

Abbreviations

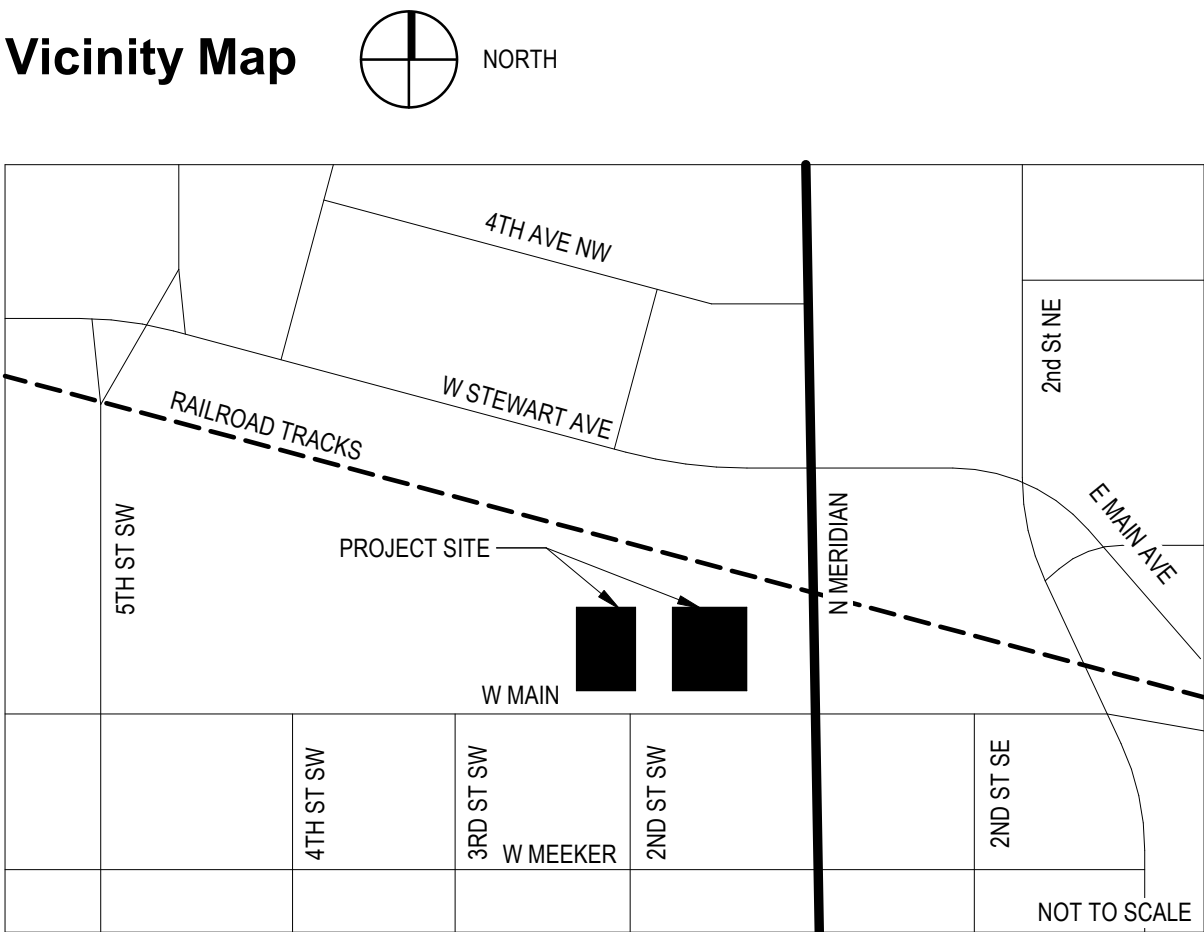
AB	ANCHOR BOLT
AC	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
A/E	ARCHITECT OR ENGINEER
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ALUM	ALUMINUM
AND	AND/ODD
APC	ACOUSTIC PANEL CEILING
ARCH	ARCHITECT, ARCHITECTURAL
ASF	ALUMINUM STOREFRONT
BAR	REINFORCING BAR
BFF	BELOW FINISH FLOOR
BLDG	BUILDING
BLKG	BLOCKING
BMU	BRICK MASONRY UNIT
BO	BOTTOM OF
BS	BOTH SIDES
BTWN	BETWEEN
BUR	BUILT-UP ROOF
CG	CORNER GUARD
CH	CEILING HEIGHT
CIP	CAST-IN-PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CR	COLD ROLLED
CT	CERAMIC TILE
CTR	CENTER
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DL	DOWNLOAD
DN	DOWN
DP	DIMENSION POINT
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
(E)	EXISTING
E	EAST
EA	EACH
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EXH	EXHAUST
EXP	EXPANSION
EXT	EXTERIOR
F	FIXTURE (LIGHT FIXTURE)
FB	FLAT BAR
FBO	FURNISHED BY OWNER
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FG	FINISH GRADE
FIN	FINISH
FINT	FIXTURE
FLSHG	FLASHING
FND	FOUNDATION
FO	FACE OF
FOIC	FURNISHED BY OWNER
FOIO	INSTALLED BY CONTRACTOR
FT	FOOT, FEET
FTG	FOOTING
FV	FIELD VERIFY
GA	GAUGE
GB	GRAB BAR
G&S	GLUE & SCREW
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GL	GRID LINE
GMT	GLASS MOSAIC TILE
GWB	GYPSPUM BOARD
GS	GYPSPUM SHEATHING
H	HIGH
HI	HIGH
HWHR	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR CONDITIONING
HWD	HARDWOOD
HWH	HOT WATER HEATER
ID	INSIDE DIAMETER
IN	INCH
INCL	INCLUDE, INCLUDING
INSUL	INSULATE, INSULATION
INT	INTERIOR
JT	JOINT
KO	KNOCK OUT
L	LOCK
L	LONG
L	LOW
LAM	LAMINATE, LAMINATED
LAV	LAVATORY
LL	LIVE LOAD
LN	LINOLEUM
LO	LOW
LT	LIGHT
LV	LIGHT VALENCE

MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MB	METAL BASE
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTL	METAL
MW	MICROWAVE
N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OCC	OCCUPANTS, OCCUPANCY
OD	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHAND
OPNG	OPENING
OPP	OPPOSITE VIEW
OTS	OPEN TO STRUCTURE
P	PAINT
P-	PLUMBING FIXTURE
PC	POLYMER CEMENT
PERF	PERFORATED
PH	PANIC HARDWARE
PL	PLATE
PLM	PLASTIC LAMINATE
PLAS	PLASTIC
PLYWD	PLYWOOD
PNL	PANEL
PNT	PAINT, PAINTED
PREFAB	PREFABRICATED
PREFIN	PREFINISHED
PT	PRESSURE TREATED
PTH	PAPER TOWEL HOLDER
R	RADIUS
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFER, REFERENCE
REFR	REFRIGERATOR
REINF	REINFORCE, REINFORCED
REQD	REQUIRED
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
RP	RESIN PANEL
SCHED	SCHEDULE
SD	SMOKE DETECTOR
SF	SQUARE FEET
SHT	SHEET
SHTG	SHEATHING
SIM	SIMILAR
SMC	SUSPENDED METAL CEILING
SOG	SLAB ON GRADE
SP	SPLASH PAN
SPEC	SPECIFICATION, SPECIFIED
SQ	SQUARE
SSF	SOLID SURFACING
STL	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STN	STAIN
STRUCT	STRUCTURAL
SUSP	SUSPENDED
T	THERMOSTAT
T&G	TONGUE & GROOVE
TEL	TELEPHONE
TEMP	TEMPORARY
TEMP	TEMPERED
THK	THICK
TO	TOP OF
TOS	TOP OF STRUCTURE
TOW	TOP OF WALL
TS	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	VERIFY
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VP	VENEER PLASTER
W	WATT(S)
W	WIDE
W	WINDOW
WI	WITH
WC	WATER CLOSET
WD	WOOD
WD	WASHER/DRYER
W/O	WITHOUT
WP	WATERPROOF
WT	WEIGHT
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH
&	AND
L	ANGLE
@	AT
C	CHANNEL
#	NUMBER

Drawing Symbols

	NORTH ARROW
	GRID LINE MARKER
	EXTERIOR ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL
	INTERIOR ELEVATIONS
	ROOM NAME
	ROOM NUMBER
	FLOOR FINISH (FINISH COLOR)
	WINDOW TYPE
	DOOR NUMBER
	RELITE TYPE
	CEILING TYPE
	CEILING HEIGHT
	PARTITION TYPE
	MATERIAL TAG
	ELEVATION
	EXISTING TOPOGRAPHY
	NEW TOPOGRAPHY
	FLOOR FINISH TRANSITION
	1-HOUR FIRE RATED ENCLOSURE
	2-HOUR FIRE RATED BUILDING SEPARATION
	MATCHLINE
	REVISION TAG
	TEACHING STATION TAG

Vicinity Map



General Notes

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL REPORT ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- DIMENSIONS ARE SHOWN FACE OF STUD, FACE OF CONCRETE OR MASONRY, AND TO CENTERLINE OF GRID LINES, UNLESS NOTED OTHERWISE ON THE DRAWINGS. DIMENSIONS ARE SHOWN TO FACE OF FINISH FOR EXISTING WORK.
- ALL APPLICABLE CODES AND ORDINANCES TAKE PRECEDENCE OVER ALL DRAWINGS, NOTES AND SPECIFICATIONS.
- ALL WORK IS TO CONFORM TO THE CURRENT VERSION OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL AMENDMENTS IN EFFECT IN THE PERMITTING JURISDICTION AT THE TIME OF PERMITTING.
- REPETITIVE FEATURES DRAWN OR NOTED ONLY ONCE SHALL BE COMPLETELY PROVIDED AS IF DRAWN OR NOTED IN FULL.
- THESE DRAWINGS ARE SPECIFIC TO THIS PROJECT. THESE DRAWINGS OR PORTIONS THEREOF SHALL NOT BE USED FOR OTHER PROJECTS.
- STOP WORK AND NOTIFY OWNER IF ASBESTOS OR HAZARDOUS MATERIALS ARE DISCOVERED.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL REFER TO DIMENSIONS SHOWN ON DRAWINGS AND INFORM ARCHITECT OF ANY DISCREPANCIES.

