	YD/CO/CB/CB 2MH
	EXISTING GRAVEL
	EXISTING CONCRETE
	NEW GRAVEL
	NEW CONCRETE
	SLOPE ARROW

NO.	DESCRIPTION	INIT	DATE

BEYLER CONSULTING
Plan, Design, Manage

CORPORATE OFFICE
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

COVER SHEET / SITE PLAN

607 3RD ST SW

SITE DEVELOPMENT

CITY OF PUYALLUP WASHINGTON

DESIGNED: JS CHECKED: DHS/EJM/JDC DRAWN: DHS/EJM/JDC

SCALE: HORIZ: 1"=10' VERT: 1"=10'

DATE: 5/20/2022

JOB NUMBER
20.00471

SHEET 1 OF 10
C0.0

LEGAL DESCRIPTION

SECTION 28 TOWNSHIP 20 RANGE 04 QUARTER 44 MEEKERS 3RD: MEEKERS 3RD S 7 FT OF L 3, L 4 THRU 7 B 59

PROJECT INFO

CLIENT:
WEDERMANN ARCHITECTS
607 3RD ST SW
PUYALLUP, WA 98371
CONTACT: SARAH COMMET
TEL: 253-973-6611

ENGINEER:
BEYLER CONSULTING
5920 100TH ST SW, STE 25
LAKEWOOD, WA 98499
CONTACT: JIM COOK, PE
TEL: 253-984-2900

SITE DATA

PARCEL NUMBER: 5745300550

SITE ADDRESS: 607 3RD ST SW
PUYALLUP, WA 98371

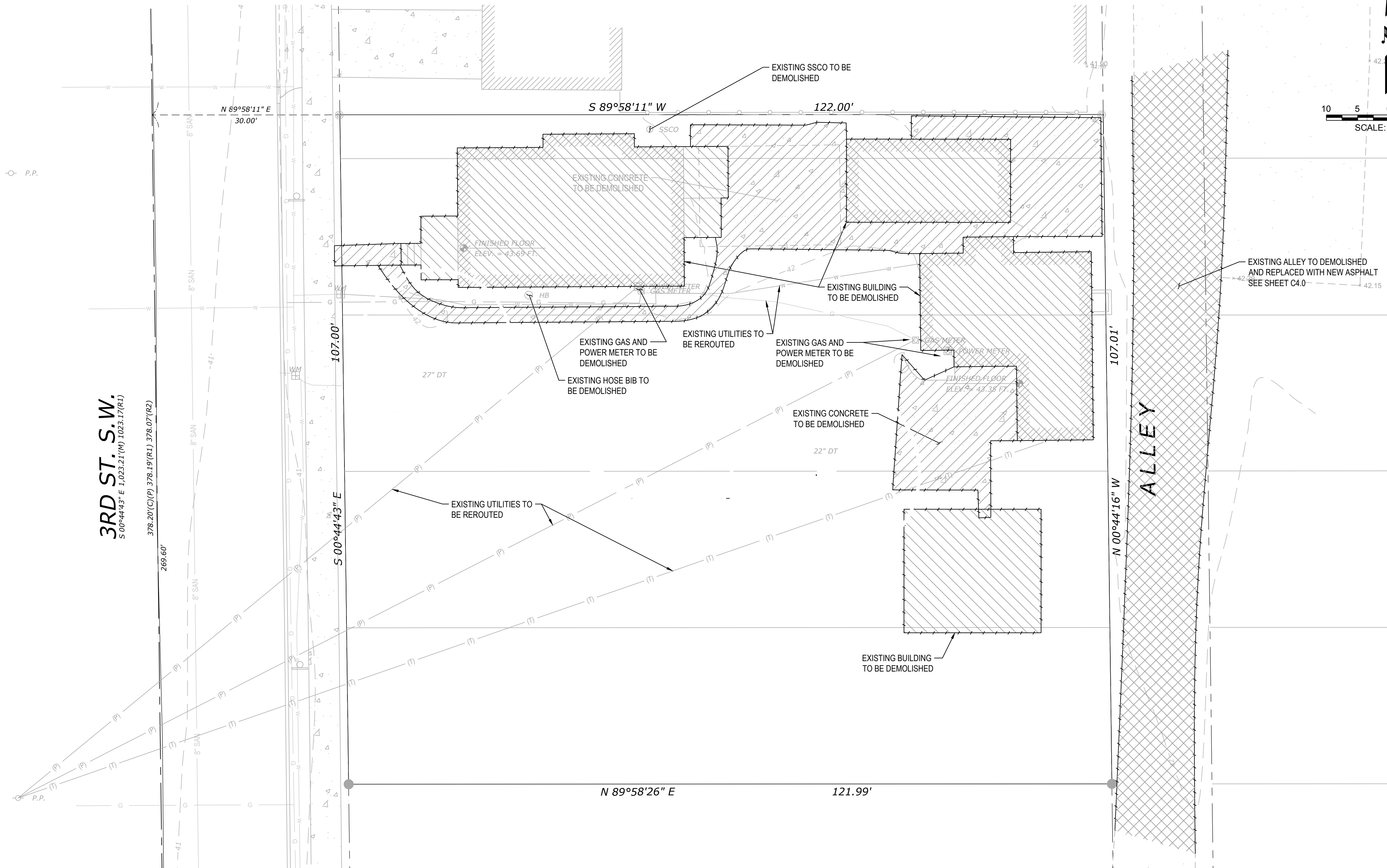
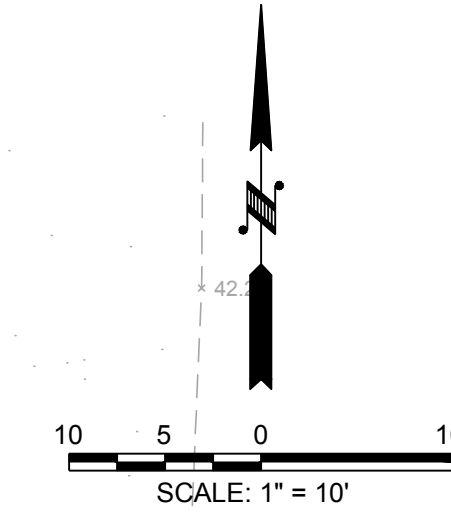
SITE AREA: 13,054 SF (0.30 ACRES)

ZONING: RM-20 (HIGH DENSITY MULTIPLE-FAMILY RESIDENTIAL)

SETBACKS:
FRONT: 10'
BACK: 10'
INTERIOR: 5'

SHEET INDEX

C0.0	COVER SHEET / SITE PLAN
C1.0	DEMOLITION PLAN
C2.0	T.E.S.C. PLAN, NOTES & DETAIL
C3.0	GRADING & DRAINAGE PLAN, NOTES & DETAILS
C4.0	ALLEY IMPROVEMENTS
C5.0	UTILITY PLAN
C5.1	UTILITY NOTES & DETAILS
C6.0	GENERAL DETAILS
C7.0	LANDSCAPING PLANS & NOTES
C7.1	LANDSCAPING DETAILS



3RD ST. S.W.
S 00°44'43" E 1,023.21 (M) 1,023.17 (R1)

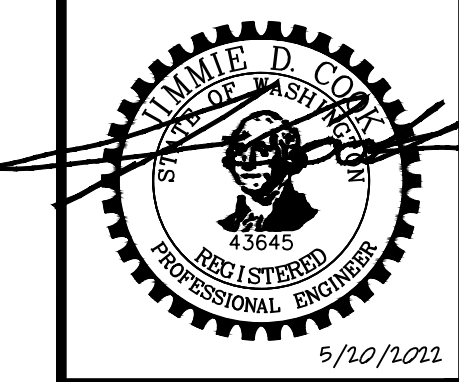
ALLEY

DEMO LEGEND	
	SAWCUT LINE
	REMOVE TREE
	REMOVE CURBING
	ASPHALT DEMOLITION
	CONCRETE DEMOLITION
	DEMOLISH BUILDING
	REMOVE ROCKERY
	REMOVE FENCING

CAD FILE: X:\Projects\2020 Projects\200471 Al Sents 607 3rd St SW Puyallup 883714\Civil Engineering\Drawings\200471 DEMO.dwg PLOT DATE/TIME: 5/20/2022 1:17 PM

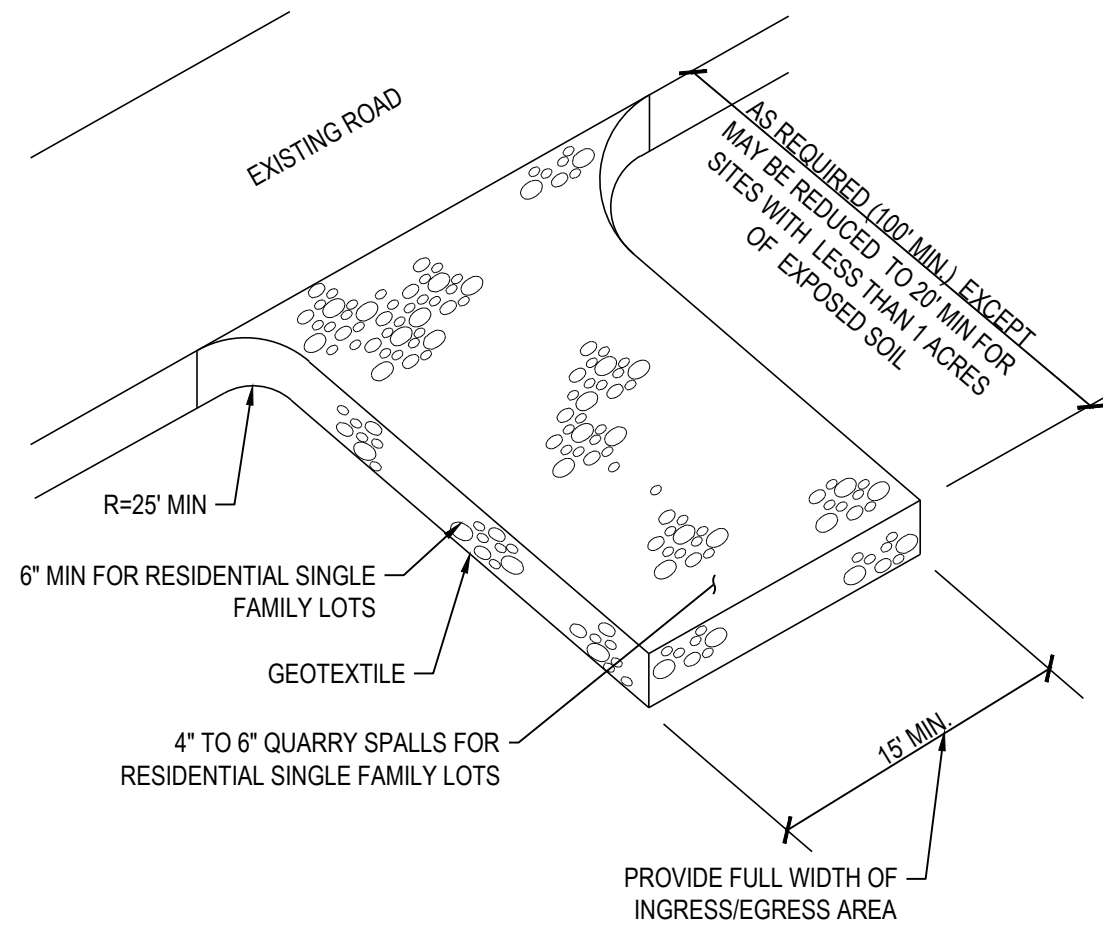
BEYLER CONSULTING
Plan. Design. Manage
CORPORATE OFFICE
5920 100th St. SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

DEMOLITION PLAN
607 3RD ST SW
SITE DEVELOPMENT
CITY OF PUYALLUP
DESIGNED: JS
DRAWN: DHS/EJM
CHECKED: JDC
SCALE: HORZ: 1"=10' VERT: 1"=10'
WASHINGTON
DATE: 5/20/2022



JOB NUMBER
20.00471
SHEET 2 OF 10
C1.0

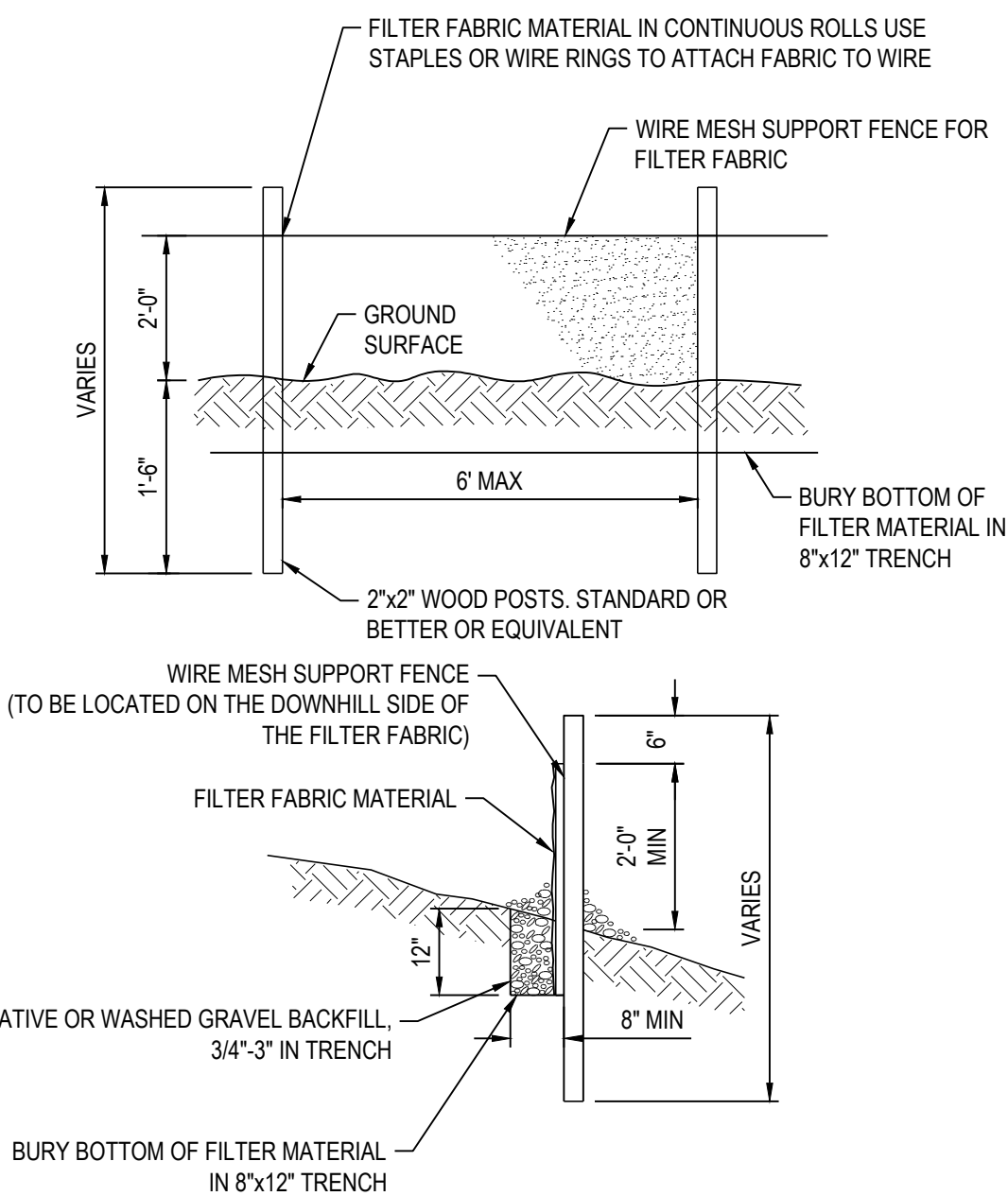
SECTION 28, TOWNSHIP 20N, RANGE 04E, W.M.



