

Return to:
(applicant or contract purchaser)

AHBL

2215 N 30TH ST, STE 200

TACOMA, WA 98403

DECLARATION OF LOT COMBINATION

Whereas, the parties executing this document are the owners of the following described properties in Pierce County, Washington, to wit:

Parcel "A" 0419034013, 0419034018, 0419023011, 0419023012, 0419023013

Parcel "B"

WHEREAS, the following described properties have boundaries as shown on the attached Legal Description Exhibit Map; and

Whereas, the Revised Code of Washington Section 58.17.040(6) has provisions to allow for adjusting boundary lines between contiguous properties;

NOW THEREFORE, in consideration of the mutual benefits to the foregoing described properties, the parties do for themselves, their heirs, and assigns, revise the boundary lines of each parcel, with the boundaries to be as shown on the attached Legal Description Exhibit Map, and described as follows:

SEE LEGAL DESCRIPTION ON NEXT PAGE.

IN WITNESS WHEREOF, said parties hereto have caused this instrument to be executed this 25th day of October, 2022.

R. Augustus Lim, R. A. Lim, Facilities Director,
Pierce College

STATE OF WASHINGTON

}
} ss.

COUNTY OF PIERCE

I certify that I know or have satisfactory evidence that

R. Augustus Lim

is/are the person(s) acknowledged that he/she/they signed this instrument and acknowledged it to be his/her/their free and voluntary act for the uses and purposes mentioned in the instrument.

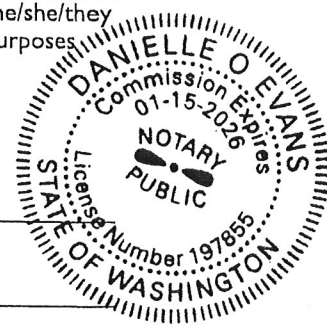
DATED this 25th day of October, 2022

Danielle O. Evans
Signature

Executive Assistant
Title

Danielle Evans
Print Name

1/15/26
My Appointment Expires



DECLARATION OF LOT COMBINATION

Whereas, the parties executing this document are the owners of the following described properties in Pierce County, Washington, to wit:

Affected parcels: 0419034013, 0419034018, 0419023011, 0419023012, 0419023013

WHEREAS, the following described properties have boundaries as shown on the attached Legal Description Exhibit Map; and

Whereas, the Revised Code of Washington Section 58.17.040(6) has provisions to allow for adjusting boundary lines between contiguous properties;

NOW THEREFORE, in consideration of the mutual benefits to the foregoing described properties, the parties do for themselves, their heirs, and assigns, revise the boundary lines of each parcel, with the boundaries to be as shown on the attached Legal Description Exhibit Map, and described as follows:

TOTAL PARCEL LESS WETLAND PARCEL

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 2 AND OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 19 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 3, SAID POINT BEARS NORTH 00°13'37" EAST 60.10 FEET FROM THE SOUTHEAST CORNER OF SAID SECTION 3 AND IS ALSO THE NORTH MARGIN OF 112TH STREET EAST (39TH AVENUE SE); THENCE ALONG SAID NORTH MARGIN NORTH 86°30'40" WEST 1015.14 FEET TO THE EAST LINE OF THE PARCEL OF LAND DESCRIBED IN PIERCE COUNTY AUDITOR'S NUMBER 2362554; THENCE NORTH 00°13'59" EAST 1758.59 FEET; THENCE NORTH 45°03'08" EAST 722.96 FEET TO THE WESTERLY MARGIN OF WILDWOOD PARK DRIVE (SCHOOL ROAD EAST), AS CONVEYED TO PIERCE COUNTY BY INSTRUMENT RECORDED UNDER AUDITOR'S NO. 3125764 AND 2135764; THENCE ALONG SAID WESTERLY MARGIN THE FOLLOWING COURSE: SOUTH 08°28'11" EAST 195.80 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 331.56 FEET; THENCE ALONG THE ARC OF SAID CURVE, PASSING THROUGH A CENTRAL ANGLE OF 79°33'34" A DISTANCE OF 460.40 FEET; THENCE SOUTH 88°01'45" EAST 289.96 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 760.23 FEET; THENCE ALONG THE ARC OF SAID CURVE, PASSING THROUGH A CENTRAL ANGLE OF 82°42'29" A DISTANCE OF 1097.41 FEET; THENCE SOUTH 05°19'16" EAST 19.70 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 848.57 FEET; THENCE ALONG THE ARC OF SAID CURVE, PASSING THROUGH A CENTRAL ANGLE OF 22°18'00" A DISTANCE OF 330.27 FEET; THENCE SOUTH 27°37'16" EAST 106.86 FEET; THENCE SOUTH 62°34'14" WEST 37.70 FEET; THENCE SOUTH 37°57'43" WEST 64.30 FEET; THENCE SOUTH 65°18'15" WEST 74.47 FEET; THENCE SOUTH 12°29'28" WEST 53.54 FEET; THENCE SOUTH 64°36'58" WEST 64.85 FEET; THENCE SOUTH 49°35'52" WEST 94.92 FEET; THENCE SOUTH 23°59'34" WEST 126.39 FEET; THENCE SOUTH 21°03'12" WEST 264.77 FEET; THENCE SOUTH 09°30'04" WEST 146.09 FEET TO SAID NORTH MARGIN OF 112TH STREET EAST; THENCE ALONG SAID MARGIN NORTH 88°31'34" WEST 610.67 FEET TO EAST LINE OF SAID SECTION 3; THENCE NORTH 00°13'37" EAST 5.09 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