Materials & Symbols

	COMPACTED EARTH
	SAND, GRAVEL, OR CRUSHED ROCK
	CONCRETE
	METAL
	MASONRY (IN PLAN)
	WOOD - BLOCKING
	WOOD - CONTINUOUS
	WOOD FINISH
	RIGID INSULATION
	MINERAL WOOL BATT INSULATION
	MINERAL WOOL BOARD INSULATION
	GYPSPUM BOARD

Project Information

Owner

COMMUNITY HEALTH CARE
1146 BROADWAY, SUITE 100
TACOMA, WA 98402
CONTACT: DEBBIE JACOBSON

Owner Project Manager

ROCK PROJECT MANAGEMENT SERVICES
1601 E VALLEY RD, SUITE 110
RENTON, WA 98057
CONTACT: ANNE REESE

Project Description

ADDRESS
201 W MAIN
PUYALLUP, WA 98371
TAX PARCEL NUMBER
7940100244

PROJECT DESCRIPTION
PROJECT SCOPE RECAP ONLY. REFER TO DRAWINGS AND SPECIFICATIONS FOR DESCRIPTION AND REQUIREMENTS.

ALTERATIONS TO EXISTING BUILDING TO CHANGE FROM OFFICE SPACE TO OUTPATIENT MEDICAL & DENTAL CLINIC, PHARMACY AND SUPPORT SPACES.

LEGAL DESCRIPTION
Section 28 Township 20 Range 04 Quarter 14 STEWARTS J P 1ST ADD PARCEL "A" OF DBLR 2006-04-14-5003 DESC AS FOLL COM AT 1/4 SEC COR COM TO SEC 26 & 27 TH N 89 DEG 11 MIN 44 SEC W 457.20 FT ALG C/L OF MAIN ST TH N 00 DEG 48 MIN 16 SEC E 30 FT TO S LI OF B 4 & POB TH N 01 DEG 07 MIN 04 SEC E 76.45 FT TH S 89 DEG 11 MIN 44 SEC E 5 FT TH N 01 DEG 07 MIN 04 SEC E 30 FT TH S 89 DEG 11 MIN 44 SEC E 6.50 FT TH N 01 DEG 07 MIN 04 SEC E 63.85 FT TO NLY LI OF SD B 4 TH S 74 DEG 19 MIN 59 SEC E 69.21 FT TH S 89 DEG 11 MIN 44 SEC E 44.65 FT TH N 00 DEG 41 MIN 04 SEC E 3.39 FT TH S 89 DEG 11 MIN 44 SEC 20.19 FT TO BEG OF NON TANG C TO L RAD OF 101 FT RAD CTR S 27 DEG 01 MIN 36 SEC TH ALG SD CURVE 14.97 THRU CENT ANGLE OF 08 DEG 29 MIN 30 SEC TH S 00 DEG 48 MIN 16 SEC W 161.91 FT TO NLY MAR OF SD ST TH N 89 DEG 11 MIN 44 SEC W 157.87 FT TO POB OUT OF 024-3 SEG 2006-1094 04/26/06CL