1 CONSTRUCTION ENTRANCE DETAIL

CONSTRUCTION ENTRANCE NOTES

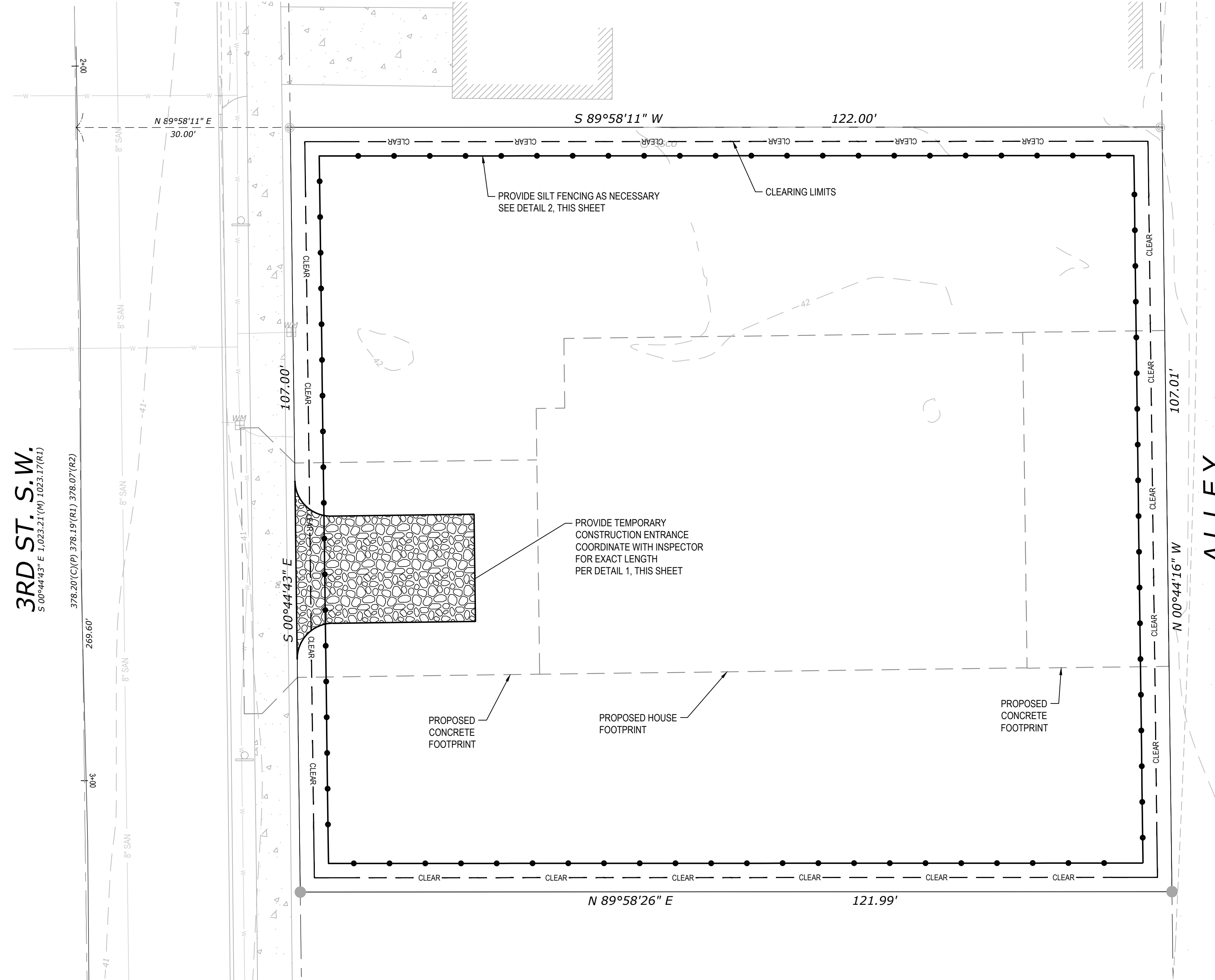
- MATERIAL SHALL BE 4 INCH TO 8 INCH QUARRY SPALLS (4 TO 6 INCH FOR RESIDENTIAL SINGLE FAMILY LOTS) AND MAY BE TOP-DRESSED WITH 1 INCH TO 3 INCH ROCK. (STATE STANDARD SPECIFICATIONS, SECTION 8-15.)
- THE ROCK PAD SHALL BE AT LEAST 12 INCHES THICK AND 50 FEET LONG (20 FEET FOR SITES WITH LESS THAN 1 ACRE OF DISTURBED SOIL). WIDTH SHALL BE THE FULL WIDTH OF THE VEHICLE INGRESS AND EGRESS AREA. SMALLER PADS MAY BE APPROVED FOR SINGLE-FAMILY RESIDENTIAL AND SMALL COMMERCIAL SITES.
- ADDITIONAL ROCK SHALL BE ADDED PERIODICALLY TO MAINTAIN PROPER FUNCTION OF PAD.
- IF THE PAD DOES NOT ADEQUATELY REMOVE THE MUD FROM THE VEHICLE WHEELS, THE WHEELS SHALL BE HOSED OFF BEFORE THE VEHICLE ENTERS A PAVED STREET. THE WASHING SHALL BE DONE IN AN AREA COVERED WITH CRUSHED ROCK AND WASH WATER SHALL DRAIN TO A SEDIMENT RETENTION FACILITY OR THROUGH A SILT FENCE.
- GEOTEXTILE SHALL MEET THE FOLLOWING STANDARDS:
 -GRAB TENSILE STRENGTH (ASTM D4751) - 200 PSI MIN.
 -GRAB TENSILE ELONGATION (ASTM D4632) - 30% MAX
 -MULLEN BURST STRENGTH (ASTM D3786-80a) - 400 PSI MIN.
 -AOS (ASTM D4751) - 20 TO 45 (U.S. STANDARD SIEVE SIZE)



2 FILTER FABRIC FENCE DETAIL

FILTER FABRIC FENCE NOTES

- FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT THE SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY FASTENED AT BOTH ENDS TO POST.
- POST SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POST AND UPSLOPE FROM THE BARRIER. THIS TRENCH SHALL BE BACKFILLED WITH WASHED GRAVEL.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POST USING A HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR HOG RINGS THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED TO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH CASE, THE FILTER FABRIC IS STAPLED OR WIRE DIRECTLY TO THE POST WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.
- FILTER FABRIC FENCES SHALL NOT BE REMOVED BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SILT FENCES WILL BE INSTALLED PARALLEL TO ANY SLOPE CONTOURS.
- CONTRIBUTING LENGTH TO FENCE WILL NOT BE GREATER THAN 100 FEET.
- DO NOT INSTALL BELOW AN OUTLET PIPE OR WEIR.
- INSTALL DOWNSLOPE OF EXPOSED AREAS.
- DO NOT DRIVE OVER OR FILL OVER SILT FENCES.

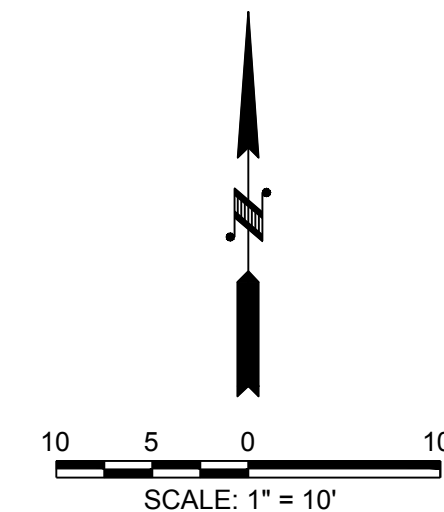


CITY OF PUAYLLUP GRADING, EROSION & SEDIMENT CONTROL NOTES

- ALL WORK IN CITY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE CITY OF PUAYLLUP. PRIOR TO ANY WORK COMMENCING, THE GENERAL CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AT THE DEVELOPMENT SERVICES CENTER TO BE ATTENDED BY ALL CONTRACTORS THAT WILL PERFORM WORK SHOWN ON THE ENGINEERING PLANS. REPRESENTATIVES FROM ALL APPLICABLE UTILITY COMPANIES, THE PROJECT OWNER AND APPROPRIATE CITY STAFF. CONTACT ENGINEERING SERVICES TO SCHEDULE THE MEETING (253) 841-5568. THE CONTRACTOR IS RESPONSIBLE TO HAVE THEIR OWN APPROVED SET OF PLANS AT THE MEETING.
- AFTER COMPLETION OF ALL ITEMS SHOWN ON THESE PLANS AND BEFORE ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN A "PUNCH LIST" PREPARED BY THE CITY'S INSPECTOR DETAILING REMAINING ITEMS OF WORK TO BE COMPLETED. ALL ITEMS OF WORK SHOWN ON THESE PLANS SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY PRIOR TO ACCEPTANCE OF THE WATER SYSTEM AND PROVISION OF SANITARY SEWER SERVICE.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS"), WASHINGTON STATE DEPARTMENT OF TRANSPORTATION AND AMERICAN PUBLIC WORKS ASSOCIATION, WASHINGTON STATE CHAPTER, LATEST EDITION, UNLESS SUPERSEDED OR AMENDED BY THE CITY OF PUAYLLUP CITY STANDARDS FOR PUBLIC WORKS ENGINEERING AND CONSTRUCTION (HEREINAFTER REFERRED TO AS THE "CITY STANDARDS").
- A COPY OF THESE APPROVED PLANS AND APPLICABLE CITY DEVELOPER SPECIFICATIONS AND DETAILS SHALL BE ON SITE DURING CONSTRUCTION.
- ANY REVISIONS MADE TO THESE PLANS MUST BE REVIEWED AND APPROVED BY THE DEVELOPER'S ENGINEER AND THE CITY ENGINEER PRIOR TO ANY IMPLEMENTATION IN THE FIELD. THE CITY SHALL NOT BE RESPONSIBLE FOR ANY ERRORS AND/OR OMISSIONS ON THESE PLANS.
- THE CONTRACTOR SHALL HAVE ALL UTILITIES VERIFIED ON THE GROUND PRIOR TO ANY CONSTRUCTION. CALL (811) AT LEAST TWO WORKING DAYS HOURS IN ADVANCE. THE OWNER AND HIS/HER ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.
- ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION AS PRESCRIBED ON THE PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD AND OBSERVED DURING CONSTRUCTION.
- ALL REQUIRED SEDIMENTATION AND EROSION CONTROL FACILITIES MUST BE CONSTRUCTED AND IN OPERATION PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE NATURAL DRAINAGE SYSTEM. THE CONTRACTOR SHALL SCHEDULE AN INSPECTION OF THE EROSION CONTROL FACILITIES PRIOR TO ANY LAND CLEARING AND/OR OTHER CONSTRUCTION. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION AS DETERMINED BY THE CITY. UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED, THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE EROSION AND SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PERMITTEE.
- THE EROSION AND SEDIMENTATION CONTROL SYSTEM FACILITIES DEPICTED ON THESE PLANS ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND UNEXPECTED OR SEASONAL CONDITIONS DICTATE, FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- APPROVAL OF THESE PLANS IS FOR GRADING, TEMPORARY DRAINAGE, EROSION AND SEDIMENTATION CONTROL ONLY. IT DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT STORM DRAINAGE DESIGN, SIZE OR LOCATION OF PIPES, RESTRICTORS, CHANNELS, OR RETENTION FACILITIES.
- ANY DISTURBED AREA WHICH HAS BEEN STRIPPED OF VEGETATION AND WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF 30 DAYS OR MORE, MUST BE IMMEDIATELY STABILIZED WITH MULCHING, GRASS PLANTING, OR OTHER APPROVED EROSION CONTROL TREATMENT APPLICABLE TO THE TIME OF YEAR IN QUESTION. GRASS SEEDING ALONE WILL BE ACCEPTABLE ONLY DURING THE MONTHS OF APRIL THROUGH SEPTEMBER INCLUSIVE. SEEDING MAY PROCEED OUTSIDE THE SPECIFIED TIME PERIOD WHENEVER IT IS IN THE INTEREST OF THE PERMITTEE BUT MUST BE AUGMENTED WITH MULCHING, NETTING, OR OTHER TREATMENT APPROVED BY THE CITY.
- IN CASE EROSION OR SEDIMENTATION OCCURS TO ADJACENT PROPERTIES, ALL CONSTRUCTION WORK WITHIN THE DEVELOPMENT THAT WILL FURTHER AGGRAVATE THE SITUATION MUST CEASE, AND THE OWNER/CONTRACTOR WILL IMMEDIATELY COMMENCE RESTORATION METHODS. RESTORATION ACTIVITY WILL CONTINUE UNTIL SUCH TIME AS THE AFFECTED PROPERTY OWNER IS SATISFIED.
- NO TEMPORARY OR PERMANENT STOCKPILING OF MATERIALS OR EQUIPMENT SHALL OCCUR WITHIN CRITICAL AREAS OR ASSOCIATED BUFFERS, OR THE CRITICAL ROOT ZONE FOR VEGETATION PROPOSED FOR RETENTION

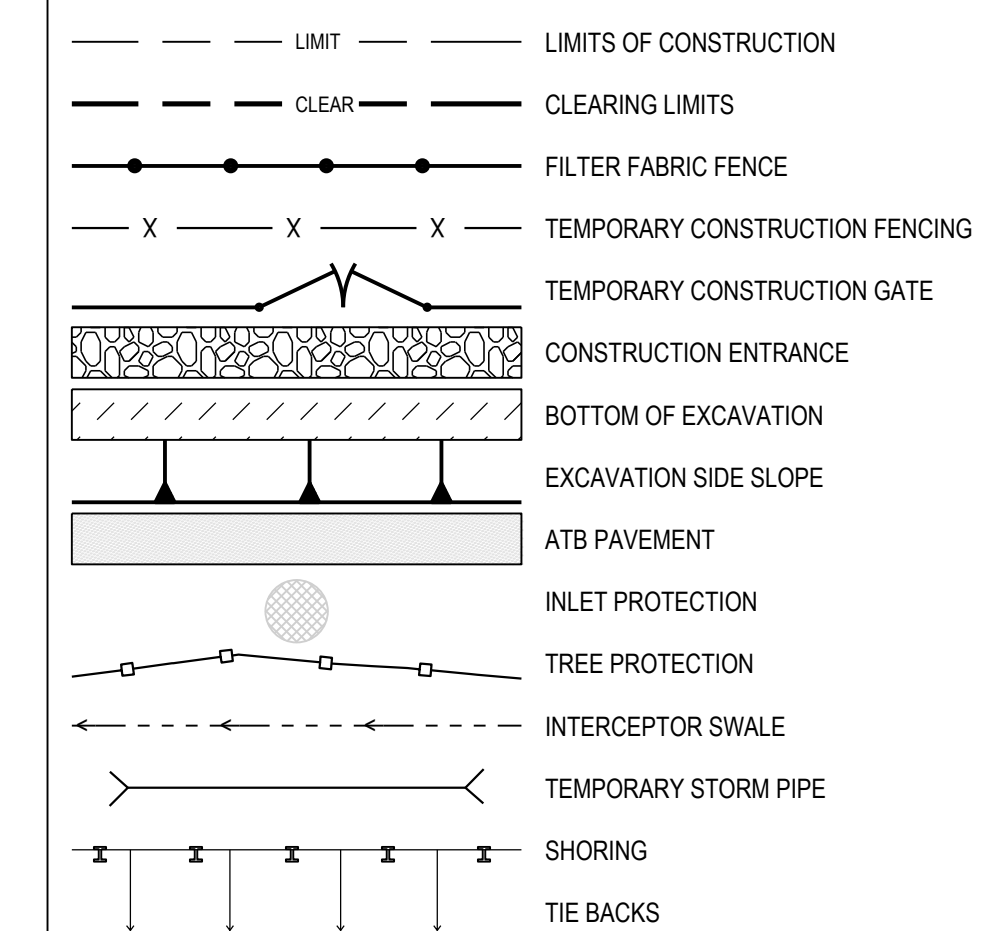
CITY OF PUAYLLUP CONSTRUCTION SEQUENCE

- HOLD A PRECONSTRUCTION MEETING WITH THE CITY AND OBTAIN REQUIRED PERMITS.
- ESTABLISH CLEARING AND GRADING LIMITS.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE.
- CONSTRUCT PERIMETER DITCHES, SILT FENCES, AND OTHER EROSION CONTROL DEVICES AS SHOWN.
- CONSTRUCT PROTECTION DEVICES FOR CRITICAL AREAS AND SIGNIFICANT TREES PROPOSED FOR RETENTION.
- SCHEDULE AN EROSION CONTROL INSPECTION WITH THE CITY.
- CONSTRUCT STORM DRAINAGE RETENTION/DETENTION (CONTROL AND STORAGE) FACILITIES. PROVIDE EMERGENCY OVERFLOW AS APPLICABLE.
- ALL DITCHES AND SWALES AS SHOWN SHALL BE PROVIDED TO DIRECT ALL SURFACE WATER TO THE RETENTION/DETENTION AND SEDIMENTATION POND AS CLEARING AND GRADING PROGRESSES. NO UNCONTROLLED SURFACE WATER SHALL BE ALLOWED TO LEAVE THE SITE OR BE DISCHARGED TO A CRITICAL AREA AT ANY TIME DURING THE GRADING OPERATIONS. CLEARLY STATE AT WHAT POINT GRADING ACTIVITIES CAN BEGIN, USUALLY ONLY AFTER ALL DRAINAGE AND EROSION CONTROL MEASURES ARE IN PLACE.
- IDENTIFY EROSION CONTROL MEASURES WHICH REQUIRE REGULAR MAINTENANCE



811
Know what's below.
Call before you dig.
1-800-424-5555

T.E.S.C. LEGEND



BEYLER CONSULTING
 CORPORATE OFFICE
 5920 100th St. SW, Ste #25
 Lakewood, WA 98499
 (253) 984-2900
 beylerconsulting.com

Plan. Design. Manage
 PROJECT MANAGEMENT | PLANNING & FEASIBILITY
 PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

