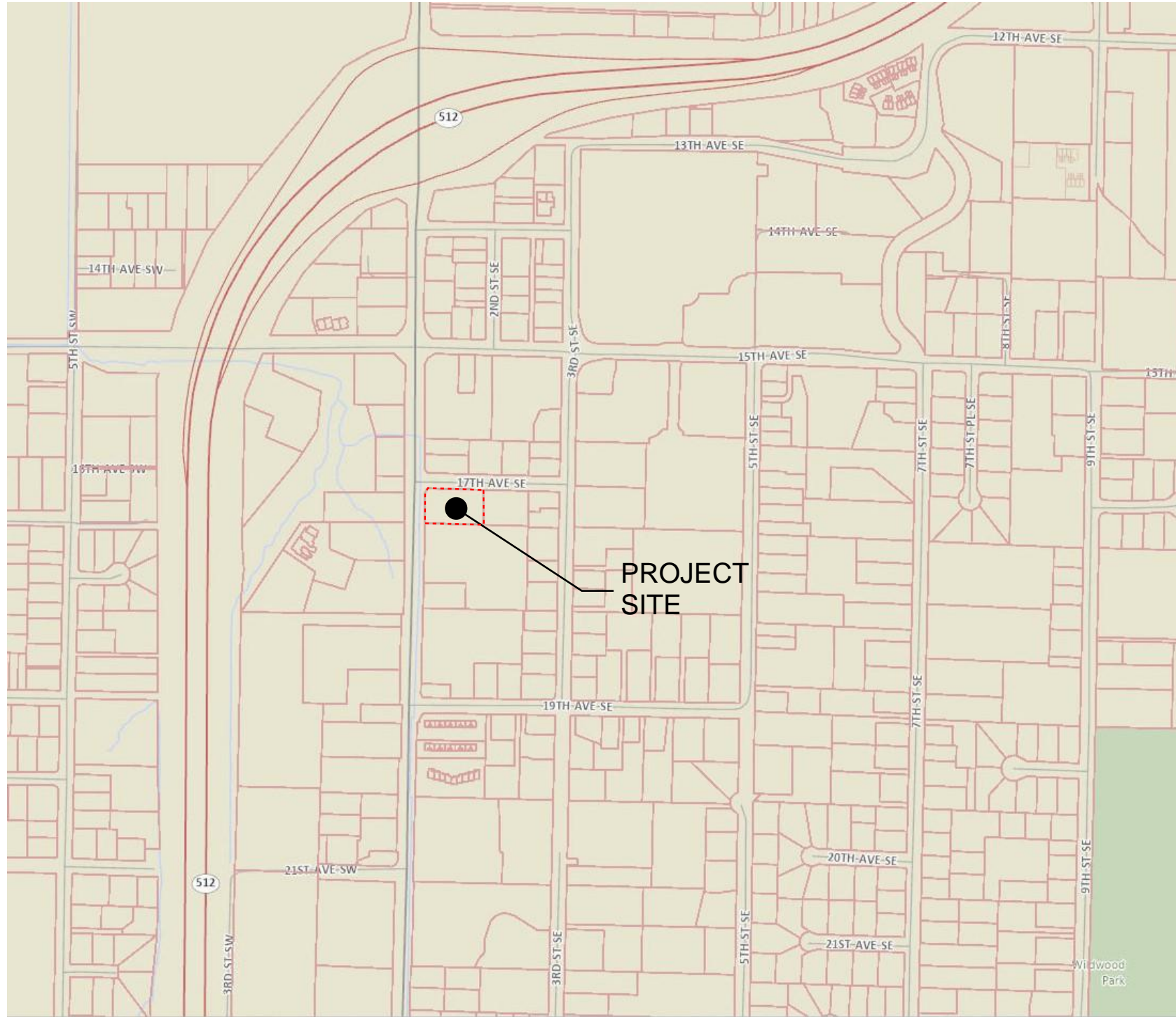


PUYALLUP MEDICAL OFFICE BLDG

1617 S MERIDIAN, PUYALLUP



VICINITY MAP - NO SCALE

PROJECT SUMMARY

NEW CONSTRUCTION OF A MEDICAL OFFICE BUILDING, INCLUDING TWO STORIES OF STRUCTURED PARKING AND FIVE STORIES OF MEDICAL OFFICE SPACES ABOVE.