Project Team

Architect

MILLER HAYASHI ARCHITECTS PLLC
118 N 35TH STREET, SUITE 200
SEATTLE, WA 98103
206 634 0177
CONTACT: ELLEN HAGEN

Landscape Architect

KKLA
111 WEST JOHN STREET SUITE 306
SEATTLE, WA 98119
CONTACT: KAREN KJEST

Civil Engineer

COUGHLIN PORTER LUNDEEN
801 SECOND AVE, SUITE 900
SEATTLE, WA 98104
CONTACT: KEITH KRUGER

Structural Engineer

PCS STRUCTURAL SOLUTIONS
1250 PACIFIC AVE, SUITE 701
TACOMA, WA 98402
CONTACT: TODD PARKE

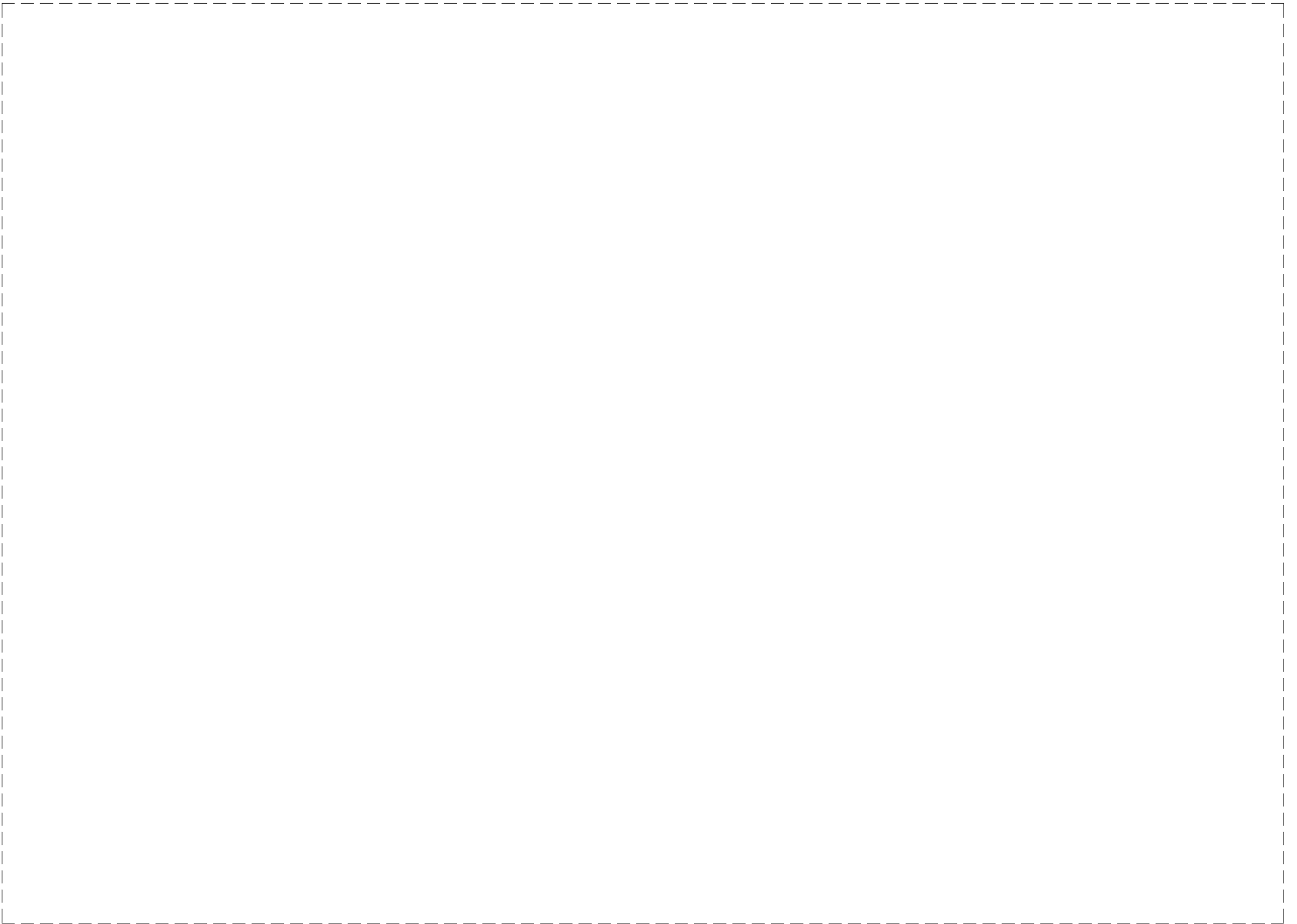
Mechanical Engineer

TRES WEST ENGINEERS
2702 42ND ST, SUITE 301
TACOMA WA 98409
CONTACT: DAVID MOORE

Electrical Engineer

TRES WEST ENGINEERS
2702 42ND ST, SUITE 301
TACOMA WA 98409
CONTACT: DAVID MOORE

Project Title



Sheet Index

GENERAL	TITLE SHEET, SHEET INDEX & GENERAL NOTES	STRUCTURAL
AA1.00	CODE SHEET	S1.00 Unnamed
AA1.10		
SURVEY	Topographic Survey	MECHANICAL
1 OF 1		M1.00 Unnamed
HAZMAT	Hazardous Materials Abatement General Notes	ELECTRICAL
HM1.00		E1.00 Unnamed
CIVIL	Civil Cover	E2.00 Unnamed
C1.00		ED2.00 Unnamed
LANDSCAPE	Tree Removal and Protection Plan	
L1.00		
ARCHITECTURAL	SITE DEMO PLAN	
A1.00	SITE DETAILS	
A1.11	SELECTIVE DEMOLITION FLOOR PLAN	
A1.20	SELECTIVE DEMOLITION RCP	
A1.40	FINISH SCHEDULE	
A2.00	FLOOR PLAN	
A2.20	ROOF PLAN	
A2.30	REFLECTED CEILING PLAN	
A2.40	FINISH PLAN	
A2.61	ENLARGED RESTROOM PLANS & ELEVATIONS	
A2.71	DOOR & RELITE TYPES, DOOR SCHEDULE	
A2.73	PARTITION TYPES & TYPICAL ASSEMBLIES	
A2.72	WINDOW, LOUVER & SKYLIGHT TYPES	
A3.00	BUILDING ELEVATIONS	
A3.01	BUILDING ELEVATIONS	
A4.00	WALL SECTIONS, WALL ASSEMBLIES	
A4.10	VERTICAL CIRCULATION PLANS & SECTIONS	
A2.60	ACCESSIBILITY CLEARANCES	
A5.00	INTERIOR ELEVATIONS	
A6.00	EXTERIOR DETAILS - ROOF	
A6.10	EXTERIOR DETAILS - WINDOW	
A6.20	EXTERIOR DETAILS - WALLS, MISC	
A7.00	INTERIOR DETAILS - CEILINGS	
A7.10	INTERIOR DETAILS - WALLS	
A7.20	INTERIOR DETAILS - RELITES & DOORS	
A7.30	INTERIOR DETAILS - FLOORS	
A8.00	CASEWORK	
A2.74	SIGNAGE	

CHC Puyallup - Cannery

201 W. Main
Puyallup, WA 98371

Miller HayashiArchitects

118 North 35th St, Suite 200
Seattle, Washington 98103
Tel: 206 634 0177
Fax: 206 634 0167

ARCHITECT'S STAMP

CONSULTANT

CONSULTANT'S STAMP

PRELIMINARY COORD SET
NOT FOR CONSTRUCTION

BUILDING DEPARTMENT'S STAMP

PHASE

Concept
Planning

DATE

07/25/22

REVISIONS

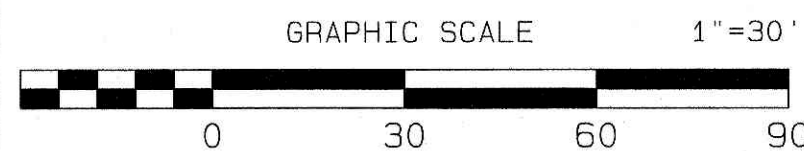
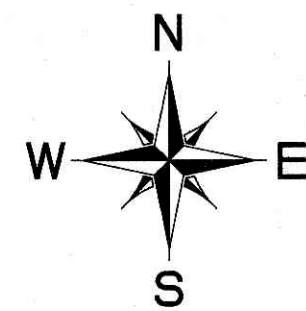
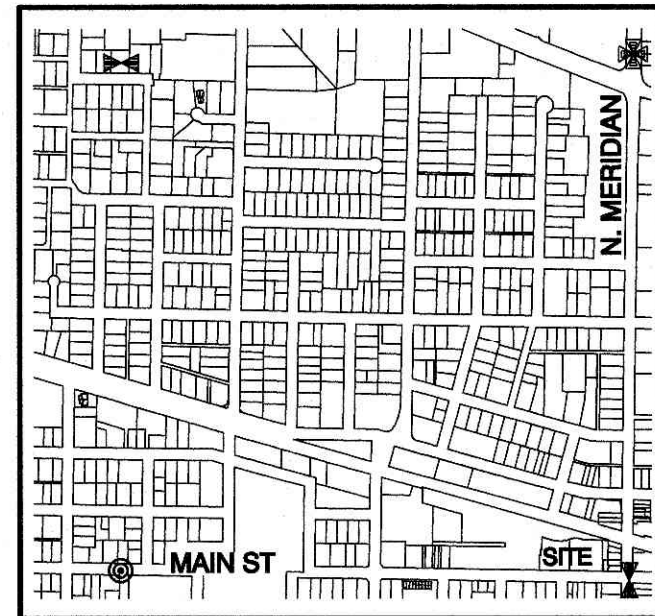
No.	Description	Date
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SHEET TITLE

TITLE SHEET,
SHEET INDEX &
GENERAL NOTES

SHEET NO.

AA1.00



RECORD OF SURVEY ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

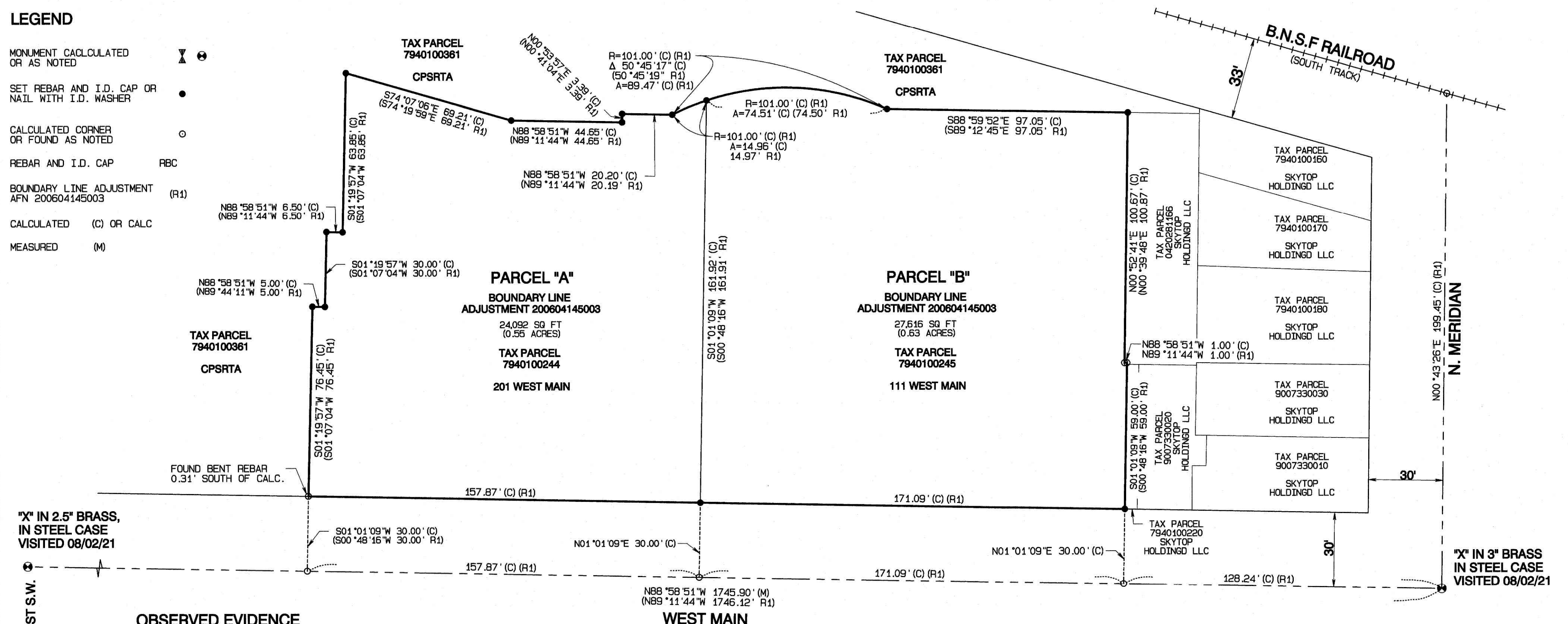
BOUNDARY EXHIBIT

SURVEYOR'S NOTES

1. BASIS OF BEARING: ALONG THE CENTERLINE OF WEST MAIN, BETWEEN THE MONUMENTS SHOWN
2. THE METHOD OF MONUMENT LOCATION WAS BY FIELD TRAVERSE, AND GPS OBSERVATION. THE INSTRUMENTS USED WERE A TRIMBLE S-6 TOTAL STATION AND A TRIMBLE R-10-2 GNSS RECEIVER.
3. THIS SURVEY COMPLIES WITH ALL STANDARDS AND GUIDELINES OF THE SURVEY RECORDING ACT CHAPTER 58.09 RCW AND 332-130 WAC
4. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OR UTILITIES EXCEPT AS SHOWN OR DISCLOSED BY CHICAGO TITLE NO. 211310-TC
5. ADDITIONAL REFERENCES:
BOUNDARY LINE ADJUSTMENT 200510285005

LEGEND

- MONUMENT CALCULATED OR AS NOTED
- SET REBAR AND I.D. CAP OR NAIL WITH I.D. WASHER
- CALCULATED CORNER OR FOUND AS NOTED
- REBAR AND I.D. CAP
- BOUNDARY LINE ADJUSTMENT AFN 200604145003
- CALCULATED (C) OR CALC
- MEASURED (M)



"X" IN 2.5" BRASS,
IN STEEL CASE
VISITED 08/02/21

6TH ST S.W.