WETLAND PARCEL

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 19 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, PIERCE COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE WEST LINE OF SAID SECTION 2, SAID POINT BEARS NORTH 00°13'37" EAST 55.01 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 2 AND IS ALSO THE NORTH MARGIN OF 112TH STREET EAST (39TH AVENUE SE); THENCE ALONG SAID NORTH MARGIN SOUTH 88°31'34" EAST 610.67 FEET TO THE POINT OF BEGINNING; THENCE NORTH 09°30'04" WEST 146.09 FEET; THENCE NORTH 21°03'12" EAST 264.77 FEET; THENCE NORTH 23°59'34" EAST 126.39 FEET; THENCE NORTH 49°35'52" EAST 94.92 FEET; THENCE NORTH 64°36'58" EAST 64.85 FEET; THENCE NORTH 12°29'28" EAST 53.54 FEET; THENCE NORTH 65°18'15" EAST 74.47 FEET; THENCE NORTH 37°57'43" EAST 64.30 FEET; THENCE NORTH 62°34'14" EAST 37.70 FEET TO A POINT OF THE WESTERLY MARGIN OF WILDWOOD PARK DRIVE (SCHOOL ROAD EAST); THENCE SOUTH 27°37'16" EAST ALONG SAID WESTERLY MARGIN A DISTANCE OF 51.87 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 920.34 FEET; THENCE ALONG THE ARC OF SAID CURVE, PASSING THROUGH A CENTRAL ANGLE OF 29°05'30" A DISTANCE OF 467.30 FEET; THENCE SOUTH 01°28'14" WEST 259.81 FEET TO THE SAID NORTH MARGIN OF 112TH STREET EAST; THENCE ALONG SAID NORTH MARGIN NORTH 88°31'34" WEST 470.95 FEET; THENCE SOUTH 10°42'07" WEST 5.07 FEET; THENCE NORTH 88°31'34" WEST 55.77 FEET TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH ALL EASEMENTS OF RECORD.