THE PROPOSED BUILDING DESIGN CAPITALIZES ON EXISTING TOPOGRAPHY, PLACING STRUCTURED PARKING INTO THE HILLSIDE, ACCESSED FROM 17TH AVE SE. THE THIRD LEVEL (L1) INCLUDES SURFACE PARKING, ALSO ACCESSIBLE FROM 17TH AVE SE.

THE FIRST FLOOR LOBBY AND MEDICAL OFFICE SPACE IS A 2 STORY VOLUME, PROVIDING 18' OF PEDESTRIAN ORIENTED FACADE ALONG THE S. MERIDIAN STREET FRONT. THE THIRD FLOOR (L1) PROVIDES FLEXIBLE MEETING SPACE FOR PROFESSION MEETINGS AND SEVERAL MEDICAL OFFICE SPACES. THE FOURTH FLOOR (L2) THROUGH FIFTH FLOOR (L5) ARE IDENTICAL AND PROVIDE THE MAJORITY OF THE MEDICAL OFFICE SPACES. THIS PROPOSAL IS PRELIMINARY IN NATURE AND SUBJECT TO FURTHER DESIGN AND DEVELOPMENT.

ADDRESS: 1617 S MERIDIAN
 OWNER: DR. FADI ALHAFAEZ c/o PFHC Puyallup, LLC
 PARCEL #: 7790000140
 ZONING: CG
 SITE AREA: 30,513 SF / 0.792 ac

MAXIMUM LOT COVERAGE - 75% X 30,513 SF = 22,884 SF
 LOT COVERAGE PROVIDED = 22,648 SF

MAXIMUM BLDG HT - 75' (64' PROVIDED)

MAXIMUM F.A.R. - 4.0 X 30,513 SF = 122,052 SF
 FAR PROVIDED = 102,061 SF

MIN. GROUND FLOOR HEIGHT - 14' (18' PROVIDED)

SETBACKS:

FRONT YARD	12'
SIDE YARD	0'
REAR YARD	0'

PARKING:
REQUIRED

1:300 GSF - MEDICAL OFFICES = 138 STALLS
 * FLEXIBLE MEETING SPACE PARKING PROVIDED AFTER HOURS & WEEKENDS ONLY

PROVIDED

P1 - 17TH STREET LEVEL = 42 STALLS
 P2 - UPPER PARKING LEVEL = 45 STALLS
 L1 - LEVEL 1 = 19 STALLS

TOTAL PROVIDED = 117 STALLS

* PARKING REDUCTION IS REQUESTED

BUILDING STATISTICS:

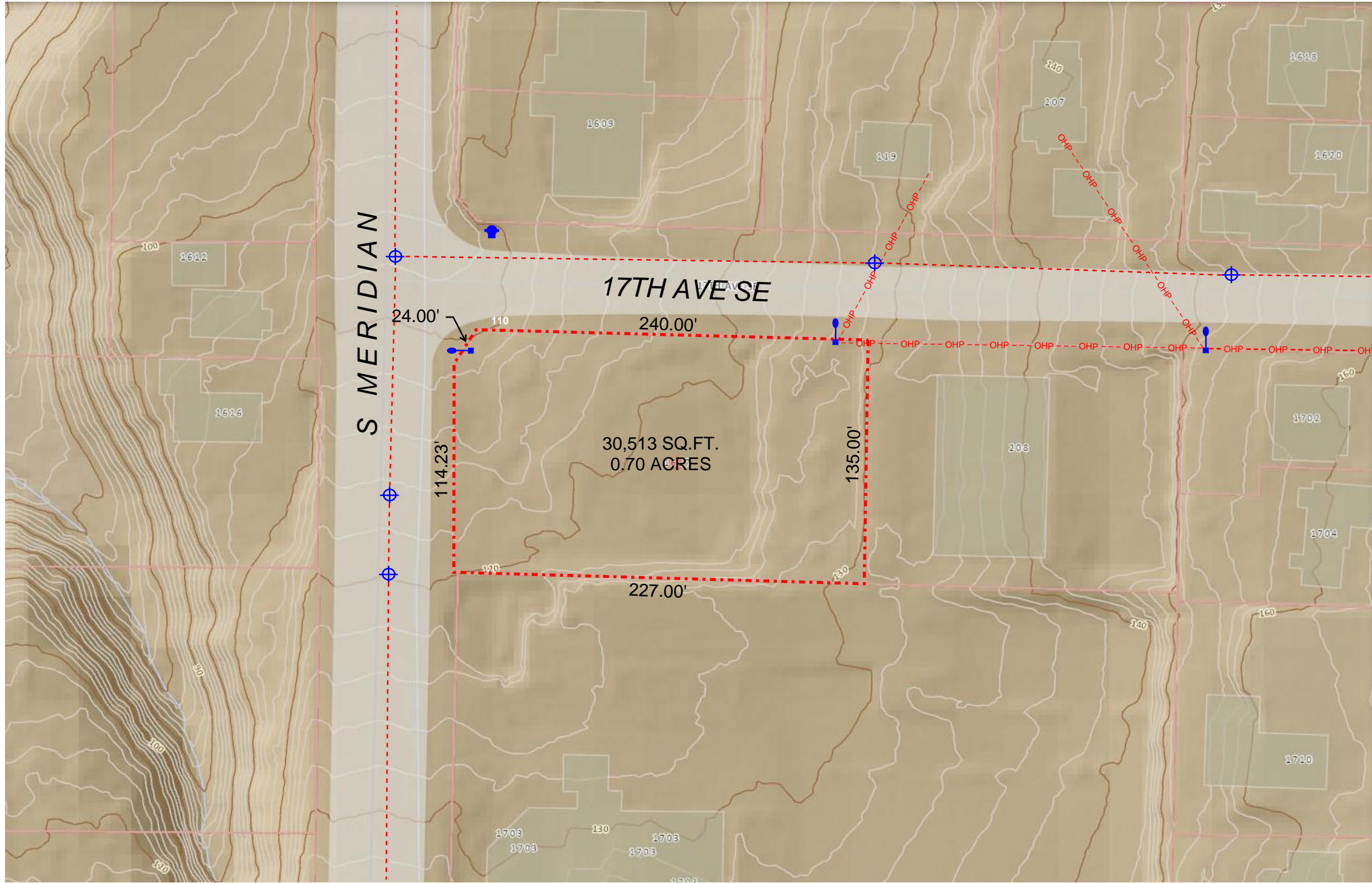
CONSTRUCTION TYPE - VA (5 STORIES) / IA (2 STORIES)

BUILDING HEIGHT 73' - 2" T.O. ROOF

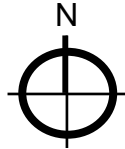
BUILDING AREA:

P1- PARKING/MAIN LOBBY	22,648 GSF
P2- PARKING	19,228 GSF
L1- MEDICAL OFFICES/ FLEX MTG ROOMS	8,845 GSF
L2- MEDICAL OFFICES	12,835 GSF
L3- MEDICAL OFFICES	12,835 GSF
L4- MEDICAL OFFICES	12,835 GSF
L5- MEDICAL OFFICES	12,835 GSF

TOTAL 102,061 GSF



- LEGEND**
- SANITARY SEWER MAIN
 - ⊕ SANITARY MANHOLE
 - ⊥ LIGHT POLE
 - ⬠ HYDRANT LOCATION
 - - OHP - - OVERHEAD POWER LINES



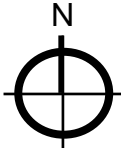
SITE PLAN - EXISTING

1" = 60'



LEGEND

- - - SANITARY SEWER MAIN
- SANITARY MANHOLE
- LIGHT POLE
- COMPACT PARKING STALL 8'X16' (40% MAX)
- STANDARD PARKING STALL 9'X18'
- LANDSCAPING
- UNDERGROUND INFILTRATION TRENCH W/ WATER QUALITY (CONCEPTUAL STORM DRAINAGE)