OBSERVED EVIDENCE

1. THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
2. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
3. THERE WAS NO EVIDENCE THAT THE SITE WAS USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
4. THERE WAS NO OBSERVABLE EVIDENCE THAT THE SITE WAS WITHIN 100 FEET OF A CEMETERY OR BURIAL GROUND.
5. THERE WERE NO ENCROACHMENTS EXCEPT AS SHOWN ON SHEET 2.

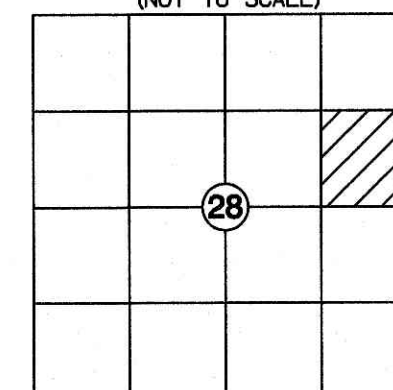
ZONING CBD-CORE

CENTRAL BUSINESS DISTRICT CORE

FEMA FLOOD ZONE "X"

AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

INDEX LOCATION S.28-T.20N-R.4E (NOT TO SCALE)



ALTA/NSPS CERTIFICATION TO:

COMMUNITY HEALTH CARE A WASHINGTON NON-PROFIT CORPORATION AND CHICAGO TITLE COMPANY OF WASHINGTON

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARDS DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, 13, 15, AND 18, OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 8, 2021

DATE OF PLAT OR MAP 08/18/2021

THOMAS J. GALVIN

CERTIFICATE NO. 42686

RECORD OF SURVEY SHEET 1 OF 6 ALTA/NSPS

FOR: COMMUNITY HEALTH CARE

DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 30 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021

AZURE GREEN
CONSULTANTS
+feasibility +planning +engineering +surveying

409 East Pioneer, Suite A - Puyallup, WA 98372 phone: 253.770.3144 fax: 253.770.3142

AUDITOR'S CERTIFICATE

FILED FOR RECORD THIS _____ DAY OF _____

2021, AT THE REQUEST OF _____

RECORDERS FEE NO: _____

DEPUTY

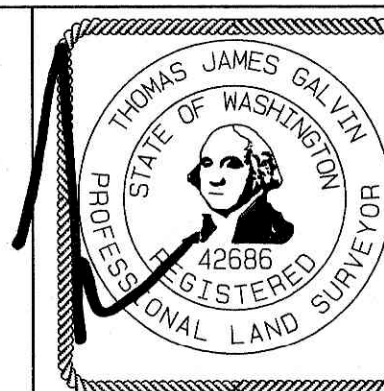
COUNTY AUDITOR

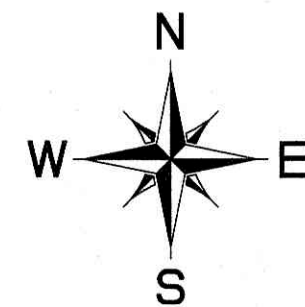
SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN AUGUST 2021 IN CONFORMANCE WITH THE REQUIREMENTS OF SURVEY RECORDING ACT AT THE REQUEST OF FOR: COMMUNITY HEALTH CARE

THOMAS J. GALVIN

CERTIFICATE NO. 42686





GRAPHIC SCALE 1"=20'
0 20 40 60

RECORD OF SURVEY

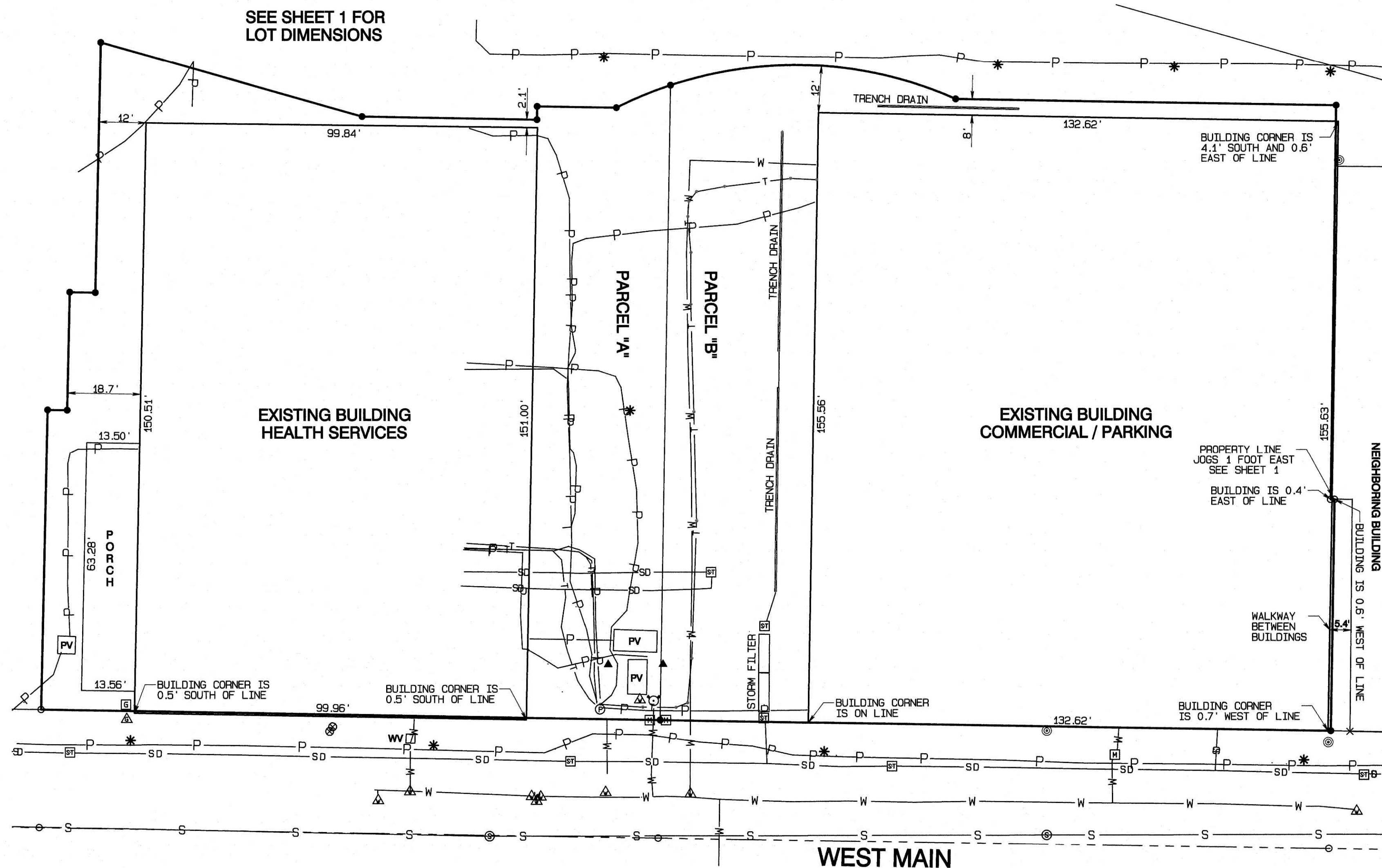
ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

BUILDINGS / UTILITIES

LEGEND

- SET REBAR AND I.D. CAP OR NAIL WITH I.D. WASHER
- CALCULATED CORNER OR FOUND AS NOTED
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- CATCH BASIN
- STORM MANHOLE
- SEWER MANHOLE
- SEWER CLEANOUT
- STORM CLEANOUT
- WATER METER
- WATER VALVE
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- GAS VALVE
- GAS METER
- POWER VAULT
- WATER VAULT
- SEWER LINE
- STORM LINE
- POWER LINE
- WATER LINE
- GAS LINE
- COMM. LINE