T.E.S.C. PLAN, NOTES & DETAILS

607 3RD ST SW

SITE DEVELOPMENT

CITY OF PUAYLLUP

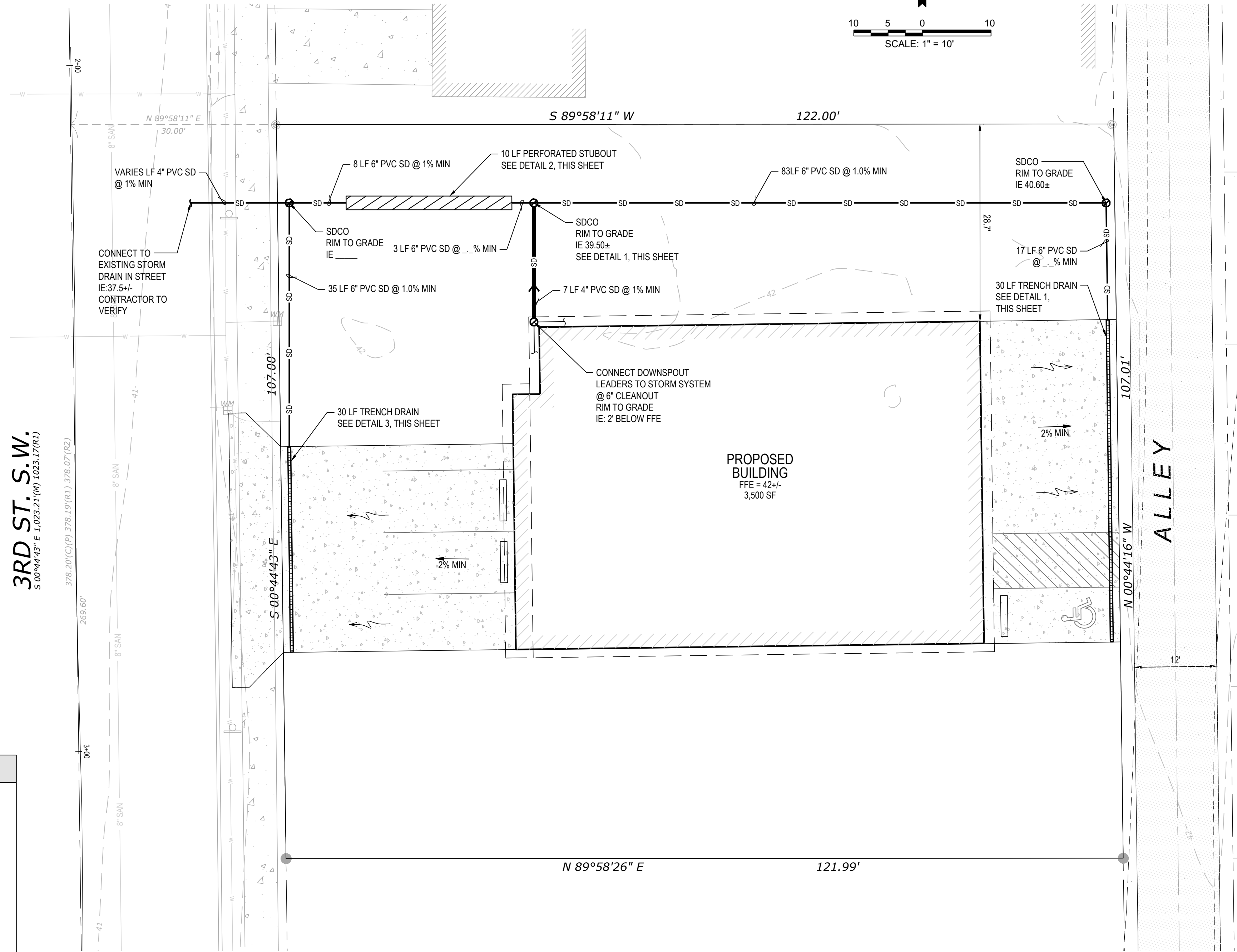
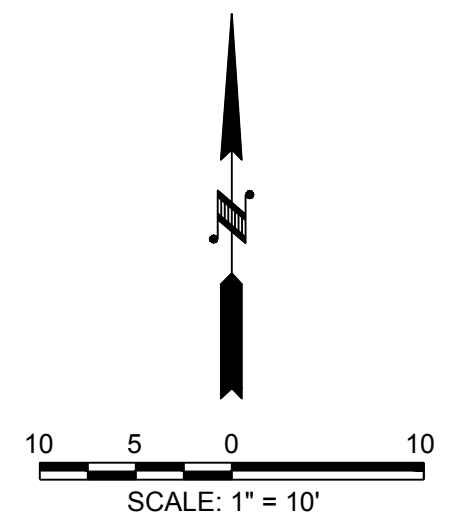
DESIGNED: JUS
DRAWN: DHS/EJM
CHECKED: JDC
SCALE: HORIZ: 1"=10'
VERT:

WASHINGTON

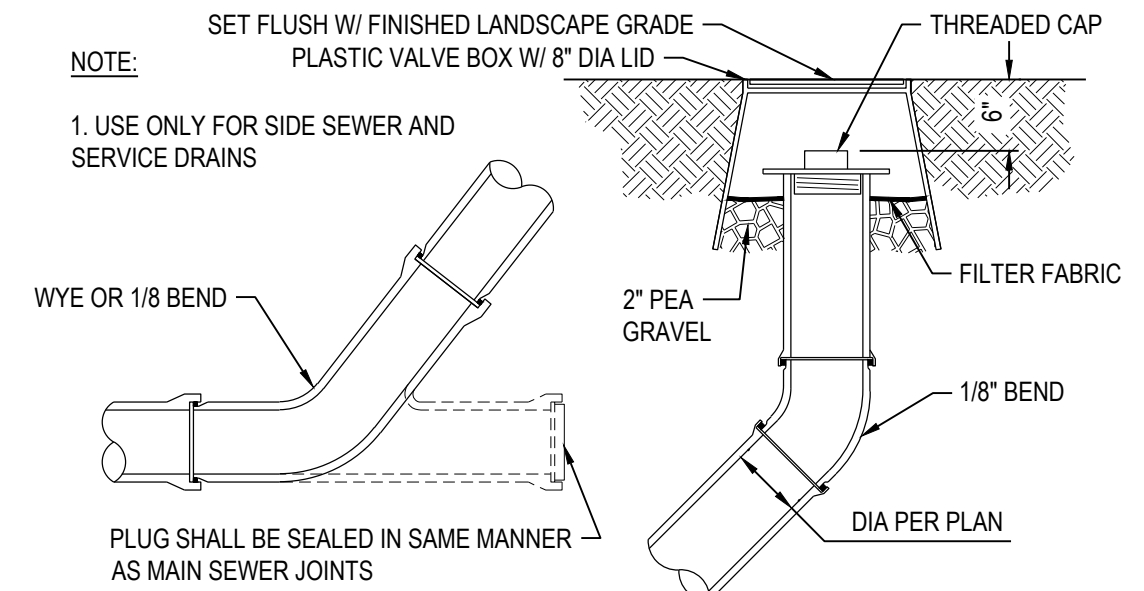
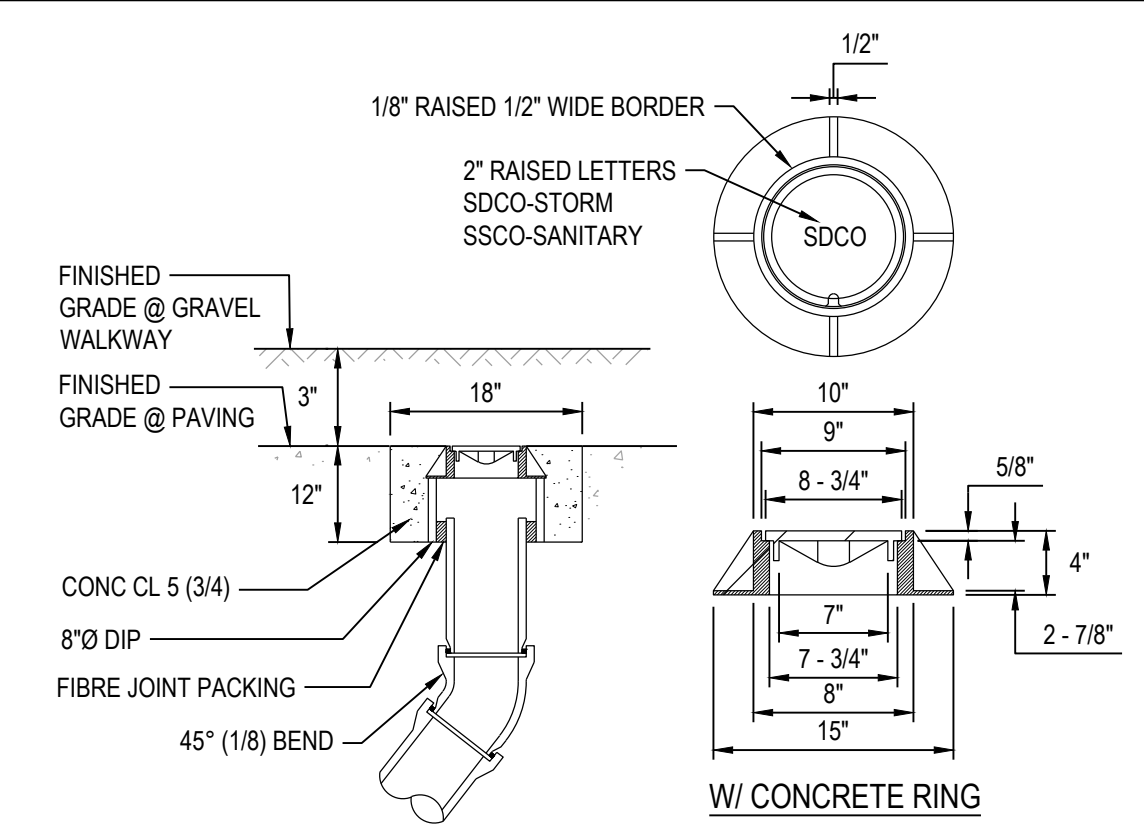
DATE: 5/20/2022



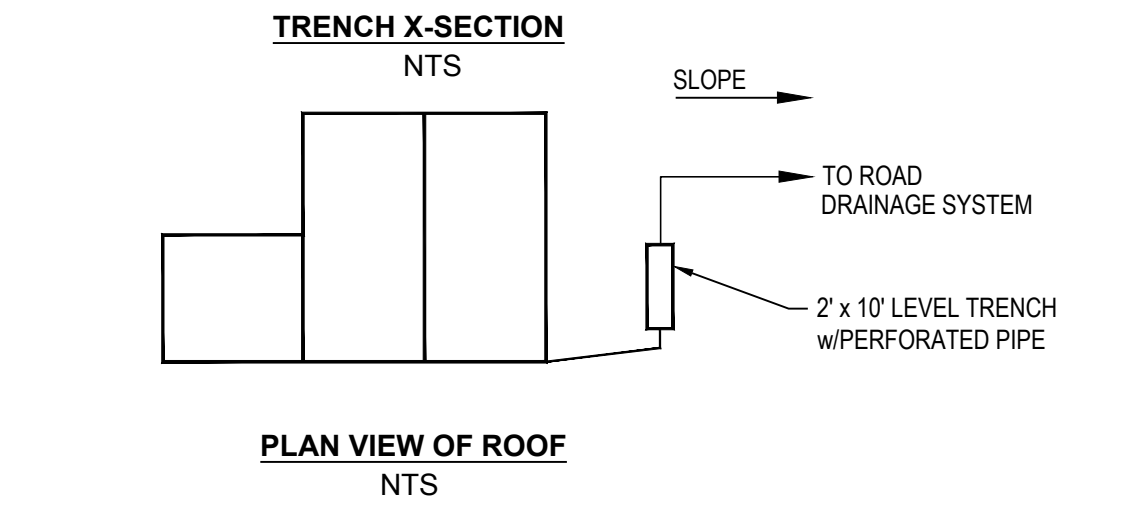
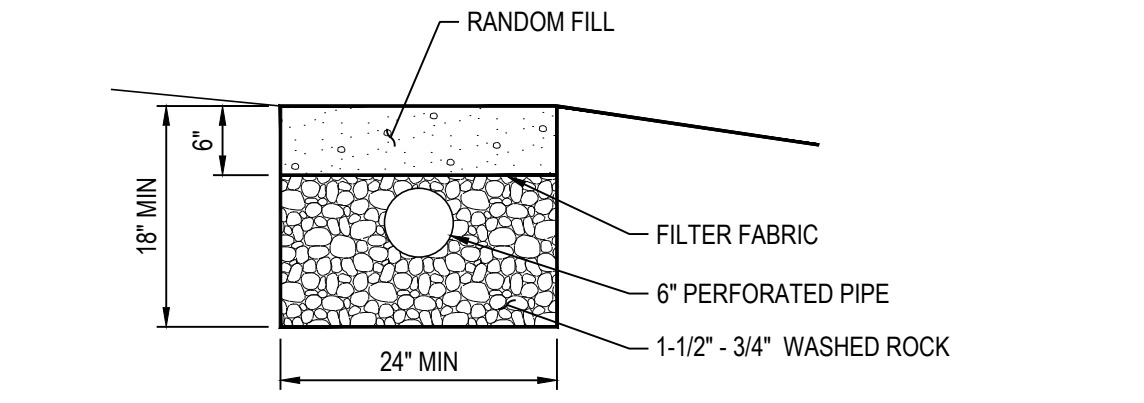
JOB NUMBER
20.00471
SHEET 3 OF 10
C2.0



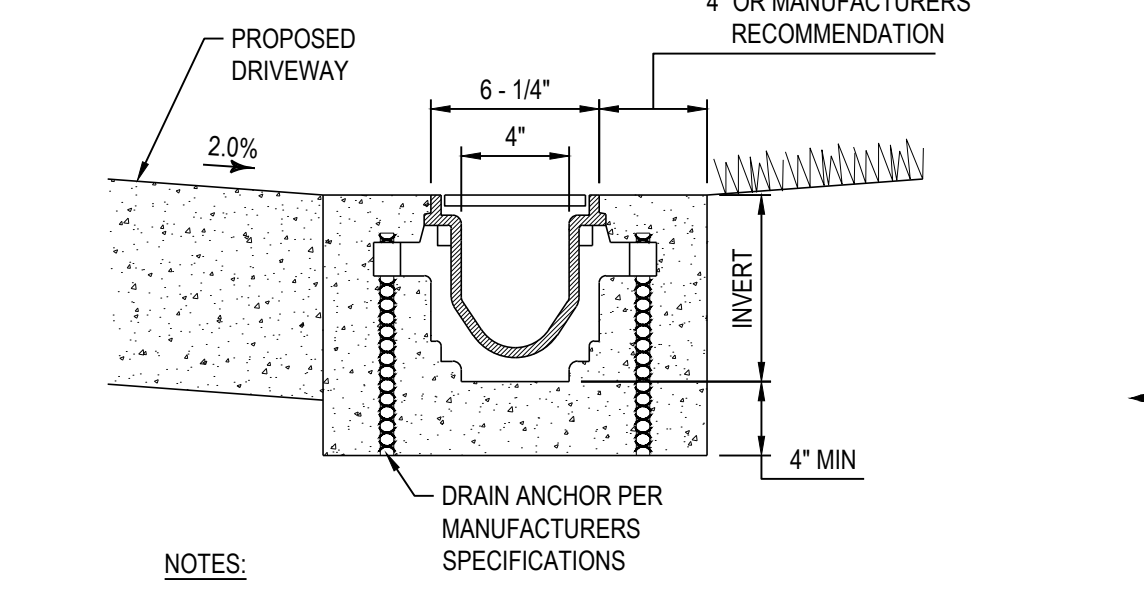
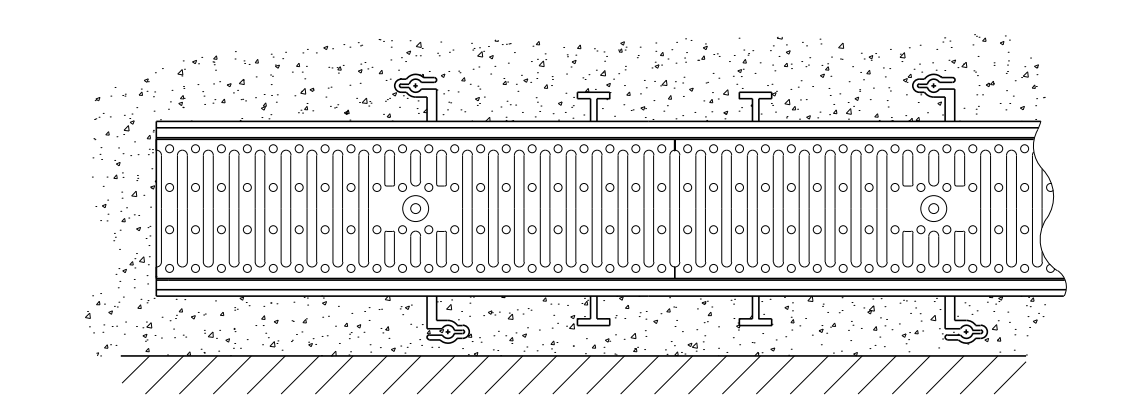
LEGEND	
	EX PROPERTY BOUNDARY
	EX RIGHT-OF-WAY
	EX MAJOR CONTOURS
	EX MINOR CONTOURS
	MAJOR CONTOURS
	MINOR CONTOURS
	EX ASPHALT
	EX CONCRETE
	BUILDING
	BUILDING OVERHEAD
	ASPHALT PAVEMENT
	CONCRETE
	STORM DRAINAGE PIPE
	TRENCH DRAIN
	ROOF DOWNSPOUT
	STORM CLEANOUT
	FLOW ARROW/SLOPE ARROW



1 STORM DRAINAGE CLEANOUT NTS



2 PERFORATED PIPE CONNECTION NTS



NOTES:
1. TRENCH DRAIN SHALL BE ZURN Z-886-HD-HPP W/ STANDARD GREY GRATE OR APPROVED EQUAL TRENCH DRAIN SYSTEM

3 TRENCH DRAIN NTS

NO.	DESCRIPTION	DATE

BEYLER CONSULTING
 CORPORATE OFFICE
 5920 100th St. SW, Ste #25
 Lakewood, WA 98499
 (253) 984-2900
 beylerconsulting.com

Plan. Design. Manage
 CONSULTING
 PROJECT MANAGEMENT | PLANNING & FEASIBILITY
 PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

GRADING & DRAINAGE PLAN, NOTES & DETAILS

607 3RD ST SW
 SITE DEVELOPMENT

CITY OF PUYALLUP WASHINGTON
 DESIGNED: JHS/EJM/JDC CHECKED: JDC SCALE: HORIZ: 1"=10' VERT: DATE: 5/20/2022

PROFESSIONAL ENGINEER
 JAMES D. JOHNSON
 43645
 5/20/2022

JOB NUMBER
20.00471
 SHEET 4 OF 10
C3.0

CAD FILE: X:\Projects\2020 Projects\00471 All Suits\607 3rd St SW_Puyallup\88714.dwg Engineering\Drawings\20-0471 GRADING AND DRAINAGE.dwg PLOT DATE/TIME: 5/20/2022 1:19 PM

SECTION 28, TOWNSHIP 20N, RANGE 04E, W.M.