ORIGINAL LOT CONFIGURATION

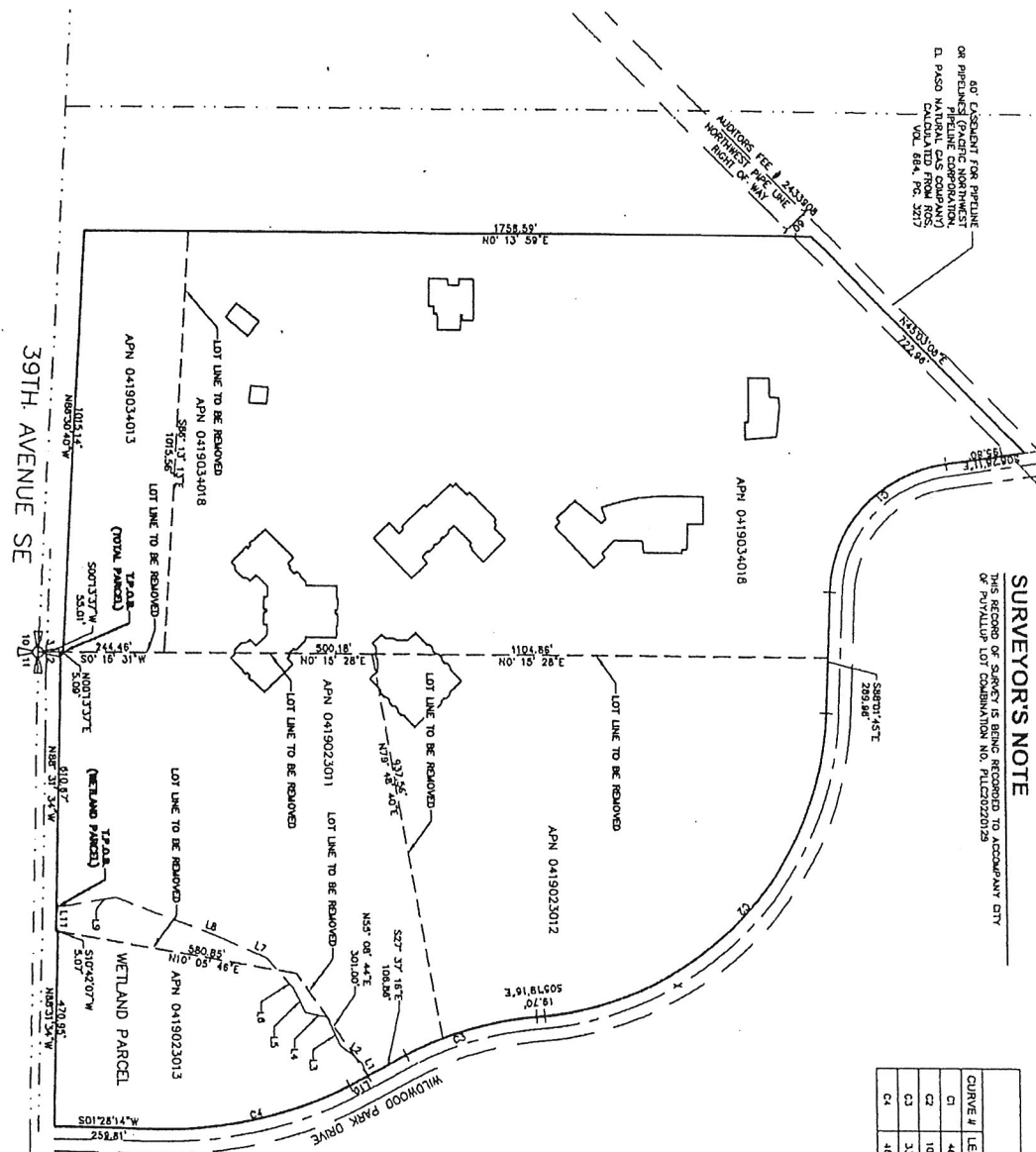
RECORD OF SURVEY

A PORTION OF THE NE 1/4 AND SE 1/4 OF THE SE 1/4 OF SECTION 3,
AND THE NW 1/4 AND SW 1/4 OF THE SW 1/4 OF SECTION 2,
TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M.,
CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

SURVEYOR'S NOTE

THIS RECORD OF SURVEY IS BEING RECORDED TO ACCOMMODATE CITY
OF PUYALLUP LOT COMBINATION NO. PLCO2202012

80' EASEMENT FOR PIPELINE
OR PIPELINES
FILED IN
PIERCE COUNTY
D. PASO NATURAL GAS COMPANY
CALCULATED FROM NOS.
101, 924, 925, 926



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	460.40	331.55	79°33'4"	S48° 14' 58"E	424.29
C2	1097.41	780.23	82°12'25"	N46° 40' 30"W	1004.56
C3	330.27	648.57	22°10'00"	S16° 28' 16"E	328.19
C4	487.20	920.34	29°05'30"	N15° 04' 31"W	482.29

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	37.70	S82° 34' 14"W
L2	64.20	S37° 57' 43"W
L3	74.47	S05° 18' 15"W
L4	53.54	S12° 28' 28"W
L5	64.85	S84° 36' 58"W
L6	94.82	S49° 35' 55"W
L7	126.19	S23° 59' 54"W
L8	264.77	S01° 03' 12"W
L9	146.08	S9° 30' 04"E
L10	51.87	S57° 37' 18"E
L11	54.77	N88° 31' 34"W

BASIS OF BEARING
MAD 63/91
WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE

EQUIPMENT USED
3" TOTAL STATION USING STANDARD FIELD
TRAVELERS METHODS FOR CONTROL AND STAMING

SITE DATA

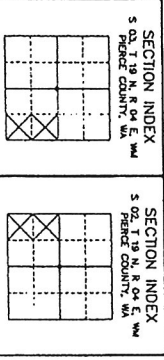
PARCELS TO BE COMBINED:
APN 0419034013, AREA=1744.468 SF
APN 0419034018, AREA=651.586 SF
APN 0419034016, AREA=281.199 SF
APN 0419023011, AREA=201.519 SF
TOTAL AREA=3,885.180

OWNER: STATE OF WASHINGTON
SITE ADDRESS: 1801 39TH AVE SE, PUYALLUP, WA 98074
MAILING ADDRESS: 9401 PARKWEST DR SW, TACOMA, WA 98498-1819



CD	8/10/22	DATE
CHKD. BY	JOB NO.	
DS	210629750	

AUDITOR'S CERTIFICATE
I, DAVID FOLANSBEE
AUDITOR FOR PIERCE COUNTY, DO HEREBY CERTIFY THAT THIS RECORD OF SURVEY
IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS FILED AT THE REQUEST OF SAID
AUDITOR'S FILE NO. 202209305001
\$ 392050
DAVID FOLANSBEE
COUNTY AUDITOR



SURVEYOR'S CERTIFICATE

I, DAVID FOLANSBEE, A PROFESSIONAL LAND SURVEYOR IN THE
STATE OF WASHINGTON, DO HEREBY CERTIFY THAT I AM THE
CORRECT REPRESENTATIVE AND A SURVEY MADE BY ME OR UNDER MY
DIRECT SUPERVISION IN ACCORDANCE WITH THE
REQUIREMENTS OF RCW 19.02.010 AND THE
PRACTICES OF THE PROFESSION OF SURVEYING IN
ACCORDANCE WITH THE RULES OF THE
WASHINGTON ARCHITECTS ASSOCIATION.