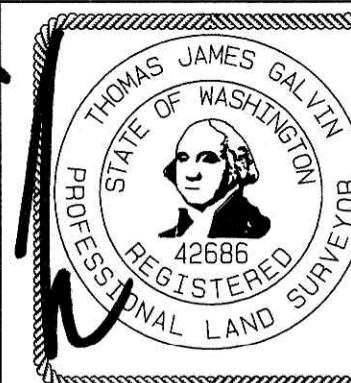


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RECORD OF SURVEY
ALTA/NSPS

SHEET 2 OF 6

FOR: COMMUNITY HEALTH CARE

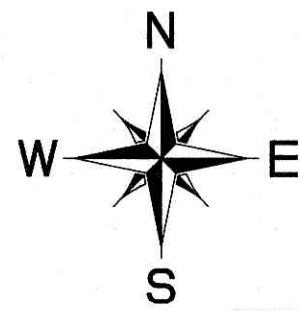
DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 20 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021



GRAPHIC SCALE 1"=20'
0 20 40 60

RECORD OF SURVEY

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

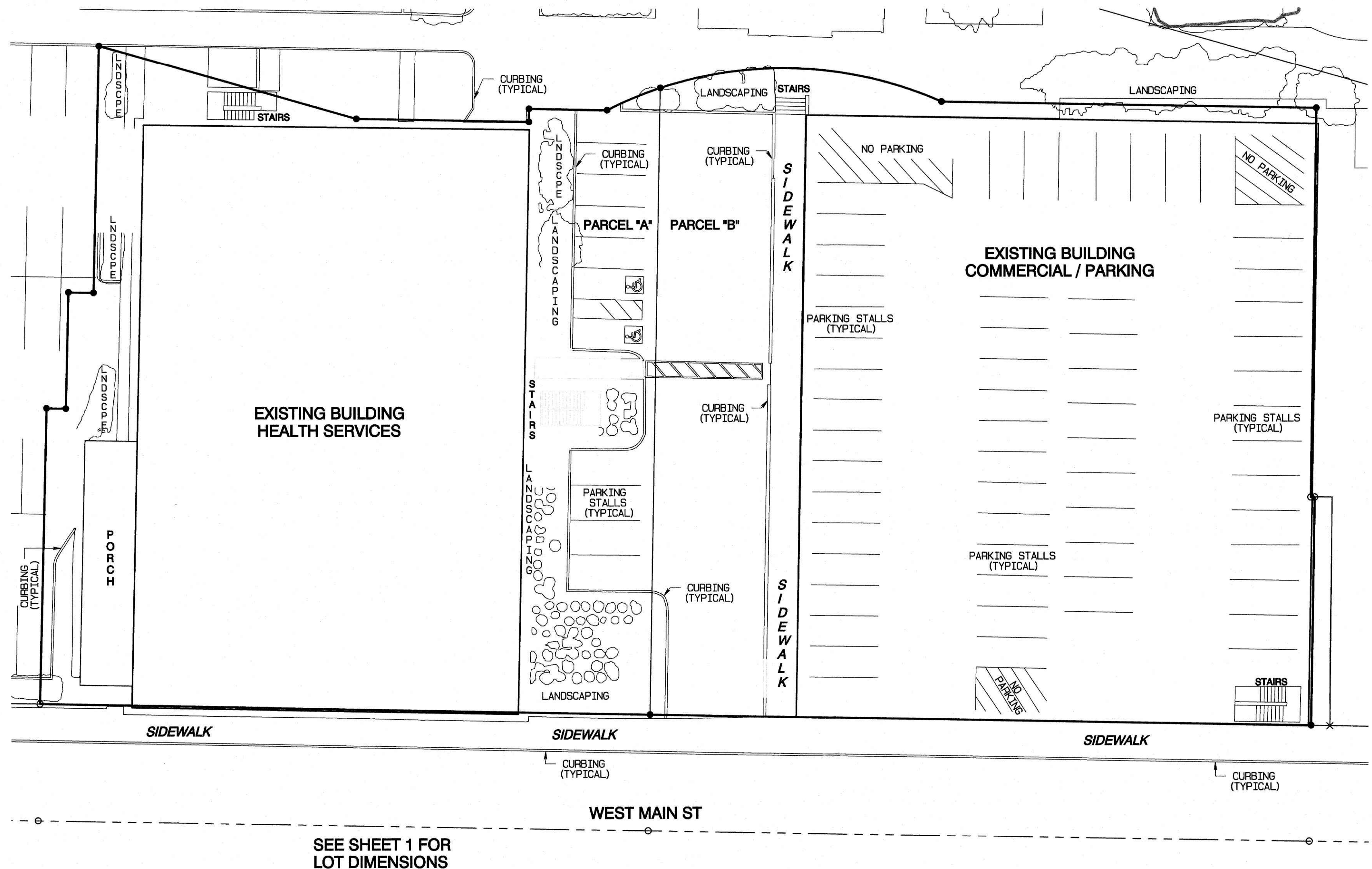
ADDITIONAL IMPROVEMENTS

SEE SHEET 1 FOR
LOT DIMENSIONS

LEGEND

SET REBAR AND I.D. CAP OR
NAIL WITH I.D. WASHER

CALCULATED CORNER
OR FOUND AS NOTED

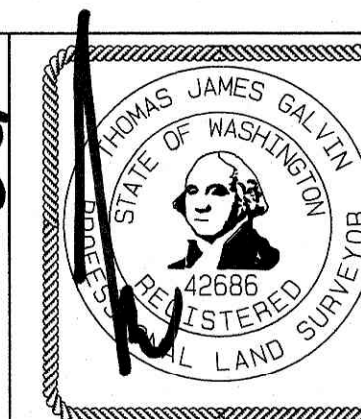


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phone: 253.770.3144 fax: 253.770.3142



RECORD OF SURVEY
ALTA/NSPS

SHEET 3 OF 6

FOR: COMMUNITY HEALTH CARE

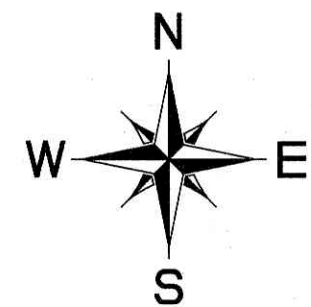
DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 20 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021