TYPE OF STREET ALLEY

MAXIMUM CENTERLINE GRADES	MINIMUM ROW WIDTH	MINIMUM STREET WIDTH	MINIMUM PERMEABLE PAVEMENT THICKNESS
10%	16'	12'	2" POROUS ASPHALT 3" ATPB 7" PERVIOUS CONCRETE

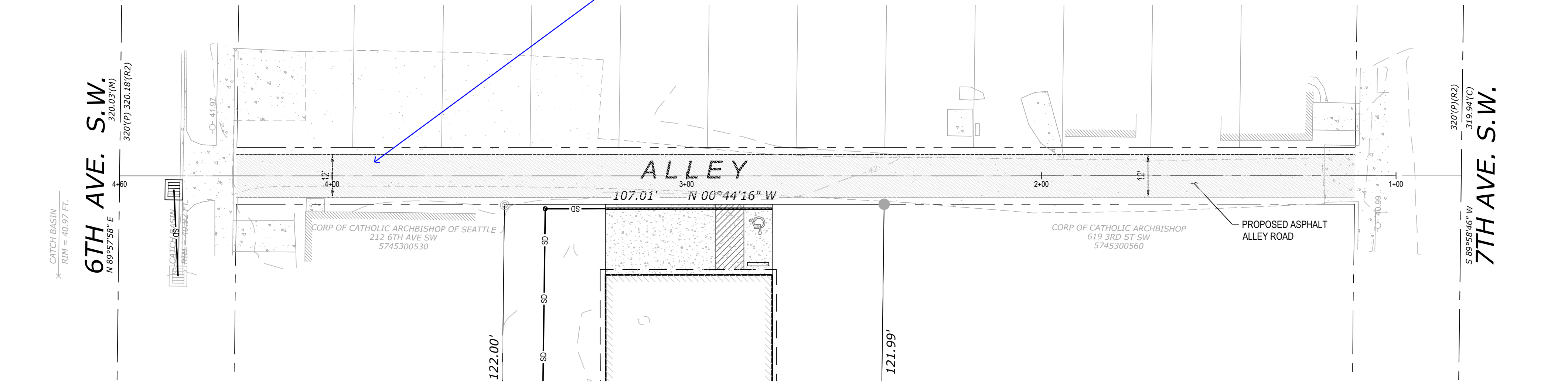
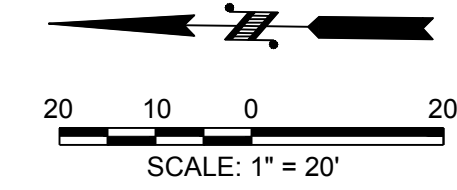
NOTES

- ALL DEPTHS ARE MINIMUM COMPACTED DEPTHS.
- SUBGRADE PREPARATION SHALL MEET THE REQUIREMENTS OF APWA GSP 2-08.3(3). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MEET THE COMPACTION REQUIREMENTS AND CONTROL ALL WORK. THE CITY OF PUYALLUP RESERVES THE RIGHT TO REQUIRE COMPLIANCE TEST AT THE CONTRACTOR'S EXPENSE.
- PERMEABLE BALLAST SHALL MEET THE REQUIREMENTS OF APWA GSP 4-04.2. DEPTH REQUIRED BASED ON PAVEMENT DESIGN FOR STRUCTURAL LOAD, FROST DEPTH AND HYDROLOGIC CAPACITY.
- SOIL STABILIZATION FABRIC MAY BE REQUIRED BY THE DEVELOPMENT REVIEW ENGINEER TO BE INSTALLED PRIOR TO THE INSTALLATION OF THE BASE MATERIAL. WHEN REQUIRED THE CONTRACTOR SHALL PLACE A GEOTEXTILE FABRIC FOR SEPARATION OVER THE PREPARED SUBGRADE WITH A 2 FOOT MINIMUM OVERLAP. THE FABRIC SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
- PHMA/PWMA SHALL BE INSTALLED IN ACCORDANCE WITH WSDOT STANDARD SPEC. 5-04 AND APWA GSP 5-04. DESIGN ENGINEER SHALL SUBMIT A STATE APPROVED HMA MIX FOR APPROVAL.
- THE INTERNAL TEMPERATURE OF THE ATPB MIXTURE AT THE TIME COMPACTION IS ACHIEVED SHALL BE PER APWA GSP FOR ASPHALT TREATED PERMEABLE BASE. THE INTERNAL TEMPERATURE OF POROUS HMA SHALL BE WITHIN THE TEMPERATURE RANGE IDENTIFIED IN THE APPROVED PHMA/PWMA SUBMITTAL. TEMPERATURE LIMITATIONS FOR PERVIOUS CONCRETE SHALL BE PER APWA GSP 5-08.3(6)A.
- THE MAXIMUM COMPACTED THICKNESS OF ANY SINGLE LIFT OF POROUS ASPHALT OR ATPB SHALL MEET WSDOT STANDARD SPEC. 5-04.3(9) TO A MINIMUM AVERAGE COMPACTED DRY DENSITY OF 80-85% OF THE MAXIMUM DENSITY AS DETERMINED BY WSDOT TEST METHOD SPECIFIED IN STANDARD SPECIFICATION 5-04.3(10)B. PERIODIC COMPLIANCE TESTS SHALL BE MADE BY A CERTIFIED TESTING AGENT AT THE EXPENSE OF THE CONTRACTOR.
- ALL MEET LINES BETWEEN LIFTS OF ASPHALT SHALL BE UNIFORM AND VERTICAL. THE MEET LINES SHALL BE CLEANED.
- ANY CHANGES TO THE PERVIOUS CONCRETE MINIMUM STANDARD PAVEMENT SECTION SHALL REQUIRE APPROVAL BY THE CITY ENGINEER. A STRUCTURAL PAVEMENT SECTION DESIGN WITH CALCULATIONS SHALL BE REQUIRED.
- POROUS ASPHALT PAVEMENT THICKNESS SHALL BE PER A STRUCTURAL PAVEMENT DESIGN DEVELOPED USING AASHTO DESIGN GUIDELINES.
- INSTALL SUBGRADE CHECK DAMS OR TERRACE SUBGRADE WHEN PERMEABLE PAVEMENT LONGITUDINAL SLOPE EXCEEDS 2%.
- INSTALL UTILITY TRENCH DAMS AT LOCATIONS WHERE UNDERGROUND UTILITIES PASS THROUGH THE PLANE WHERE PERMEABLE PAVEMENT MEETS DENSE PAVEMENT.
- SUBMITTAL AND APPROVAL OF A JOINTING PLAN FOR PERVIOUS CONCRETE PAVEMENT SHALL BE REQUIRED PRIOR TO PLACING PERVIOUS CONCRETE.
- POROUS SHOULDER MIX SHALL BE A 50/50 MIX (BY VOLUME) OF PERMEABLE BALLAST AND CRUSHED SURFACING TOP COURSE.

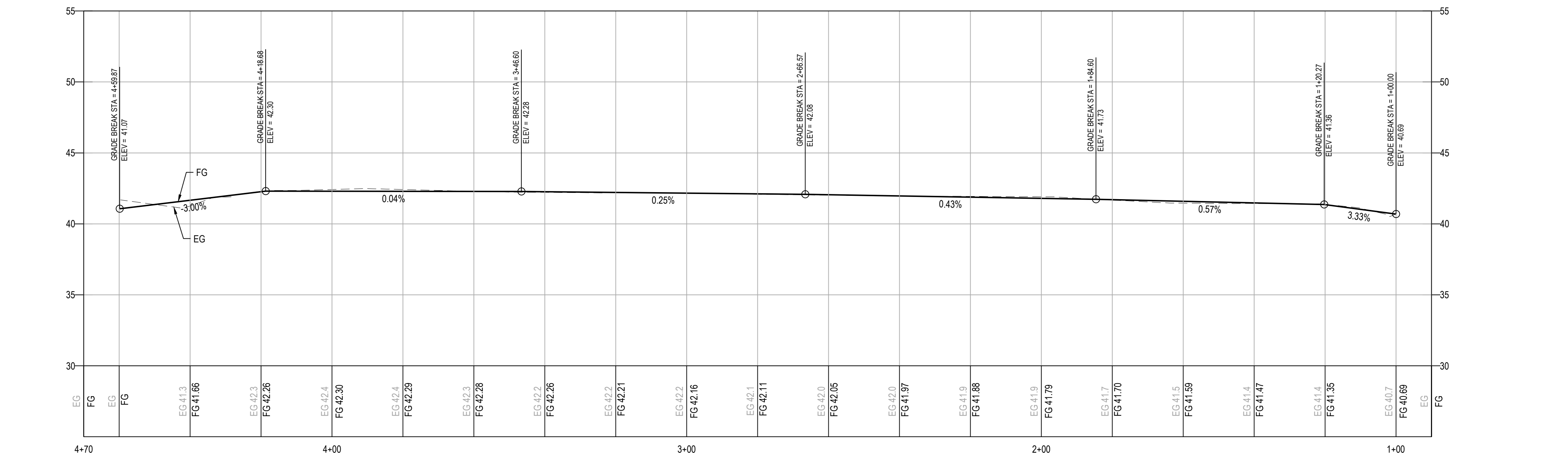
CITY OF PUYALLUP
OFFICE OF THE CITY ENGINEER

DESIGNED BY	CHECKED BY	APPROVED BY	DATE APPROVED	CITY STATION
J.S.	J.D.C.	M.A.P.	5/20/2022	01.01.10A

More information is required for the paving of the alley. Hard surface square footage needs to be included in the TDA for the project. Also, Geotech report indicates that infiltration is infeasible on your adjacent site. Clarify the design of the permeable alley in this context.



ALLEY WAY PLAN



ALLEY WAY PROFILE

LEGEND

	PROPERTY BOUNDARY
	PROPERTY SETBACK
	EXISTING ROAD EDGE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	BUILDING ABOVE
	BUILDING
	LIMIT
	SAN - SANITARY SEWER PIPE
	SD - STORM DRAINAGE PIPE
	RD - ROOF DRAIN
	DOWNSPOUT
	YD/CO/CB/CB 2MH
	EXISTING GRAVEL
	EXISTING CONCRETE
	NEW GRAVEL
	NEW CONCRETE
	SLOPE ARROW

NO.	DESCRIPTION	DATE

BEYLER CONSULTING
Plan, Design, Manage
CORPORATE OFFICE
5920 100th St. SW, Ste # 25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

ALLEY IMPROVEMENTS
607 3RD ST SW
SITE DEVELOPMENT
CITY OF PUYALLUP WASHINGTON
DESIGNED BY: J.S. DRAWN BY: DHS/EJM CHECKED BY: JDC SCALE: HORIZ: 1"=20' VERT: 1"=5' DATE: 5/20/2022

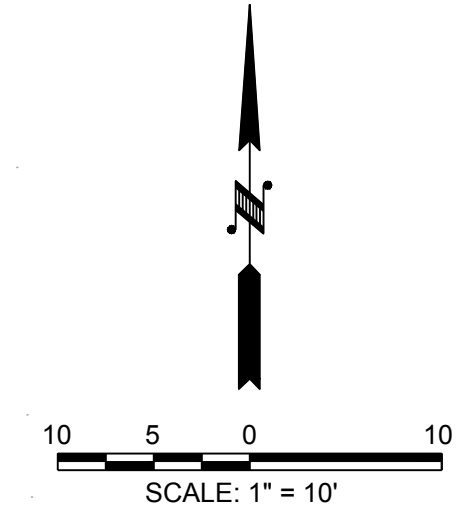
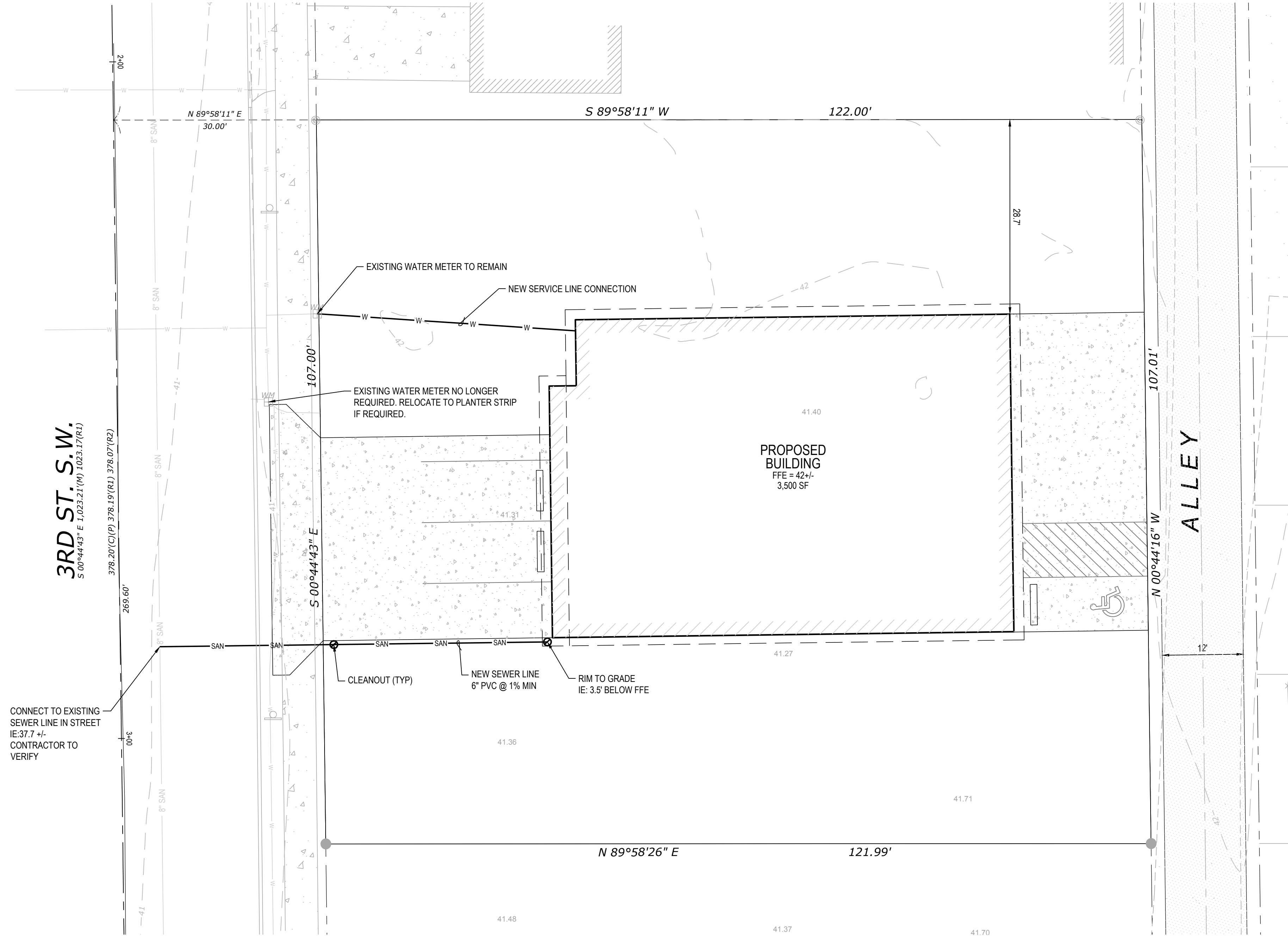
PROFESSIONAL ENGINEER
5/20/2022