DAVID FOLANSBEE, PLS. 45181

DATE: 8-24-22

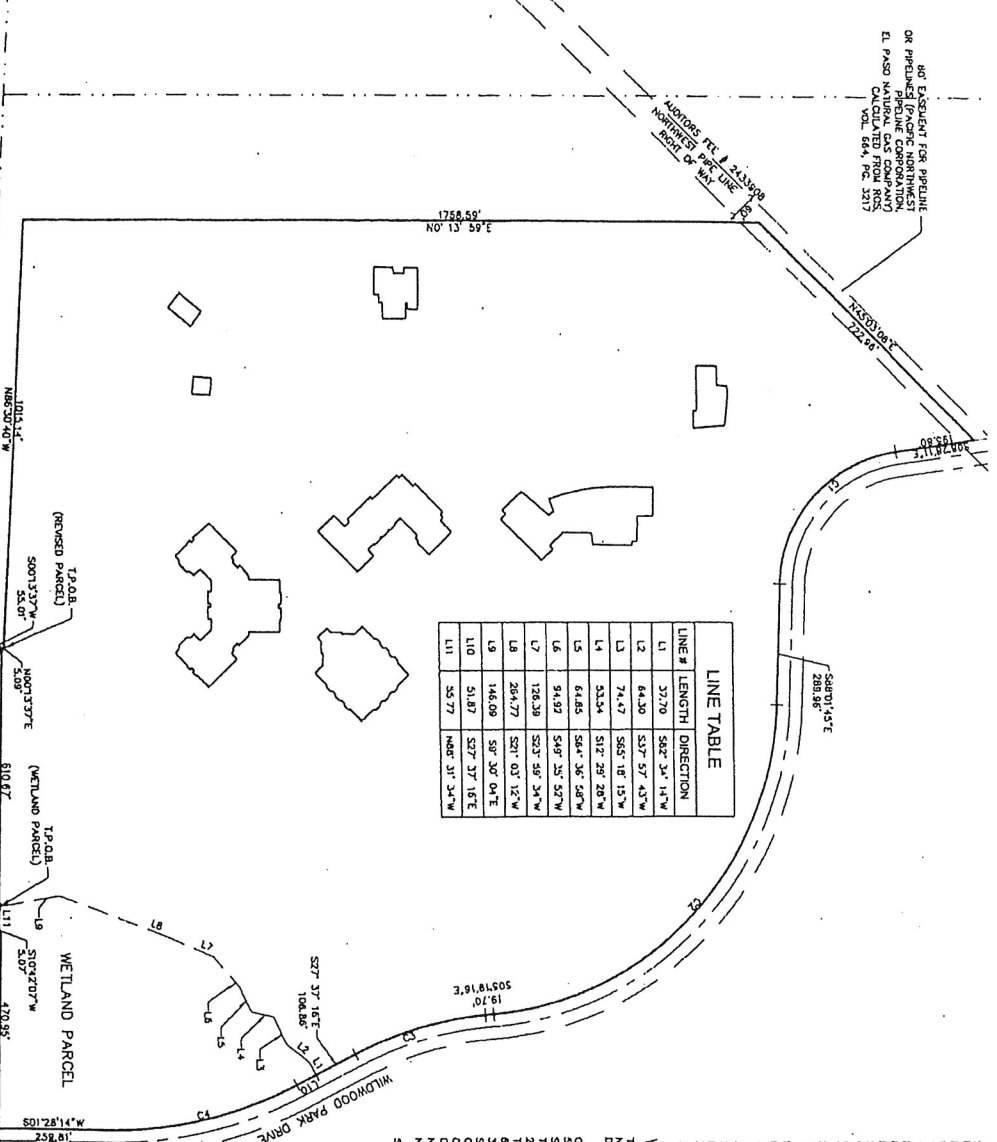


2215 North 30th Street, Suite 200, Tacoma, WA 98403
252.181.2122 TEL 252.383.2572 FAX www.aahl.com WES

202209305001

RECORD OF SURVEY
 A PORTION OF THE NE 1/4 AND SE 1/4 OF THE SE 1/4 OF SECTION 3,
 AND THE NW 1/4 AND SW 1/4 OF THE SW 1/4 OF SECTION 2,
 TOWNSHIP 19 NORTH, RANGE 4 EAST, W.M.,
 CITY OF PUYALLUP, PIERCE COUNTY, WASHINGTON.

TOTAL PARCEL LESS
 WETLAND PARCEL



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	466.40	331.58	70°53'34"	S48°14'36"E	441.29
C2	1097.41	760.23	82°42'29"	N44°40'30"W	1004.50
C3	230.27	844.37	27°18'00"	S16°26'16"E	209.19
C4	467.20	926.34	29°05'30"	N13°04'31"W	482.29

SURVEYOR'S NOTE
 THIS RECORD OF SURVEY IS BEING RECORDED TO ACCOMPLISH CITY
 OF PUYALLUP LOT COMBINATION NO. PL20202073

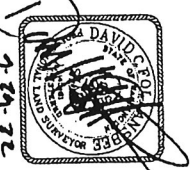
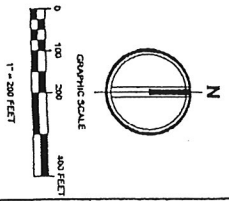
LINE TABLE

LINE #	LENGTH	DIRECTION
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L3	74.17	S65°18'15"W
L4	53.54	S12°29'20"W
L5	64.85	S44°36'50"W
L6	94.92	S49°35'52"W
L7	126.39	S23°56'34"W
L8	264.37	S21°03'12"W
L9	146.09	S9°30'04"E
L10	51.87	S27°37'16"E
L11	35.77	N48°31'34"W

SITE DATA

NEW PARCEL:
 AREAS-382160 SF
 OWNER STATE OF WASHINGTON
 SITE ADDRESS: 1801 38TH AVE SE, PUYALLUP, WA 98374
 MAILING ADDRESS: 9401 FARMERS DR SW, TACOMA, WA 98498-1815

DWN. BY DATE
 CO 8/70/22
 CHGD. BY JOB NO.
 OF 2190907.50



AHBL
 TACOMA - SEATTLE - SPOKANE - TRICITIES
 2215 North 20th Street, Suite 200 Tacoma, WA 98403
 253.383.2422 TEL 253.383.2372 FAX www.ahbl.com WES

202209305001

City of Puyallup Approval

This proposed lot combination meets or is exempt from subdivision codes. Failure to record this lot combination (if approved below) within 30 days of the date listed below will nullify the approval. The approval of the lot combination shall not be a guarantee that future permits will be granted for any structure or development within a lot affected by the combination or consolidation.

Approved

Approved with Conditions

Denied

Conditions:

Signature

Date

Printed Name

Title

Department

Phone

Email