GRAPHIC SCALE 1"=20'
0 20 40 60

RECORD OF SURVEY

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

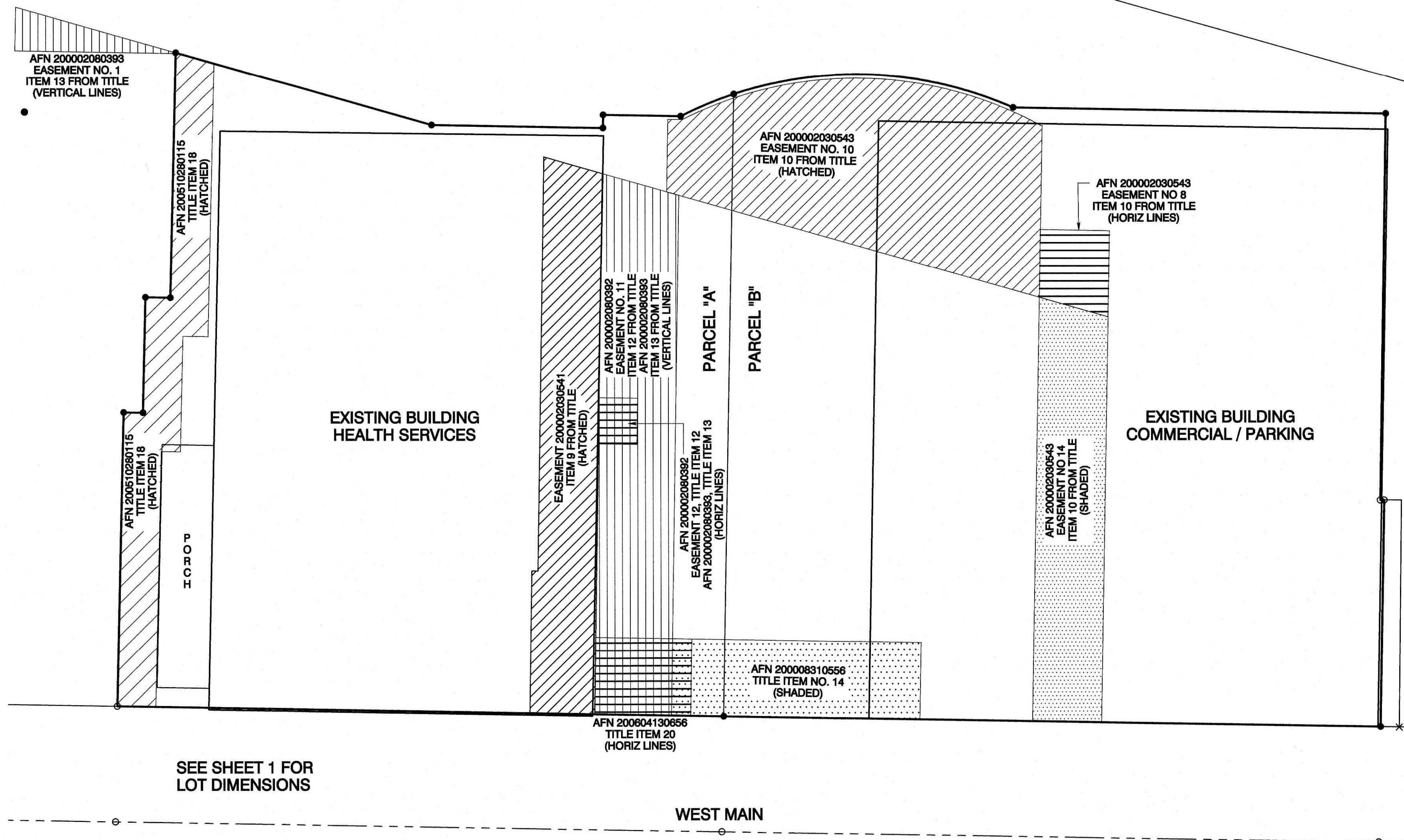
EASEMENTS

SEE SHEET 1 FOR
LOT DIMENSIONS

LEDGEND

SET REBAR AND I.D. CAP OR
NAIL WITH I.D. WASHER

CALCULATED CORNER
OR FOUND AS NOTED



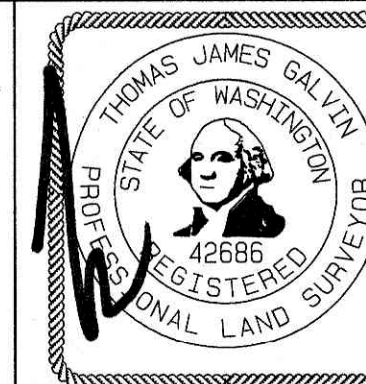
SEE SHEET 1 FOR
LOT DIMENSIONS



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RECORD OF SURVEY
ALTA/NSPS

SHEET 4 OF 6

FOR: COMMUNITY HEALTH CARE

DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 20 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021

RECORD OF SURVEY
ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

RECORD MATTERS

1. Easement to dig a ditch and maintain water pipes within 20 rods of either side of Northern Pacific Railway right of way granted to Puget Sound Manufacturing Co. and Ezra M. Meeker by deeds recorded in Book 7 of Deeds at Page 123, and in Book 22 of Deeds at Page 434, respectively, records of Pierce County, Washington.

AFFECTS PROPERTY, BLANKET IN NATURE OVER PROPERTY, NOT SHOWN

2. Covenants, conditions and restrictions but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document

Recording Date: December 30, 1943

AFFECTS PROPERTY, NOT LOCATEABLE, NOT SHOWN

Recording No.: 1336152

3. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: Ingress and egress

Recording Date: January 4, 1944

AFFECTS PROPERTY, BLANKET IN NATURE, NOT SHOWN

Recording No.: 1336370

Affects: A portion of said premises as described in document

4. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Hunt Brothers Packing Company, a Delaware corporation
Purpose: The right to operate and maintain an eight-inch water main or mains and the right to enter the land for maintenance of said water mains

Recording Date: January 6, 1944

AFFECTS PROPERTY, NOT LOCATEABLE, NOT SHOWN

Recording No.: 1336562

Affects: A portion of said premises as described in document
Note: The description contained in the above instrument is not sufficient to determine its exact location within the property herein described.

5. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Puget Sound Power & Light Company
Purpose: Electric line including all necessary poles, towers, wires and fixtures

Recording Date: January 6, 1961

AFFECTS PROPERTY, BLANKET IN NATURE OVER PORTIONS OF THE PROPERTY, NOT SHOWN

Recording No.: 1911207

Affects: A portion of said premises as described in document
Note: The description contained in the above instrument is not sufficient to determine its exact location within the property herein described.

6. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Puget Sound Power & Light Company
Purpose: Electric line, including all necessary poles, towers, wires and fixtures

Recording Date: January 6, 1961

AFFECTS PROPERTY, BLANKET IN NATURE, NOT SHOWN

Recording No.: 1911208

Affects: A portion of said premises as described in document

7. This item intentionally deleted

8. This item intentionally deleted

9. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Central Puget Sound Regional Transit Authority, a regional transit authority

Purpose: Passenger access for ingress and egress

Recording Date: February 3, 2000

AFFECTS PROPERTY, SHOWN SHEET 4

Recording No.: 200002030541

Affects: A portion of said premises as described and delineated in document

10. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: Automobile parking, parking access and traffic circulation

Recording Date: February 3, 2000

AFFECTS PROPERTY, SHOWN SHEET 4

Recording No.: 200002030543

11. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Central Puget Sound Regional Transit Authority
Purpose: Nuisance(s) including dust, traffic, visual impacts and noise impacts associated with the development, construction and operation of a Transit Center

Recording Date: February 3, 2000

AFFECTS PROPERTY, NUISANCE EASEMENT, NOT SURVEY RELATED, NOT SHOWN

Recording No.: 200002030544

Affects: A portion of said premises as described in document

12. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Purpose: Building setback, existing building encroachment, fire sprinkler facilities and pedestrian ingress and egress

Recording Date: February 8, 2000

AFFECTS PROPERTY, SHOWN SHEET 4

Recording No.: 200002080392

13. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Central Puget Sound Regional Transit Authority, a regional transit authority
Purpose: Pedestrian access and public transit plaza

Recording Date: February 8, 2000

AFFECTS PROPERTY, SHOWN SHEET 4

Recording No.: 200002080393

Affects: A portion of said premises as described and delineated in document

14. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Puget Sound Energy, Inc., a Washington corporation
Purpose: One or more utility systems for transmission, distribution and sale of electricity

Recording Date: August 31, 2000

AFFECTS PROPERTY, SHOWN SHEET 4

Recording No.: 200008310556

Affects: Portion(s) of said premises as described in document

Note: The description contained in the above instrument is not sufficient to determine its exact location within the property herein described.

15. Terms and conditions of easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:

Purpose: Access, roadways, utilities and parking

Recording Date: February 9, 2001

DOES NOT AFFECT PROPERTY, BLANKET IN NATURE OVER PORTIONS OF PROPERTY, NOT SHOWN

Recording No.: 200102090858



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RECORD OF SURVEY
ALTA/NSPS

SHEET 5 OF 6

FOR: COMMUNITY HEALTH CARE

DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 20 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021

RECORD OF SURVEY

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 28
TOWNSHIP 20 N, RANGE 4 E, WILLAMETTE MERIDIAN
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON

RECORD MATTERS

16. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Puget Sound Energy, Inc., a Washington corporation
Purpose: One or more utility systems for transmission, distribution and sale of gas and electricity

Recording Date: December 29, 2004

Recording No.: 200412290989

Affects: A portion of said premises as described in document

Note: The description contained in the above instrument is not sufficient to determine its exact location within the property herein described.

17. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Central Puget Sound Regional Transit Authority, a regional transit authority

Purpose: Groundwater monitoring systems

Recording Date: October 28, 2005

Recording No.: 200510280114

Affects: A portion of said premises as described in document

18. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Central Puget Sound Regional Transit Authority, a regional transit authority

Purpose: Parking, landscaping and maintenance of improvements

Recording Date: October 28, 2005

Recording No.: 200510280115

Affects: A portion of said premises as described and delineated in document

19. This item intentionally deleted

20. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
Granted to: Puget Sound Energy, Inc., a Washington corporation

Purpose: One or more utility systems for transmission, distribution and sale of gas and electricity

Recording Date: April 13, 2006

Recording No.: 200604130656

Affects: A portion of said premises as described in document

21. This item intentionally deleted

22. General and special taxes and charges, payable February 15, delinquent if first half unpaid on May 1, second half delinquent if unpaid on November 1 of the tax year (amounts do not include interest and penalties):
Year: 2021

Tax Account No.: 7940100244

Levy Code: 096

Assessed Value-Land: \$655,700.00

Assessed Value-Improvements: \$4,701,500.00

General and Special Taxes:

Billed: \$74,073.16

Paid: \$37,036.58

Unpaid: \$37,036.58

Affects: Parcel A

23. General and special taxes and charges, payable February 15, delinquent if first half unpaid on May 1, second half delinquent if unpaid on November 1 of the tax year (amounts do not include interest and penalties):

Year: 2021

Tax Account No.: 7940100245

Levy Code: 096

Assessed Value-Land: \$751,600.00

Assessed Value-Improvements: \$0.00

General and Special Taxes:

Billed: \$8,510.69

Paid: \$4,255.34

Unpaid: \$4,255.35

Affects: Parcel B

24. A deed of trust to secure an indebtedness in the amount shown below

Amount: \$4,387,500.00

Dated: March 30, 2016

Trustor/Grantor: Olson Investments LLC, a Delaware limited liability company

Trustee: First American Title Insurance Company

Beneficiary: Heritage Bank Recording Date: March 31, 2016

Recording No.: 201603310830

25. Assignment of Rents:

Assigned to: Heritage Bank

Assigned by: Olson Investments LLC, a Delaware limited liability company

Recording Date: March 31, 2016

Recording No.: 201603310831

26. A financing statement as follows:

Debtor: Olson Investments LLC

Secured Party: Heritage Bank

Recording Date: March 31, 2016

Recording No.: 201603311023

A change to the above financing statement was filed:

Nature of Change: Continuation

Recording Date: January 27, 2021

Recording No.: 202101270762

27. This item intentionally deleted

28. This item intentionally deleted

29. Any additional unrecorded leaseholds or subleaseholds, right of vendors and holders of security interests on personal property installed upon the Land and rights of tenants or subtenants to remove trade fixtures at the expiration of the terms.