JOB NUMBER
20.00471
SHEET 5 OF 10
C4.0

CAD FILE: X:\Projects\2020 Projects\0471 Al Saints 607 3rd St SW_Puyallup\883714.dwg Engineering\Drawings\20.00471 ALLEY.dwg PLOT DATE/TIME: 5/20/2022 1:19 PM



Know what's below.
Call before you dig.
1-800-424-5555



UTILITIES LEGEND	
	PROPERTY BOUNDARY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	BUILDING
	SANITARY SEWER
	SANITARY MH/CO
	WATER MAIN
	FH/FDC/PIV/VALVE
	WATER VAULT/METER
	SITE LIGHTING
	ELECTRICAL J.BOX/VAULT/TRNSFORMER
	UNDERGROUND POWER

CAD FILE: X:\Projects\2020 Projects\20.00471 - 3rd St SW - Puyallup\883714\Civil Engineering\Drawings\20.00471 WATER.dwg PLOT DATE/TIME: 5/20/2022 1:20 PM

NO.	DESCRIPTION	INIT	DATE

BEYLER CONSULTING
Plan, Design, Manage

CORPORATE OFFICE
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

WE PROVIDE: SITE DESIGN, LANDSCAPE DESIGN, PROJECT MANAGEMENT, PLANNING & FEASIBILITY, PERMITTING SERVICES, CONSTRUCTION MANAGEMENT

UTILITY PLAN

607 3RD ST SW
SITE DEVELOPMENT

CITY OF PUYALLUP WASHINGTON

DESIGNED: JS DRAWN: DHS/EJM CHECKED: JDC SCALE: HORIZ: 1"=10' VERT: DATE: 5/20/2022

5/20/2022

JOB NUMBER
20.00471

SHEET 6 OF 10

C5.0

NOTES FOR CONNECTING TAPS ON EXISTING SEWER MAINS

1. THE TEE FITTING SHALL BE A ROMAC INDUSTRIES STYLE "CB" SEWER SADDLE (OR APPROVED EQUAL). ONLY NEW SADDLE AND PARTS SHALL BE INSTALLED. DUE TO PIPE SIZE MATERIALS OR PIPE CONDITION, THE CITY ENGINEER MAY REQUIRE AN ALTERNATE METHOD/MATERIAL BE USED.
2. THE SEWER MAIN TAP SHALL BE CUT WITH A SEWER PIPE TAPPING MACHINE (HOLE SAW) CAPABLE OF RETAINING THE COUPON.
3. THE ROUND HOLE CUT INTO THE SEWER MAIN SHALL BE NO LARGER THAN THE INSIDE DIAMETER OF THE SADDLE GASKET. THE HOLE SAW CUT EDGES SHALL BE SMOOTH.
4. THE COUPON SHALL BE RETAINED AND SURRENDERED TO THE INSPECTOR. THE PERMIT HOLDER WILL PAY ALL COSTS ASSOCIATED WITH THE LOCATION AND RETRIEVAL OF A LOST COUPON. ADDITIONALLY THE PERMIT HOLDER WILL BE HELD LIABLE FOR ANY SUBSEQUENT DAMAGES CAUSED BY A LOST COUPON.
5. BOLTS SHALL BE TORQUED TO MANUFACTURE SPECIFICATIONS, THEN RETORQUED AFTER 10 MINUTES.
6. NO TAPS SHALL BE ALLOWED ON EXISTING SEWER MAINS OVER 18" IN DIAMETER. CONNECTIONS INTO SEWER MAINS OVER 18" IN DIAMETER SHALL INTERSECT THE SEWER MAIN IN A MANHOLE. IN SOME CASES THE CITY ENGINEER MAY ALLOW A VARIANCE TO THIS REQUIREMENT.
7. ALL TRENCHING, BEDDING, AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY STANDARD DETAIL NO. 08.01.01. ALL ASPHALT REPAIR SHALL BE IN ACCORDANCE WITH CITY STANDARD NO. 01.01.20. ALL ADDITIONAL UTILITY AND RIGHT OF WAY REPAIRS SHALL BE IN ACCORDANCE WITH THE "CITY STANDARDS" MANUAL.
8. THE CITY OF PUYALLUP WILL CONDUCT A "SEWER MAIN VIDEO INSPECTION" OF THE SEWER TAP. THE PERMIT HOLDER WILL BE REQUIRED TO REPAIR ANY SEWER TAP CONSTRUCTION DEFECTS FOUND BY THE CITY INSPECTORS. THE COST OF ALL REPAIRS AND SUBSEQUENT "SEWER MAIN VIDEO INSPECTIONS" WILL BE THE RESPONSIBILITY OF THE PERMIT HOLDER. THE DAMAGE DEPOSIT POSTED BY THE BUILDER WILL BE HELD UNTIL PROBLEMS ARE CORRECTED. DUE TO PUBLIC HEALTH AND SAFETY, BUILDING OCCUPANCY WILL NOT BE ALLOWED UNTIL REPAIRS ARE COMPLETED AND ACCEPTED BY THE CITY ENGINEER.

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and
PUBLIC WORKS DEPARTMENTS

SEWER MAIN TAP

DESIGNED BY LINDA LEAN	CHECKED BY LINDA LEAN	APPROVED BY COLLEEN BARRETT	APPROVED BY LINDA LEAN	CITY STANDARD
DATE APPROVED 02/04/2022	DATE APPROVED 02/04/2022	SCALE AS SHOWN	SCALE 1:1	04.02.01

**RESIDENTIAL
SIDE SEWER CONNECTION**

1. PRIOR TO CONNECTING A NEW LATERAL TO AN EXISTING SEWER STUB, THE STUB MUST BE INSPECTED AND APPROVED BY THE CITY ENGINEER
2. WHEN THE SEWER MAIN IS IN A RIGHT-OF-WAY, A 6" CLEAN OUT IS REQUIRED AT THE EDGE OF THE RIGHT-OF-WAY.
3. WHEN THE SEWER MAIN IS IN AN EASEMENT, A 6" CLEAN OUT IS REQUIRED AT THE EDGE OF THE EASEMENT.
4. EACH CLEAN OUT ASSEMBLY SHALL CONSIST OF: ONE CLEAN OUT ADAPTOR, (HUB x FEMALE INSIDE PIPE THREAD, P.V.C. SLP IN), AND ONE CLEAN OUT PLUG (MALE OUTSIDE THREAD WITH RAISED NUT, P.V.C. SDR 35).
5. FOR NON-VEHICULAR TRAFFIC INSTALLATIONS USE "CARSON" MODEL 910 GREEN YARD BOX WITH BOLT DOWN LID MARKED SEWER OR APPROVED EQUAL.
6. FOR ASPHALT, GRAVEL, OR TRAFFIC INSTALLATIONS SEE CITY STANDARD DETAIL NO. 04.03.05 FRAME AND COVER SECTION.
7. SEWER PIPE, TRENCHING, BEDDING AND BACKFILL SHALL CONFORM TO CITY STANDARD NO. 06.01.01

CITY OF PUYALLUP
DEVELOPMENT ENGINEERING and
PUBLIC WORKS DEPARTMENTS

**SIDE SEWER
RESIDENTIAL CONNECTION**

DESIGNED BY LINDA LEAN	CHECKED BY LINDA LEAN	APPROVED BY COLLEEN BARRETT	APPROVED BY LINDA LEAN	CITY STANDARD
DATE APPROVED 02/04/2022	DATE APPROVED 02/04/2022	SCALE AS SHOWN	SCALE 1:1	04.03.03

CAD FILE: X:\Projects\2020 Projects\20.00471 All Sains 607 3rd St SW, Puyallup 98371\4Civil Engineering\Drawings\20.00471 WATER.dwg PLOT DATE/TIME: 5/20/2022 1:20 PM

NO.	DESCRIPTION	INIT	DATE

BEYLER CONSULTING
CORPORATE OFFICE
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

Plan, Design, Manage
CONSTRUCTION MANAGEMENT | PROJECT MANAGEMENT | PLANNING & FEASIBILITY
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

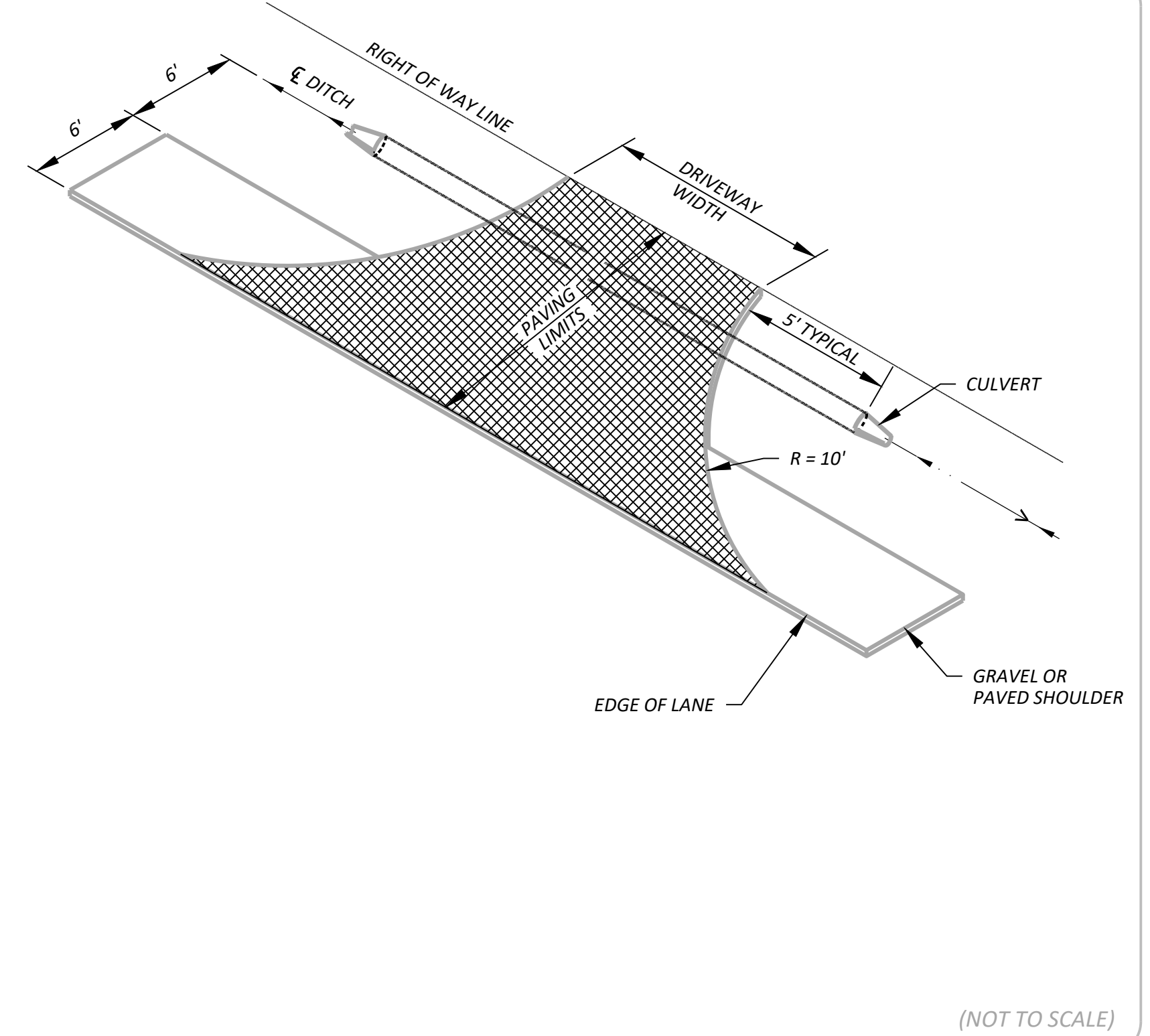
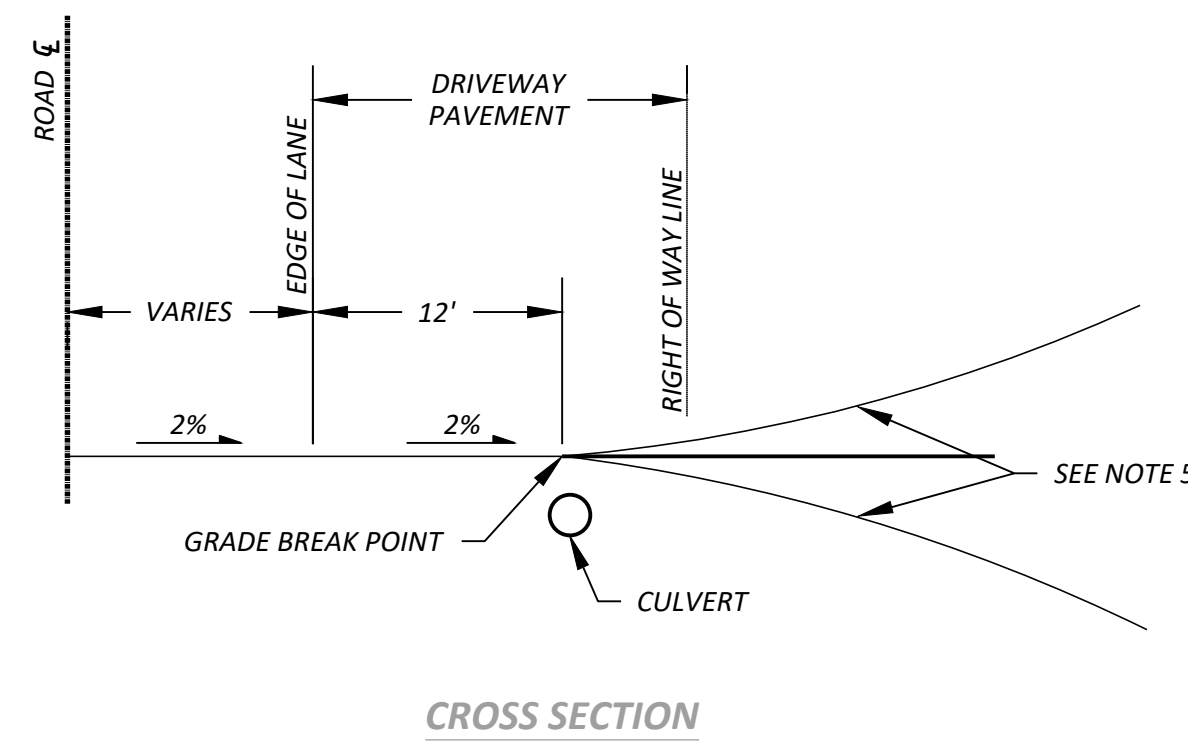
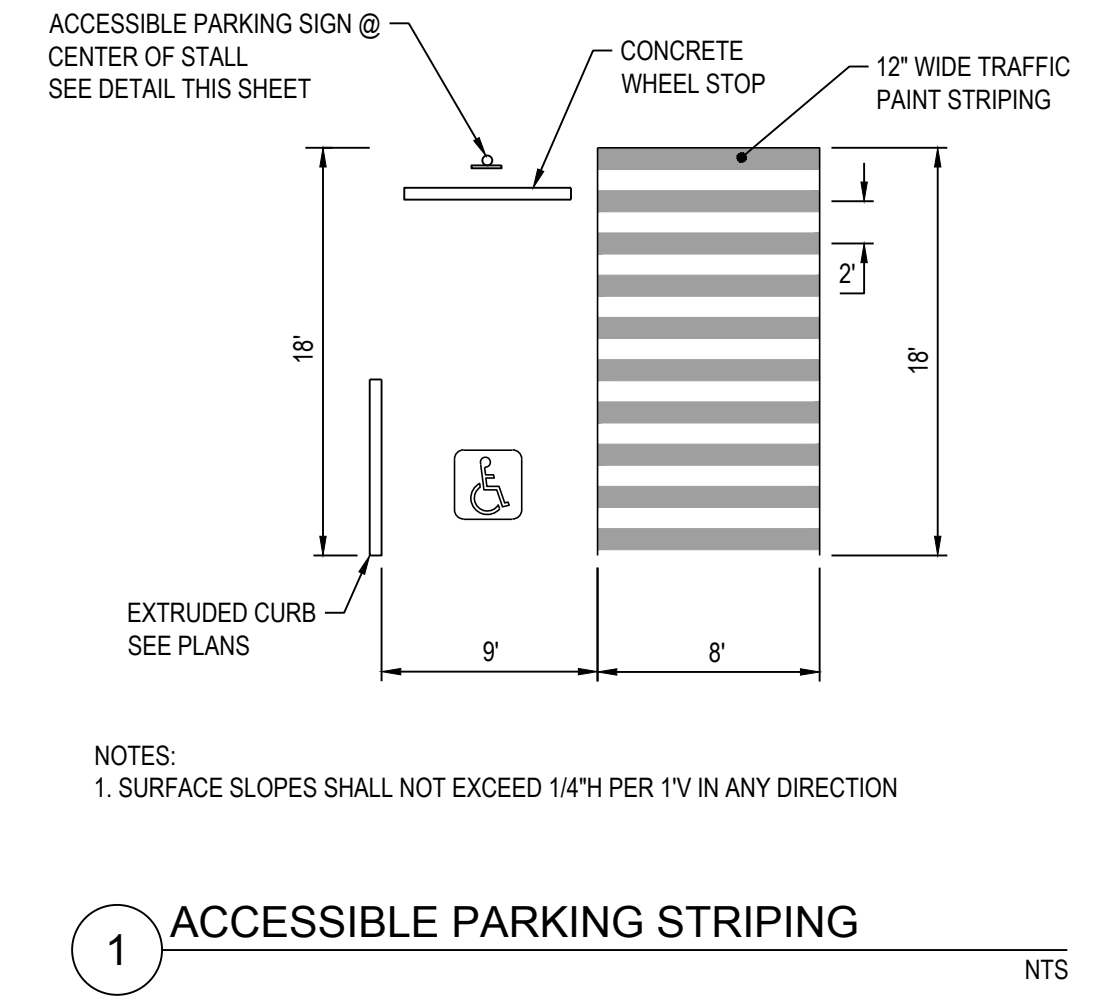
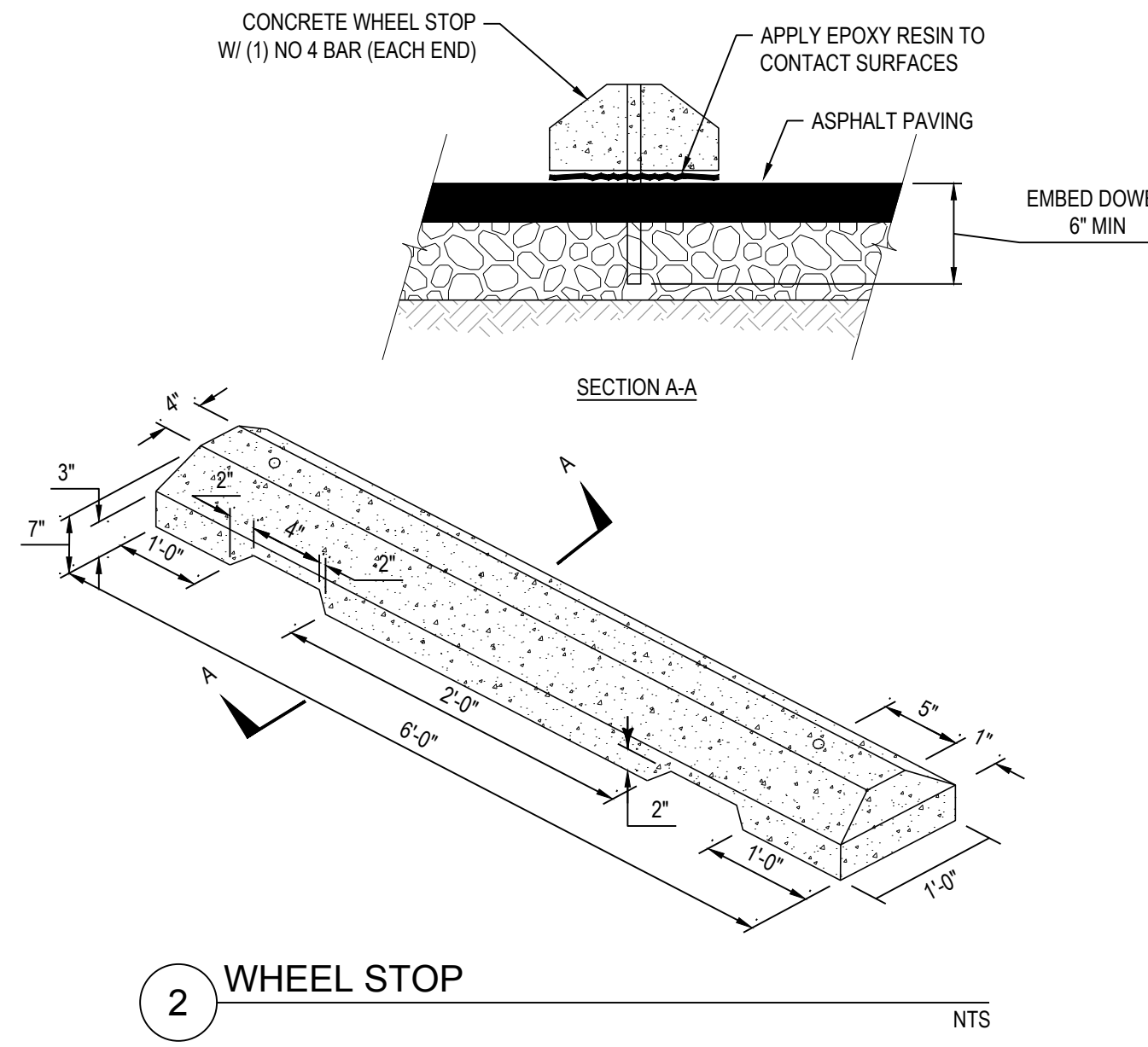
UTILITY NOTES & DETAILS
607 3RD ST SW
SITE DEVELOPMENT
CITY OF PUYALLUP
DESIGNED: JS
DRAWN: DHS/EJM
CHECKED: JDC
SCALE: VERT:
HORIZ:

WASHINGTON
DATE: 5/20/2022

REGISTERED PROFESSIONAL ENGINEER
STATE OF WASHINGTON
NO. 43645
5/20/2022

JOB NUMBER
20.00471
SHEET 7 OF 10
C5.1

SECTION 28, TOWNSHIP 20N, RANGE 04E, W.M.



- NOTES:
- 1) DRIVEWAY WIDTH = 15' MINIMUM TO 24' MAXIMUM, OR 30' MAXIMUM FOR THREE CAR GARAGE ON LOCAL ROAD.
 - 2) DRIVEWAY PAVING = 2" MINIMUM COMPACTED DEPTH HOT MIX ASPHALT CL. 1/2 IN. OVER 2" MINIMUM COMPACTED DEPTH CRUSHED SURFACING TOP COURSE, OR 6" MINIMUM CEMENT CONCRETE.
 - 3) STORM DRAINAGE FROM DRIVEWAY SHALL NOT BE PERMITTED TO DRAIN ONTO ROADWAY SURFACE, UNLESS ACCOUNTED FOR IN DESIGN OR OTHERWISE APPROVED BY ENGINEER.
 - 4) DRIVEWAY SHALL NORMALLY BE AT 90 DEGREES TO ROAD CENTERLINE, BUT CAN VARY FROM 75 DEGREES TO 90 DEGREES.
 - 5) RECOMMENDED MAXIMUM GRADES +/- 15% BEYOND GRADE BREAK POINT. VERTICAL CURVES NOT TO EXCEED A 3 1/4" CREST OR A 1" SAG IN A 10' CHORD.
 - 6) 12" MINIMUM CONCRETE CULVERT, LENGTH AS DETERMINED BY WIDTH OF DRIVEWAY, PLUS 5' AT EACH END, WITH BEVELED END SECTIONS.

3 DRIVEWAY APPROACH NTS

RESIDENTIAL DRIVEWAY
APPROACH,
SHOULDER AND
OPEN DRAINAGE

PC.F1.1

NO.	DESCRIPTION	INIT	DATE

BEYLER
CONSULTING
Plan. Design. Manage

CORPORATE OFFICE
5920 100th St. SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

PROJECT MANAGEMENT | PLANNING & FEASIBILITY
PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

GENERAL DETAILS

607 3RD ST SW
SITE DEVELOPMENT

CITY OF PUYALLUP

DESIGNED: JS
DRAWN: DHS/EJM
CHECKED: JDC
SCALE: HORZ:
VERT:
DATE: 5/20/2022

WASHINGTON

PROFESSIONAL ENGINEER

43645

5/20/2022

JOB NUMBER
20.00471

SHEET 8 OF 10

C6.0

SECTION 28, TOWNSHIP 20N, RANGE 04E, W.M.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCY PRIOR TO COMMENCING WORK. CONTRACTOR SHALL CONTACT LINE LOCATORS (811) A MIN. OF 48 HOURS PRIOR TO ANY DIGGING OR TRENCHING. IF THERE ARE ANY DISCREPANCIES WITH EXISTING LINES AND LANDSCAPING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LANDSCAPE ARCHITECT AND REQUEST A SITE VISIT TO ADDRESS THE CONFLICTS. CONTRACTOR SHALL COMPLY AND CONFORM TO ANY AND ALL LOCAL AND STATE CODES FOR WORK, SCHEDULES AND ANY OTHER PROJECT RELATED REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE LANDSCAPE ARCHITECT FOR ALL LANDSCAPE RELATED ISSUES, CONCERNS, INSPECTIONS AND APPROVALS. CONTRACTOR SHALL PROVIDE THE LANDSCAPE ARCHITECT WITH A WRITTEN REQUEST FOR A SITE VISIT TO ADDRESS ANY RELATED ITEMS.
- SCOPE OF WORK SHALL INCLUDE ANY AND ALL SPECIFIED AND UNSPECIFIED BUT RELATED INCIDENTAL WORK TO ACHIEVE THE DESIGN INDICATED ON THE LANDSCAPE PLANS. ALL LABOR, MATERIALS, SUBCONTRACTORS, EQUIPMENT, AND RELATED INCIDENTAL ITEMS SHALL BE SUPPLIED AND INSTALLED TO ACHIEVE A COMPLETE PROJECT, UNLESS DIRECTED OTHERWISE BY THE GENERAL CONTRACTOR OR LANDSCAPE ARCHITECT.
- CONTRACTOR TO VERIFY ALL SUB GRADES ARE SET BELOW REQUIRED AMENDMENTS TO INSURE THE FINISHED GRADE WILL MATCH WHAT IS INTENDED BY CIVIL OR DRAINAGE DESIGN. ALL SUB GRADES AND FINISHED OR FINAL GRADES SHALL BE GRADED TO DRAIN TO THE DESIGNED DRAINAGE SYSTEM WITH POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- GRADE PREPARATION BASED ON VEGETATIVE MANGEMENT STANDARDS REQUIREMENTS:
A. SLOPES USED FOR GRASS PLANTINGS OR TURF SHALL BE LESS THAN 3:1 OR 33 PERCENT. OTHERWISE PLANTINGS SHOULD NOT REQUIRE MECHANIZED MOWING EQUIPMENT.

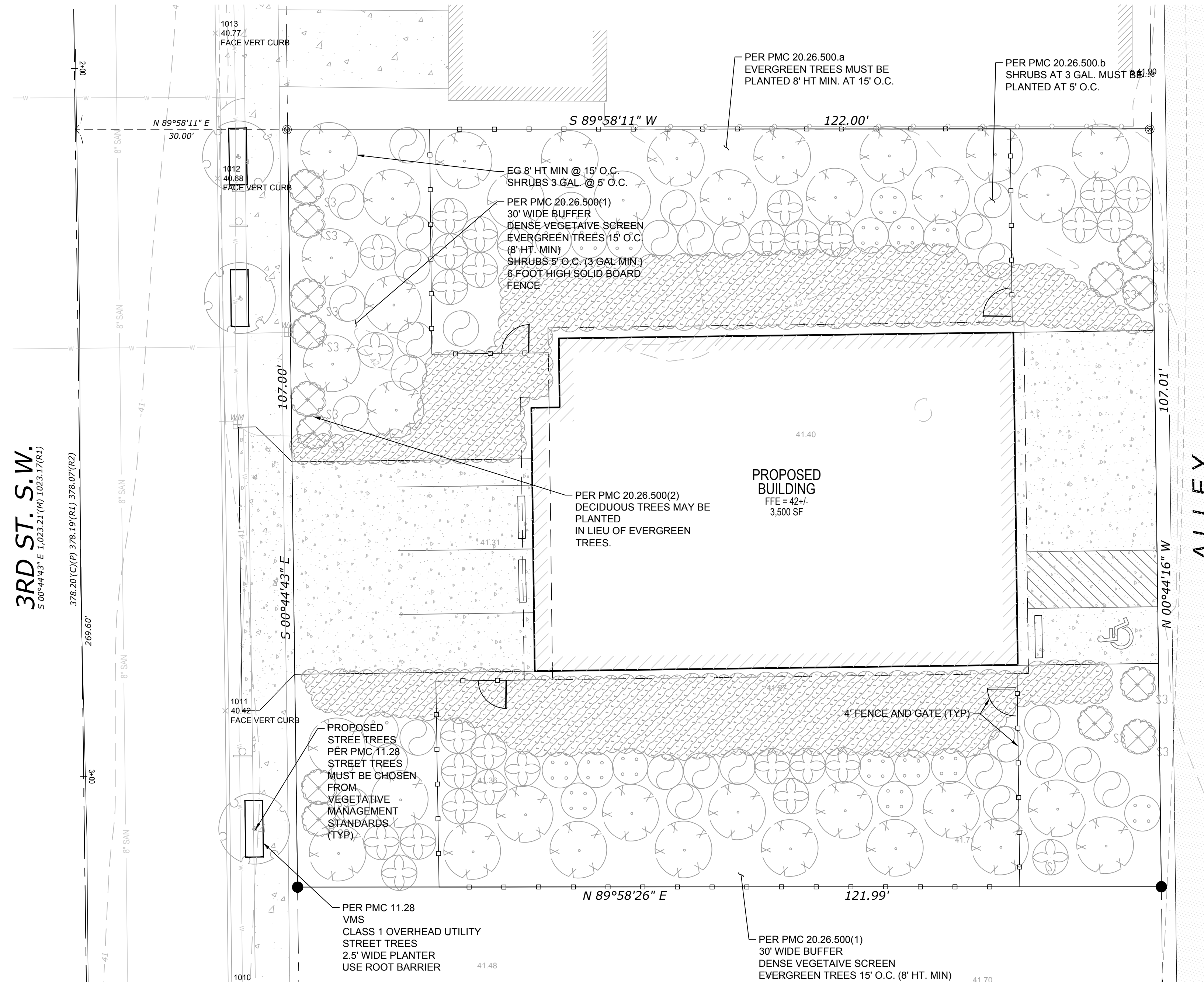
SOIL PREPARATION.