AFFECTS PROPERTY, NOT SURVEY RELATED, NOT SHOWN

AFFECTS PROPERTY, EXACT LOCATION CANNOT
BE DETERMINED, NOT SHOWN

AFFECTS PROPERTY, BLANKET IN NATURE
OVER PORTIONS OF THE PROPERTY, NOT SHOWN

AFFECTS PROPERTY, SHOWN SHEET 4

AFFECTS PROPERTY, SHOWN SHEET 4

AFFECTS PROPERTY, NOT SURVEY RELATED, NOT SHOWN

AFFECTS PROPERTY, NOT SURVEY RELATED, NOT SHOWN

AFFECTS PROPERTY, NOT SURVEY RELATED, NOT SHOWN

AFFECTS PROPERTY, NOT SURVEY RELATED, NOT SHOWN



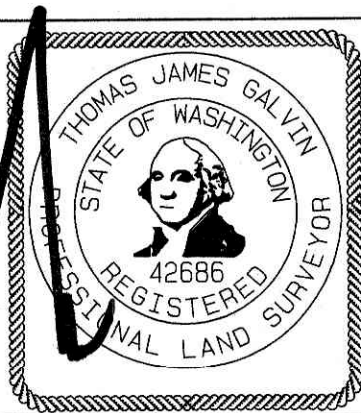
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RECORD OF SURVEY
ALTA/NSPS

SHEET 6 OF 6

FOR: COMMUNITY HEALTH CARE

DRAWN BY: TG

CHECKED: JJ

SCALE: 1 INCH = 20 FEET

JOB NO: 3200

DATE: AUGUST 18, 2021

201 W. Main
Puyallup, WA 98371

118 North 35th St. Suite 200
Seattle, Washington 98107
Tel: 206 634 0171
Fax: 206 634 0161

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CONSULTANT

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NOT FOR CONSTRUCTION

BUILDING DEPARTMENT'S STAMP

PHASE

DATE _____

REVISIONS

No.	Description	Date
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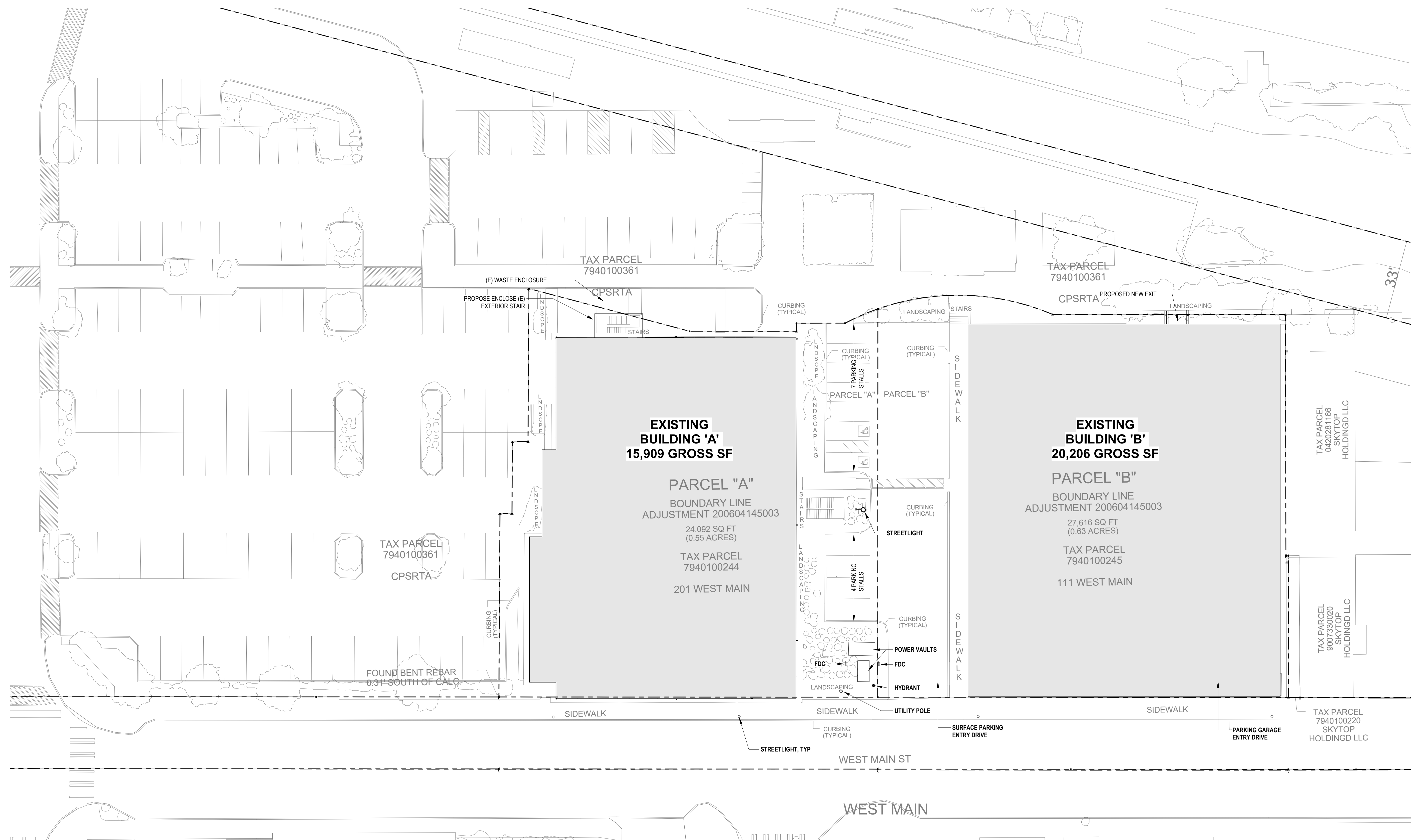
SHEET TITLE

SITE PLAN

SHEET NO.

A1.10

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 $1'' = 20'-0''$ 

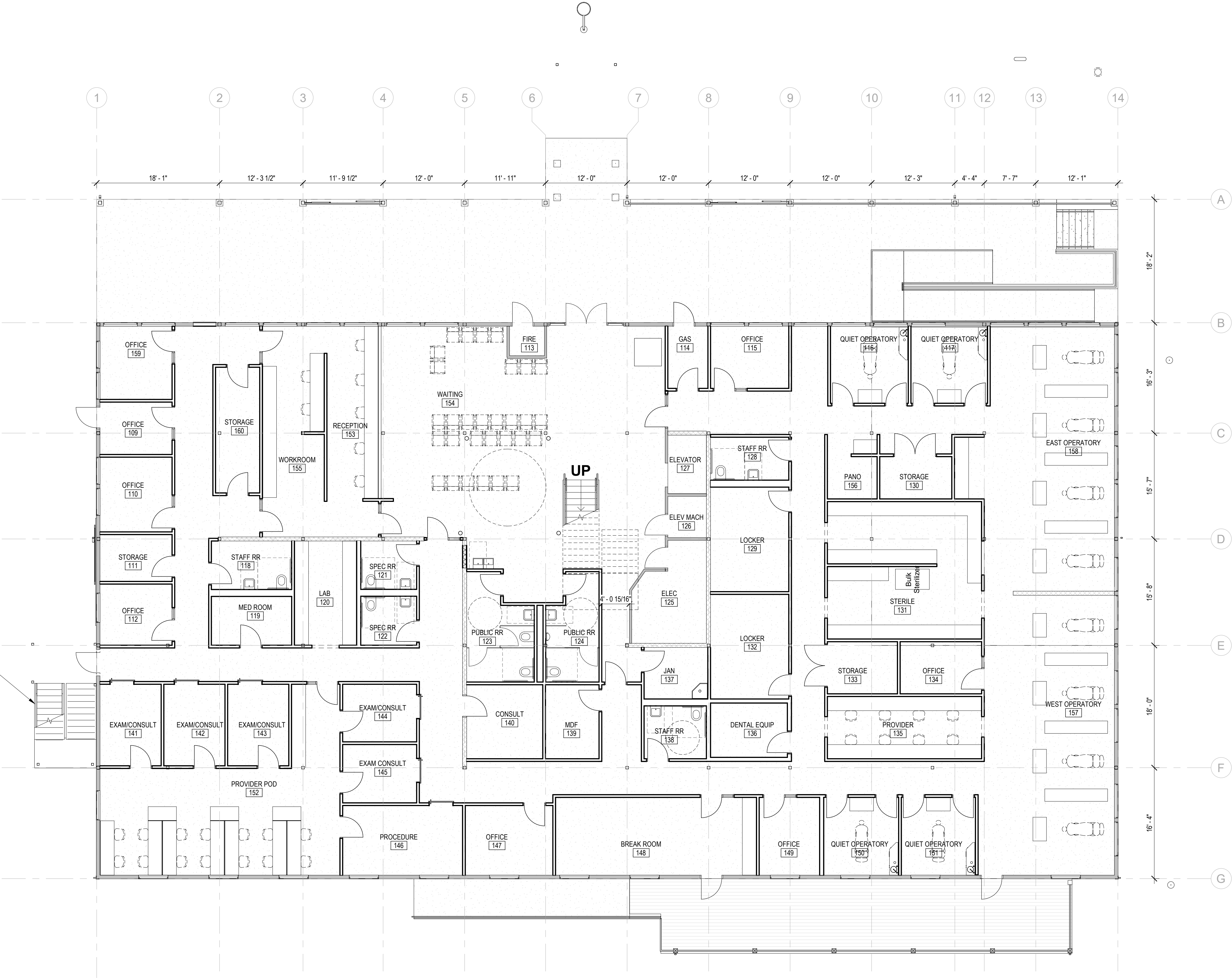
Floor Plan General Notes

1. REFER TO GENERAL NOTES ON SHEET A4.1.00.
2. REFER TO FINISH SCHEDULE ON SHEET A2.70.
3. REFER TO DIMENSION & PARTITION TYPES PLAN FOR PARTITION TYPES.
4. ALL DIMENSIONS TO NEW PARTITIONS ARE TO FACE OF FRAMING UNO.
5. DIMENSIONS TO EXISTING WALLS ARE EITHER TO FINISHED FACE OR TO GRID LINE.
6. INFILL WITHIN EXISTING CONSTRUCTION AND NEW PARTITIONS IMMEDIATELY ADJACENT TO EXISTING CONSTRUCTION SHALL MATCH EXISTING CONSTRUCTION. PATCHES, INFILL, AND NEW PARTITIONS IMMEDIATELY ADJACENT TO OR WITHIN EXISTING PARTITIONS SHALL BE FINISHED TO BLEND SEAMLESSLY WITH EXISTING MATERIALS AND FINISH AND SHALL ALIGN WITH EXISTING FINISHES.
7. REPETITIVE FEATURES DRAWN OR NOTED ONLY ONCE SHALL BE COMPLETELY PROVIDED AS IF DRAWN OR NOTED IN FULL.
8. ALL INTERIOR WALLS BE CLEANED, SPOT PRIMED AS REQUIRED, AND TO RECEIVE NEW PAINT.
9. DOOR OPENINGS LOCATED 4" FROM ADJACENT PARTITION UNO.
10. REFER TO MECHANICAL AND ELECTRICAL AND COORDINATE THE WORK. COORDINATE EXTENTS OF CUTTING AND PATCHING AS REQUIRED FOR ALL MECHANICAL AND ELECTRICAL WORK. PATCH AND REPAIR ALL AREAS OF CUTTING AND PATCHING TO MATCH ADJACENT FINISHES.

Floor Plan Legend

- EXISTING PARTITION TO REMAIN, TYP
- REFER FLAG NOTE WHERE THIS DASHED LINE OCCURS
- INFILL AT EXISTING PARTITION, TYP
- FRAMED WALL PARTITION, TYP
- PROVIDE SLAB ON GRADE INFILL, REF STRUCT AND MECH/ELEC, TYP. PREP SUBSTRATE TO RECEIVE SCHED FINISH, REF FINISH PLAN, TYP
- PROVIDE ELEVATED CONC SLAB INFILL, REF STRUCT, TYP
- PROVIDE SELF-LEVELING UNDERLAYMENT SYSTEM TO LEVEL (E) FLOOR AFTER DEMO, TYP
- LINE INDICATES AREA TO RECEIVE BITUMINOUS DAMPPROOFING SYSTEM, REF DETAILS
- LINE INDICATES AREA TO RECEIVE SHEET WATERPROOFING SYSTEM, REF DETAILS

if we rebuild and enclose stair, how does this work with existing property line and code issues/zoning issues?



1 Floor Plan - Level 1
1/8" = 1'-0"

CHC Puyallup - Cannery

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BUILDING DEPARTMENT'S STAMP

PHASE

Concept
Planning

DATE

07/25/22

REVISIONS

No. Description Date

SHEET TITLE

FLOOR PLAN

SHEET NO.

A2.00

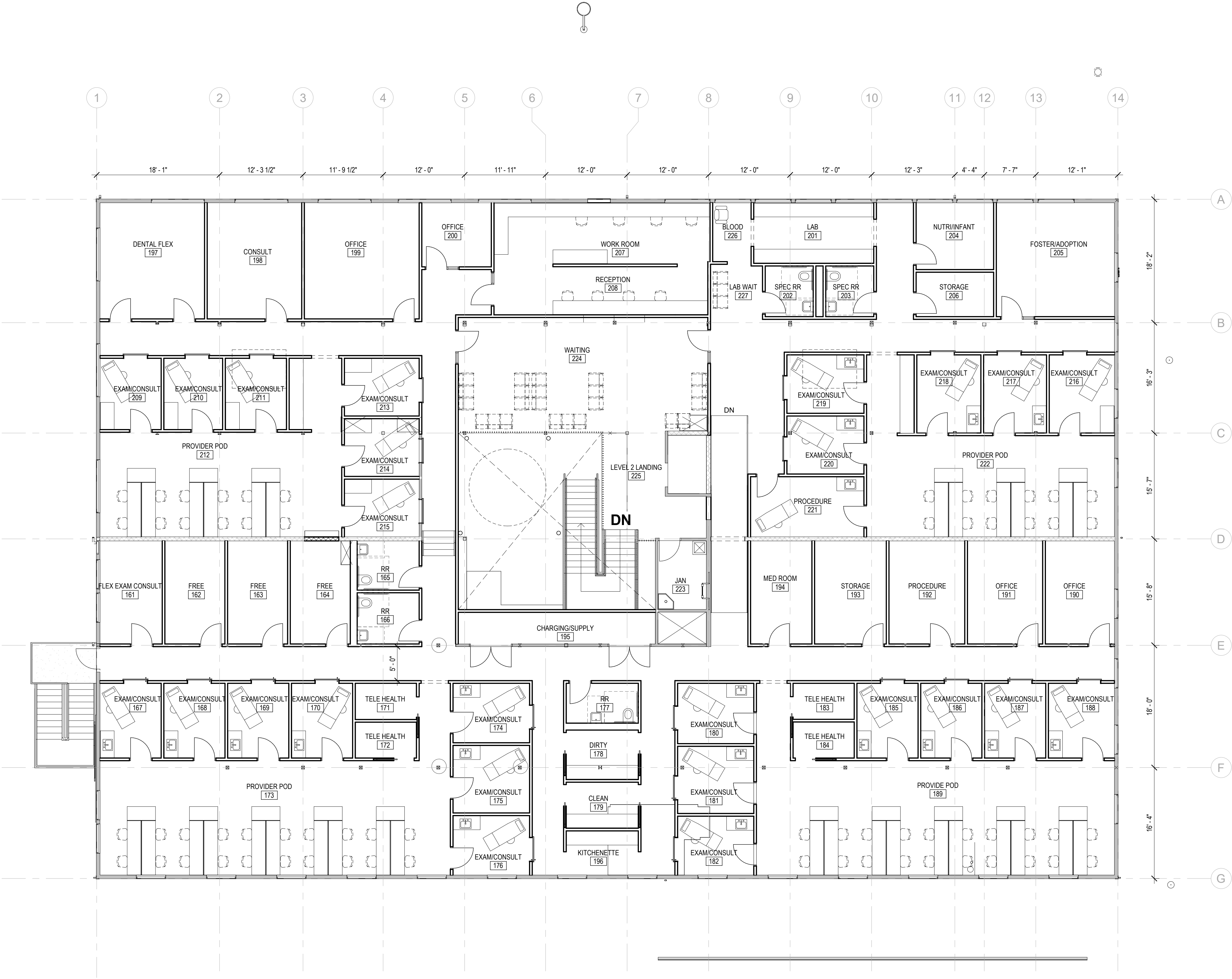
MILLER HAYASHI ARCHITECTS 2213

Floor Plan General Notes

1. REFER TO GENERAL NOTES ON SHEET AA1.00
2. REFER TO FINISH SCHEDULE ON SHEET A2.00
3. REFER TO DIMENSION & PARTITION TYPES PLAN FOR PARTITION TYPES.
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PHASE

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Planning

DATE

07/25/22

REVISIONS

No. Description Date

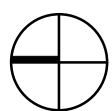
SHEET TITLE

FLOOR PLAN

SHEET NO.

A2.01

MILLER HAYASHI ARCHITECTS 2213



1 Floor Plan - Level 2

1/8" = 1'-0"