- EXCAVATE SOIL - EXCAVATE EXISTING SOIL TO A DEPTH OF 24" (OR EQUAL TO THE ROOT BALL DEPTH, WHICHEVER IS GREATER) AND WIDTH OF 8" (OR THREE TIMES (3X) WIDER THAN THE ROOT BALL OR ROOT MASS, WHICHEVER IS GREATER). STOCKPILE EXCAVATED SOIL ON A TARP AWAY FROM THE STREET AND STORM WATER CATCH BASINS.
- PREPARE THE PLANTING STRIP - AFTER EXCAVATING ALL MATERIALS FROM THE PLANTER STRIP, SCARIFY AND RIP THE SUB-BASE (BY MECHANICAL MEANS OR HAND TOOLS) TO A DEPTH OF 6" WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER PRIOR TO PLANTING THE TREE, RE-COMPACT THE TREE BASE WHERE THE STREET TREE WILL BE PLANTED TO AVOID SETTING OF THE ROOT BALL. AT THIS STAGE, IF THE TREE IS TO BE PLANTED WHEN THE PLANTER STRIP IS BACKFILLED WITH AMENDED TOP SOIL, THE CONTRACTOR/INSTALLER SHOULD MEASURE THE DEPTH OF THE ROOT BALL TO DETERMINE WHEN TO PLACE THE TREE IN THE PIT DURING THE BACKFILLING PROCESS. IF THE ROOT BALL OR ROOT MASS (IN THE CASE OF BARE ROOT TREES) IS LESS THAN 24", THE STREET TREE SHALL BE PLANTED IN A MANNER IN WHICH THE ROOT FLARE IS LEVEL WITH OR AT LEAST 1" ABOVE GRADE AT THE TIME OF FINISHED PLANTING. THIS MAY REQUIRE THE ROOT BALL BE PLACED ON A COMPACTED SUB-BASE OF THE COMPOST AMENDED TOP SOIL AS BACKFILLING IS OCCURRING.
- INSTALL ROOT BARRIER PANELS - AT THIS STAGE THE CONTRACTOR/INSTALLER SHALL PLACE 24" DEEP ROOT BARRIER PANELS (UB-24) ALONG THE EDGE OF THE SIDEWALK AND CURB LINE FOR A TOTAL OF EIGHT FEET (8') OF LINEAL PROTECTION ALONG EITHER SIDE OF THE PLANTING AREA. THE PANELS SHALL BE INSTALLED PERPENDICULAR TO THE EDGE OF PAVED SURFACE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS FOR A LINEAR APPLICATION; THE ROOT BARRIER PANELS SHALL NOT BE INSTALLED IN THE PLANTING PIT AS A 'SURROUND' APPLICATION, UNLESS SPECIFIED ON THE FINAL LANDSCAPE PLANS. THE TOP OF THE ROOT BARRIER PANEL SHALL BE INSTALLED SUCH THAT 1/2" OF THE ROOT BARRIER IS ABOVE THE FINISHED GRADE.
- COMPOST AMENDED TOP SOILS REQUIRED - THE TOP SOIL SHALL BE AMENDED ON SITE DURING INSTALLATION WITH COMPOST TO ACHIEVE A 40 PERCENT BY VOLUME TOP SOIL MIX IN THE RIGHT-OF-WAY PLANTER STRIP. IMPORTED TOP SOIL MAY BE USED BY THE CONTRACTOR/INSTALLER IF DATA 'CUT SHEETS' ARE AVAILABLE FROM THE SUPPLIER CERTIFYING COMPOST AMENDMENT EQUALING 40 PERCENT BY VOLUME USING ONE OF THE APPROVED COMPOST SOURCES BELOW. COMPOST SHALL ONLY BE SOURCED FROM:
CASCADE COMPOST - (ALSO KNOWN AS PREPILRI) (AVAILABLE THROUGH PIERCE COUNTY RECYCLING, COMPOSTING & DISPOSAL, 10308 SALES ROAD, TACOMA, WASHINGTON 98499, OR RETAIL/WHOLESALE LANDSCAPE MATERIAL SUPPLIERS)
TAGRO COMPOST MIX - AVAILABLE THROUGH CITY OF TACOMA, 2201 PORTLAND AVENUE, GATE 6, TACOMA, WA, 98421, OR RETAIL/WHOLESALE LANDSCAPE MATERIAL SUPPLIERS)
CEDAR GROVE COMPOST - (AVAILABLE THROUGH CEDAR GROVE COMPOST, 17825 CEDAR GROVE ROAD S.E., MAPLE VALLEY, 98038, OR RETAIL/WHOLESALE LANDSCAPE MATERIAL SUPPLIERS)
- INSTALL AND AMEND TOP SOILS - TO AVOID STRATIFIED LAYERS, FIRST PLACE SEVEN INCHES (7") OF APPROVED TOP SOIL IN THE PREPARED/SCARIFIED PLANTING STRIP AREA AND MECHANICALLY TILL IN FIVE INCHES (5") OF APPROVED COMPOST; FOLLOW THIS PROCEDURE TWICE TO ACHIEVE THE TOTAL 24" TOP SOIL DEPTH. FINISHED GRADE OF TOP SOIL SHOULD BE 1/2" BELOW THE EDGE OF SIDEWALK TO ALLOW THE ROOT BARRIER PANEL TO BE PROPERLY INSTALLED ABOVE FINISHED GRADE.
- INSTALL TREE STAKES AND FINISH MULCH - PLACEMENT OF FOUR INCHES (4") OF WOOD CHIP MULCH, WATER BASIN RINGS, TREE STAKING AND TEMPORARY IRRIGATION BAGS (WHERE REQUIRED) SHALL FOLLOW CITY STANDARD #01.02.07.1.

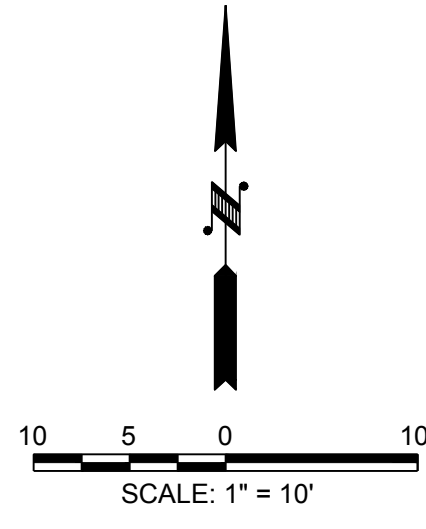
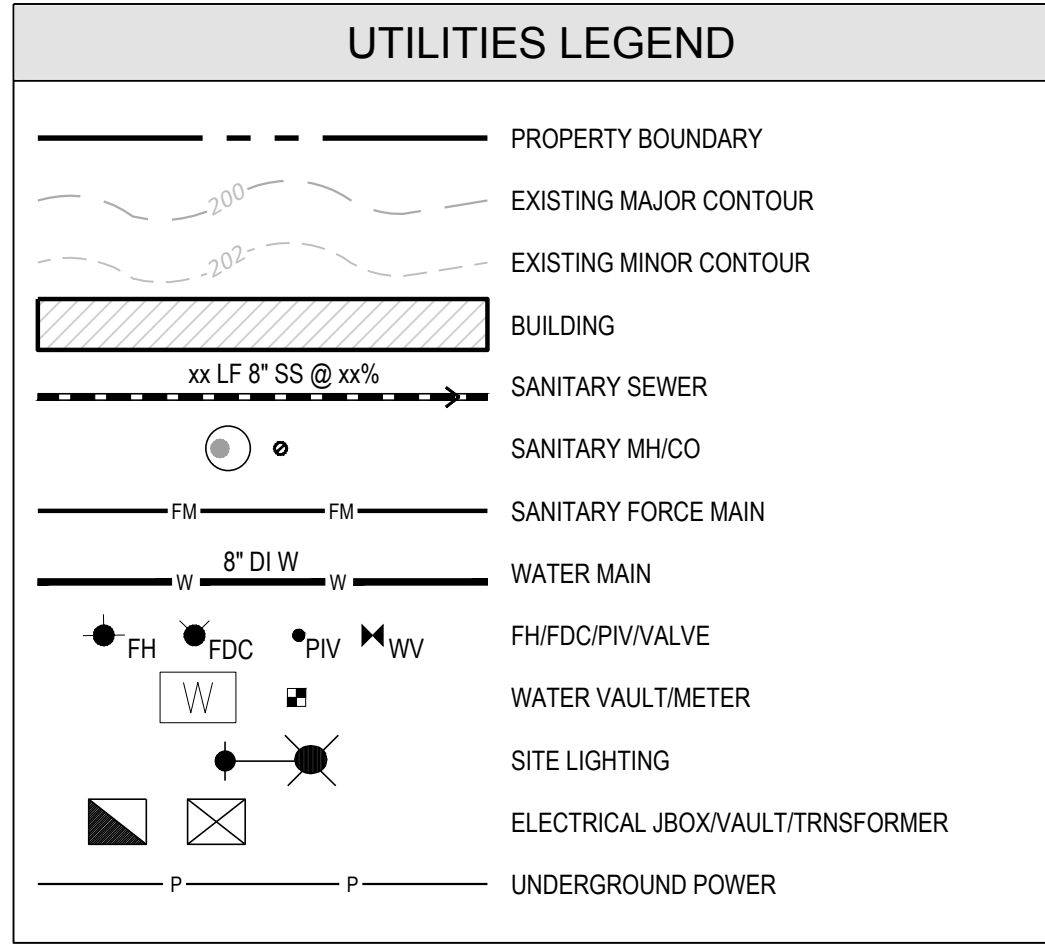
- MULCHING OF NEWLY PLANTED OR REPLANTED AREAS.
IN A PLANTER STRIP WHICH ALREADY EXISTS AND A NEW STREET TREE SHALL BE INSTALLED, THE FOLLOWING PROCEDURES SHALL BE FOLLOWED TO ACHIEVE A TOP SOIL MIX WITH 40 PERCENT COMPOST BY VOLUME

- MULCHES MUST BE APPLIED TO THE FOLLOWING DEPTHS: A MINIMUM 4 (FOUR) INCHES OVER BARE SOIL, AND TWO INCHES WHERE PLANT MATERIALS WILL COVER.
- MULCHES MUST INCLUDE ORGANIC MATERIALS, ORGANIC COMPOST MULCH MATERIAL OR WOOD CHIPS OVER A PROPERLY CLEANED, AMENDED AND GRADED SURFACE.
- NONPOROUS MATERIALS, SUCH AS PLASTIC SHEETING, SHALL NOT BE USED IN ANY AREA OF THE LANDSCAPE BECAUSE OF DOWN-SLOPE EROSION AND POTENTIAL SOIL CONTAMINATION FROM HERBICIDE WASHING.
- MULCH SHOULD BE APPLIED REGULARLY TO AND MAINTAINED IN ALL PLANTING AREAS TO ASSIST SOILS IN RETAINING MOISTURE, REDUCING WEED GROWTH, AND MINIMIZING EROSION.

- CONTRACTOR SHALL FIELD LAYOUT ALL PLANT MATERIAL AND CONTACT THE LANDSCAPE ARCHITECT FOR A SITE VISIT TO APPROVE THE LAYOUT. ANY FIELD MODIFICATIONS SHALL BE DONE BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY POOR DRAINAGE CONDITION IN LANDSCAPE AREAS. NO STANDING WATER SHALL BE PERMITTED IN ANY LANDSCAPE AREAS - EITHER ON THE SURFACE OR BELOW THE TOPSOIL. THE LANDSCAPE ARCHITECT SHALL COORDINATE THE DRAINAGE SOLUTION WITH THE GENERAL CONTRACTOR AND CIVIL ENGINEER. ONCE THE CONCERNS HAVE BEEN REMEDIATED PLANTING SHALL COMMENCE.
- ALL GROUNDCOVER TO BE PLANTED IN A TRIANGULAR SPACING FORMATION, EQUAL IN ALL DIRECTIONS TO THE CENTERS OF THE GROUNDCOVERS IN DISTANCES INDICATED IN THE LEGEND. CONTRACTOR SHALL VERIFY ALL QUANTITIES OF GROUNDCOVERS BY AREA CALCULATIONS AND SPACING REQUIREMENTS.
- LANDSCAPING IS TO BE PER PLAN. PLANT SUBSTITUTIONS DUE TO AVAILABILITY OR OTHERWISE WILL BE ALLOWED ONLY WITH LANDSCAPE ARCHITECT, OWNER AND AGENCY APPROVAL. ANY SUBSTITUTIONS WILL BE WITH MATERIAL OF SIMILAR SIZE, GROWTH CHARACTERISTICS, AND QUALITY.
- ALL TREES MUST BE STAKED AS NECESSARY SO AS TO MAINTAIN MATERIAL IN A HEALTHY, VIGOROUS GROWING CONDITION.
- LANDSCAPING SHALL BE INSTALLED IN A PROFESSIONAL WORKMANLIKE MANNER THAT IS CONSISTENT AND ACCEPTED THROUGHOUT THE INDUSTRY. ALL LANDSCAPE AND IRRIGATION WORK SHALL BE PERFORMED BY EXPERIENCED PERSONS FAMILIAR WITH SCOPE OF PROJECT.
- ALL LANDSCAPE MATERIAL AND LABOR IS TO BE GUARANTEED FOR A PERIOD OF ONE FULL YEAR FROM THE TIME OF COMPLETION.
- WHEN PLANTING 'BALLED AND BURLAPPED' PRODUCT, REMOVE ALL BURLAP, STRING & WIRE FROM ANY B&B PLANT MATERIAL, CUT AND REMOVE JUTE STRINGS. GENTLY PLACE IN TACT ROOTBALL INTO PLANTING PIT. IF ROOTBALL BREAKS OR IS NOT SOLID - THE PLANT IS UNACCEPTABLE AND SHALL BE REPLACED.
- STREET TREES SHALL HAVE CALIPER SIZE OF AT LEAST 1" MEASURE PER AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR DECIDUOUS TREES PLANT SIZES: 5' MINIMUM HEIGHT FOR EVERGREEN TREES; 2 GAL. MIN. FOR SHRUBS.
- STREET TREES SHALL BE HIGH BRANCHING WITH CANOPY THAT STARTS AT LEAST 6' ABOVE FINISH GRADE.
- ALL PLANT I.D. TAGS ARE TO REMAIN ON THE PLANT MATERIAL UNTIL FINAL INSPECTION HAS BEEN COMPLETED. ONCE APPROVED ALL PLANT I.D. TAGS SHALL BE REMOVED AND DISCARDED APPROPRIATELY.
- TREES SHALL BE CARED FOR IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) STANDARD PRACTICES FOR TREES, SHRUBS AND OTHER WOODY PLANT MAINTENANCE (ANSI 300) IN ORDER TO ALLOW THEM TO REACH THERE MATURE HEIGHT AND FORM.
- PRUNING OF STREET TREES SHALL BE PERFORMED PER THE ANSI 300 STANDARDS SO AS TO MAINTAIN THE NATURAL FORM OF THE TREE. ENCOURAGE VIGOROUS GROWTH TO A MATURE SPREAD AND HEIGHT, AND AVOID WEAKENING THE TREE TO CREATE A HAZARD. STREET TREES SHALL NOT BE TOPPED POLLARDED, OR OTHERWISE PRUNED IN A MANNER CONTRARY TO THESE GOALS, UNLESS THERE IS NO PRACTICABLE ALTERNATIVE THAT WOULD PRESERVE ESSENTIAL UTILITY SERVICES.
- PLANT MATERIAL SELECTED IS DROUGHT TOLERANT OR NATIVE SPECIES. THE PROJECT PROPONENT SHALL BE RESPONSIBLE FOR MAINTAINING AND WATERING ALL PLANT MATERIAL THROUGHOUT THE FIRST GROWING SEASON AND IN TIMES OF DROUGHT. A PERMANENT IRRIGATION SYSTEM WILL BE DESIGNED UPON APPROVAL OF PRELIMINARY LANDSCAPE PLAN.
- ALL LANDSCAPING STRIPS AND ISLANDS INTERNAL TO THE SITE AS PAVED AREAS/PARKING LOTS SHALL BE DESIGNED AND INSTALLED USING A MINIMUM OF 1.5 (18) OF TOP SOIL DEPTH; SUBSOILS BELOW THE TOPSOIL LAYER SHALL BE SCARIFIED AT LEAST 6 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS.
- A MINIMUM OF EIGHT (8) INCHES OF TOP SOIL, CONTAINING TEN PERCENT DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE ORIGINAL UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT (8) INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST SIX (6) INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID THE STRATIFIED LAYERS, WHERE FEASIBLE. INSTALLATION OF THE EIGHT (8) INCHES OF TOP SOIL, AS DESCRIBED ABOVE, SHALL GENERALLY BE ACHIEVED BY PLACING FIVE (5) (SUB-BASE SCARIFIED FOUR (4) INCHES) WITH A THREE (3) INCH LAYER OF COMPOST TILLED INTO THE ENTIRE DEPTH.



PLANT SCHEDULE			
TREES	BOTANICAL / COMMON NAME	SIZE	QTY
	Acer circinatum Vine Maple	8' Ht.	3
	Pinus contorta Shore Pine	8' Ht.	35
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY
	Mahonia aquifolium Oregon Grape	3 gal.	30
	Myrica californica Pacific Wax Myrtle	3 gal.	30
	Ribes sanguineum Red Flowering Currant	3 gal.	18
	Symphoricarpos albus Common White Snowberry	3 gal.	14
GROUND COVERS	BOTANICAL / COMMON NAME	SIZE	QTY
	Fragaria chiloensis Beach Strawberry	---	2,294 sf



NO.	DESCRIPTION	INIT	DATE

BEYLER CONSULTING
 CORPORATE OFFICE
 5920 100th St SW, Ste #25
 Lakewood, WA 98499
 (253) 984-2900
 beylerconsulting.com

Plan. Design. Manage
 CONSULTING
 PROJECT MANAGEMENT | PLANNING & FEASIBILITY
 PERMITTING SERVICES | CONSTRUCTION MANAGEMENT

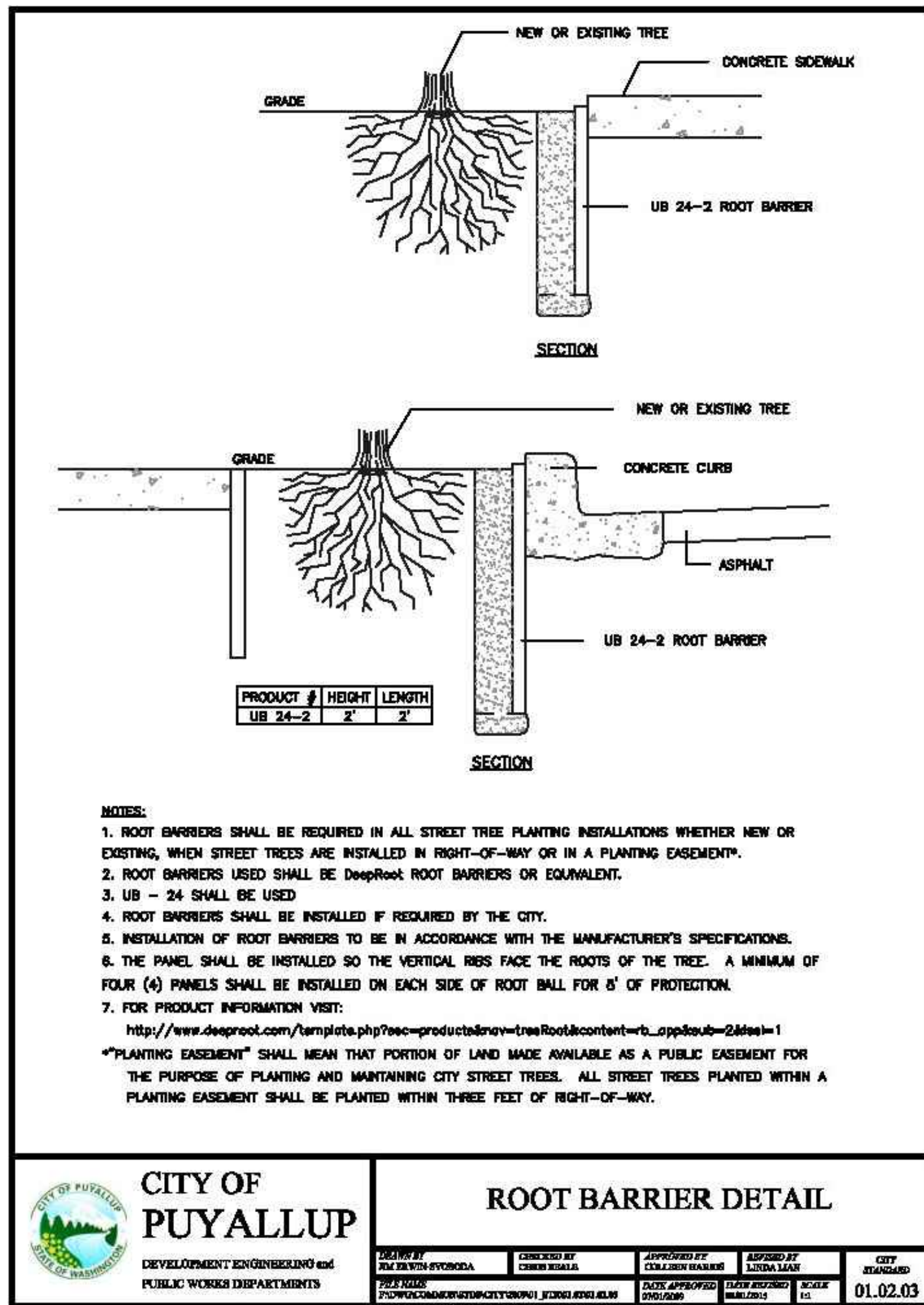
LANDSCAPING PLAN & NOTES

607 3RD ST SW
 SITE DEVELOPMENT

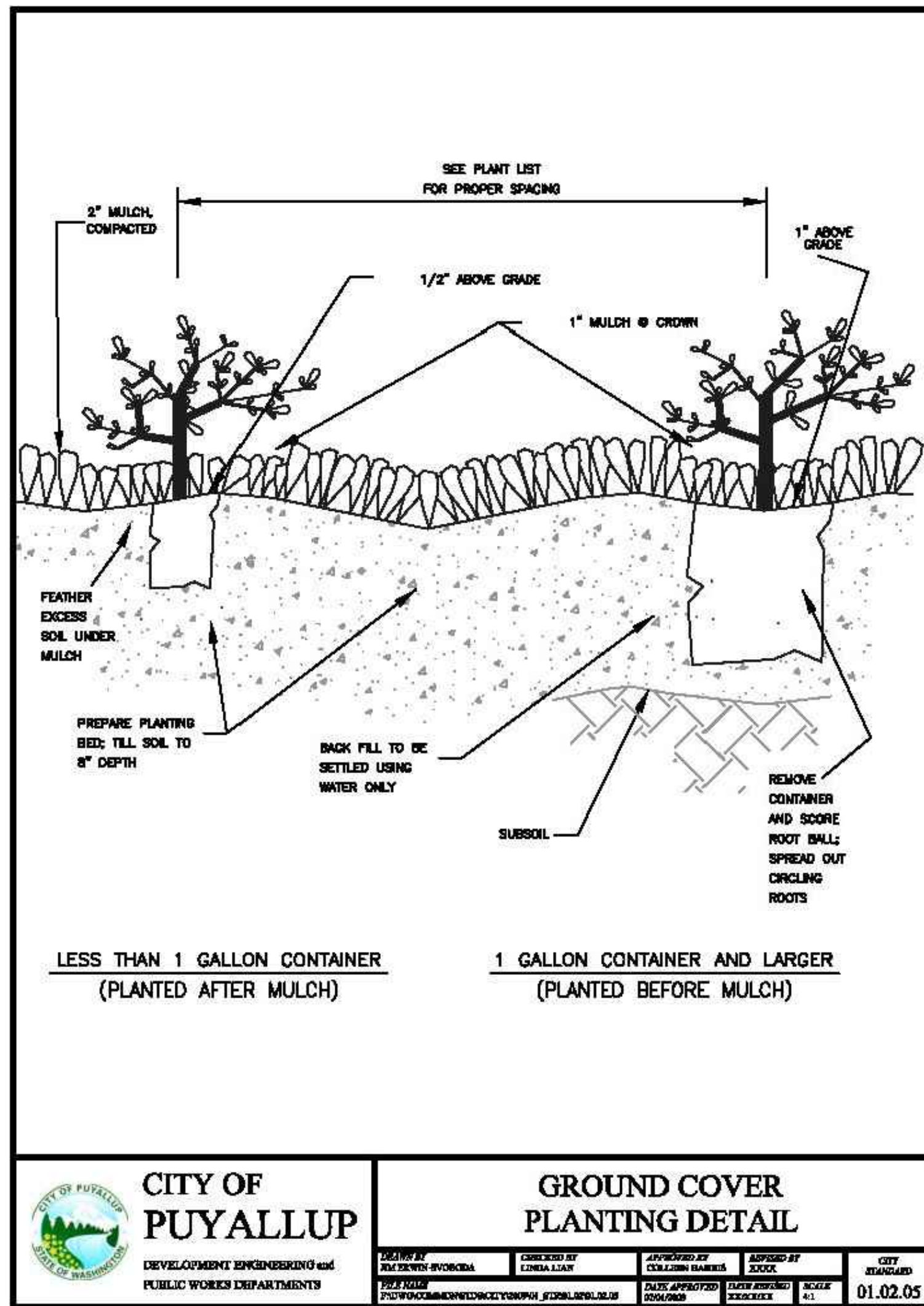
CITY OF PUYALLUP WASHINGTON
 DESIGNED: J.S. DRAWN: DHS/EJM CHECKED: JDC SCALE: 1" = 10' DATE: 5/20/2022

JOB NUMBER
20.00471
 SHEET 9 OF 10
C7.0

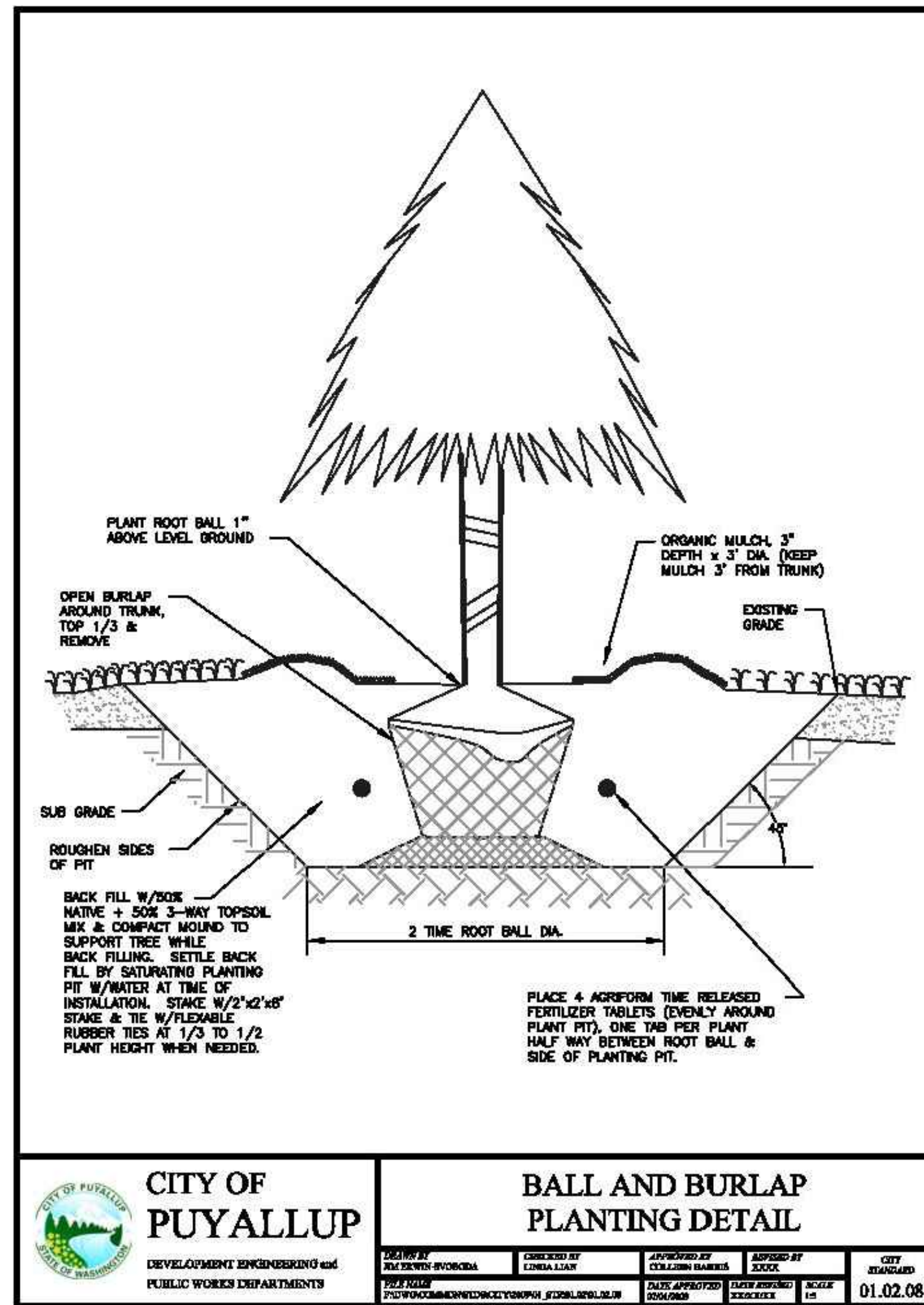
CAD FILE: X:\Projects\2020 Projects\60471 - 607 3rd St SW_Puyallup\607 3rd St SW_Puyallup Drawings\607 3rd St SW_Puyallup.dwg
 PLOT DATE/TIME: 5/20/2022 1:20 PM



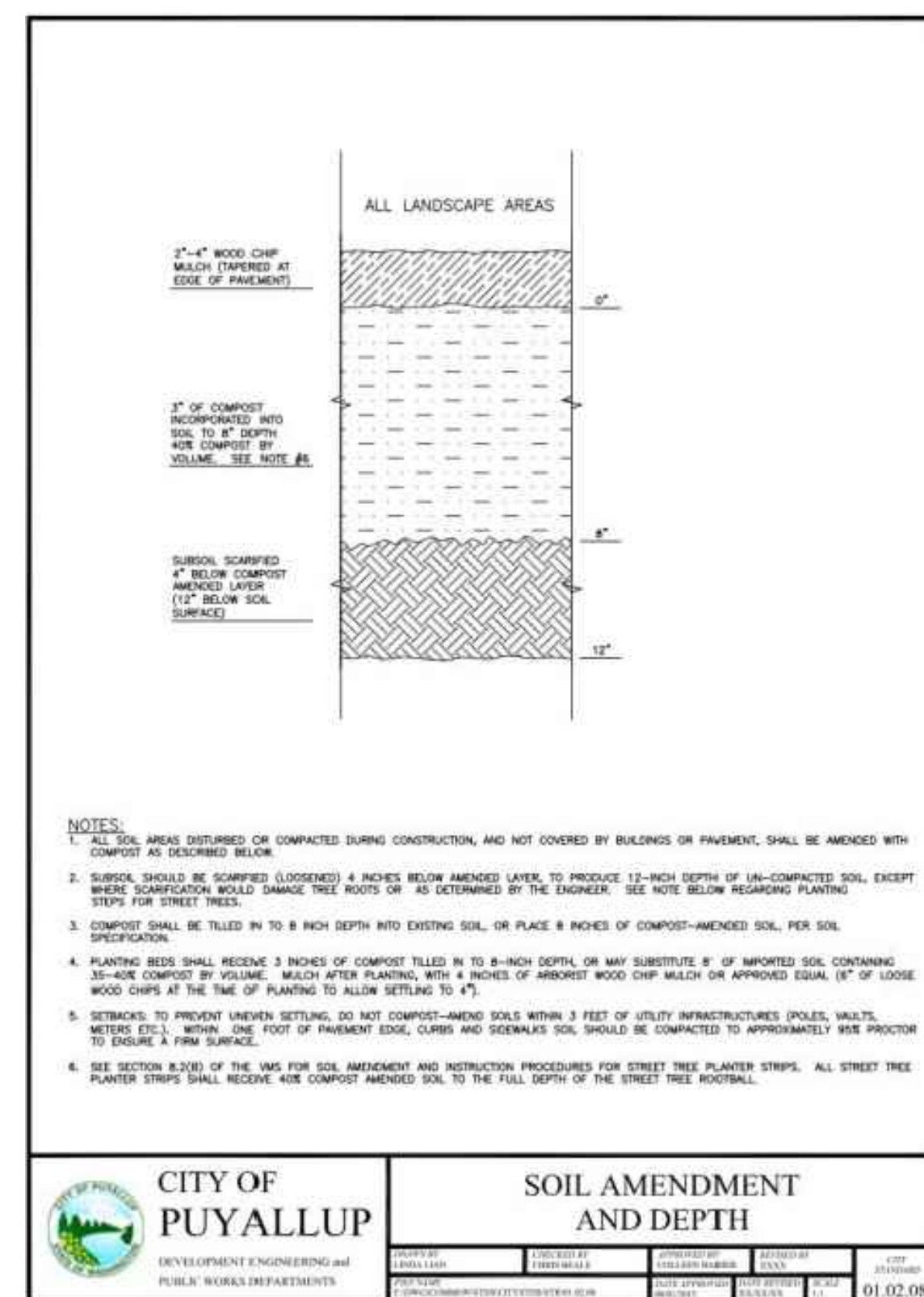
<p>CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS</p>	ROOT BARRIER DETAIL				
	DRAWN BY RUE BERTON BYRONDA	CHECKED BY CHRIS SHALLA	APPROVED BY COLLEEN HARRIS	APPROVED BY LINDA LARL	CITY STANDARD
DATE APPROVED 02/08/2022	DATE APPROVED 02/08/2022	SCALE AS SHOWN	CITY STANDARD	DATE 01.02.03	



<p>CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS</p>	GROUND COVER PLANTING DETAIL				
	DRAWN BY RUE BERTON BYRONDA	CHECKED BY LINDA LARL	APPROVED BY COLLEEN HARRIS	APPROVED BY LINDA LARL	CITY STANDARD
DATE APPROVED 02/08/2022	DATE APPROVED 02/08/2022	SCALE AS SHOWN	CITY STANDARD	DATE 01.02.05	



<p>CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS</p>	BALL AND BURLAP PLANTING DETAIL				
	DRAWN BY RUE BERTON BYRONDA	CHECKED BY LINDA LARL	APPROVED BY COLLEEN HARRIS	APPROVED BY LINDA LARL	CITY STANDARD
DATE APPROVED 02/08/2022	DATE APPROVED 02/08/2022	SCALE AS SHOWN	CITY STANDARD	DATE 01.02.08	



<p>CITY OF PUYALLUP DEVELOPMENT ENGINEERING and PUBLIC WORKS DEPARTMENTS</p>	SOIL AMENDMENT AND DEPTH				
	DRAWN BY RUE BERTON BYRONDA	CHECKED BY LINDA LARL	APPROVED BY COLLEEN HARRIS	APPROVED BY LINDA LARL	CITY STANDARD
DATE APPROVED 02/08/2022	DATE APPROVED 02/08/2022	SCALE AS SHOWN	CITY STANDARD	DATE 01.02.08a	

NO.	DESCRIPTION	DATE

BEYLER CONSULTING

Plan, Design, Manage

CORPORATE OFFICE
5920 100th St SW, Ste #25
Lakewood, WA 98499
(253) 984-2900
beylerconsulting.com

LANDSCAPING DETAILS

607 3RD ST SW
SITE DEVELOPMENT

CITY OF PUYALLUP WASHINGTON

DESIGNED BY: JS DRAWN: DHS/EJM CHECKED: JDC SCALE: VERT: DATE: 5/20/2022

5/20/2022

JOB NUMBER
20.00471

SHEET 10 OF 10
C7.1