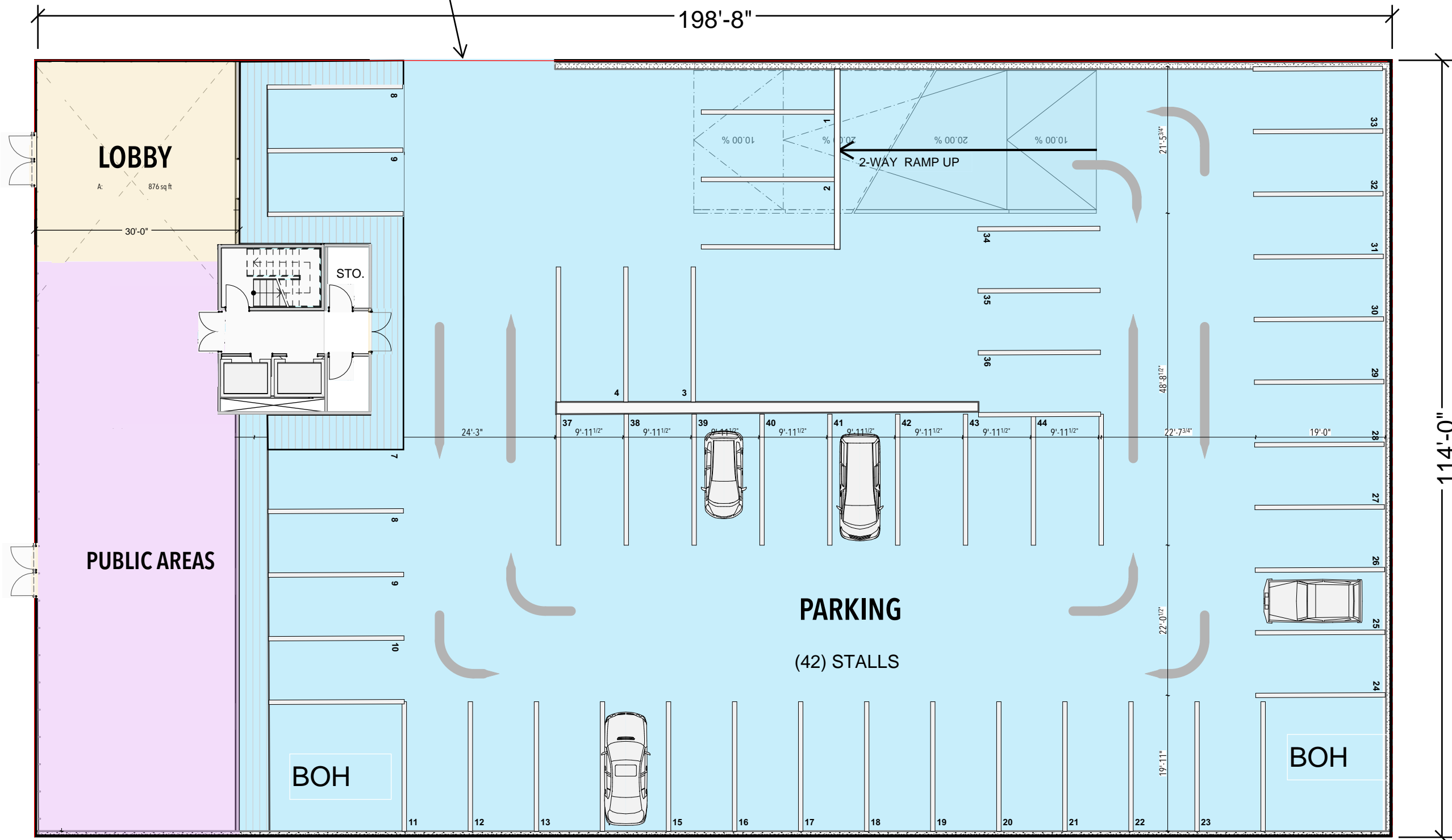
SITE PLAN - PROPOSED

1" = 60'

17TH ST. PARKING
STRUCTURE ACCESS

198'-8"

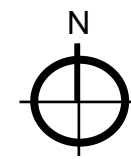
114'-0"

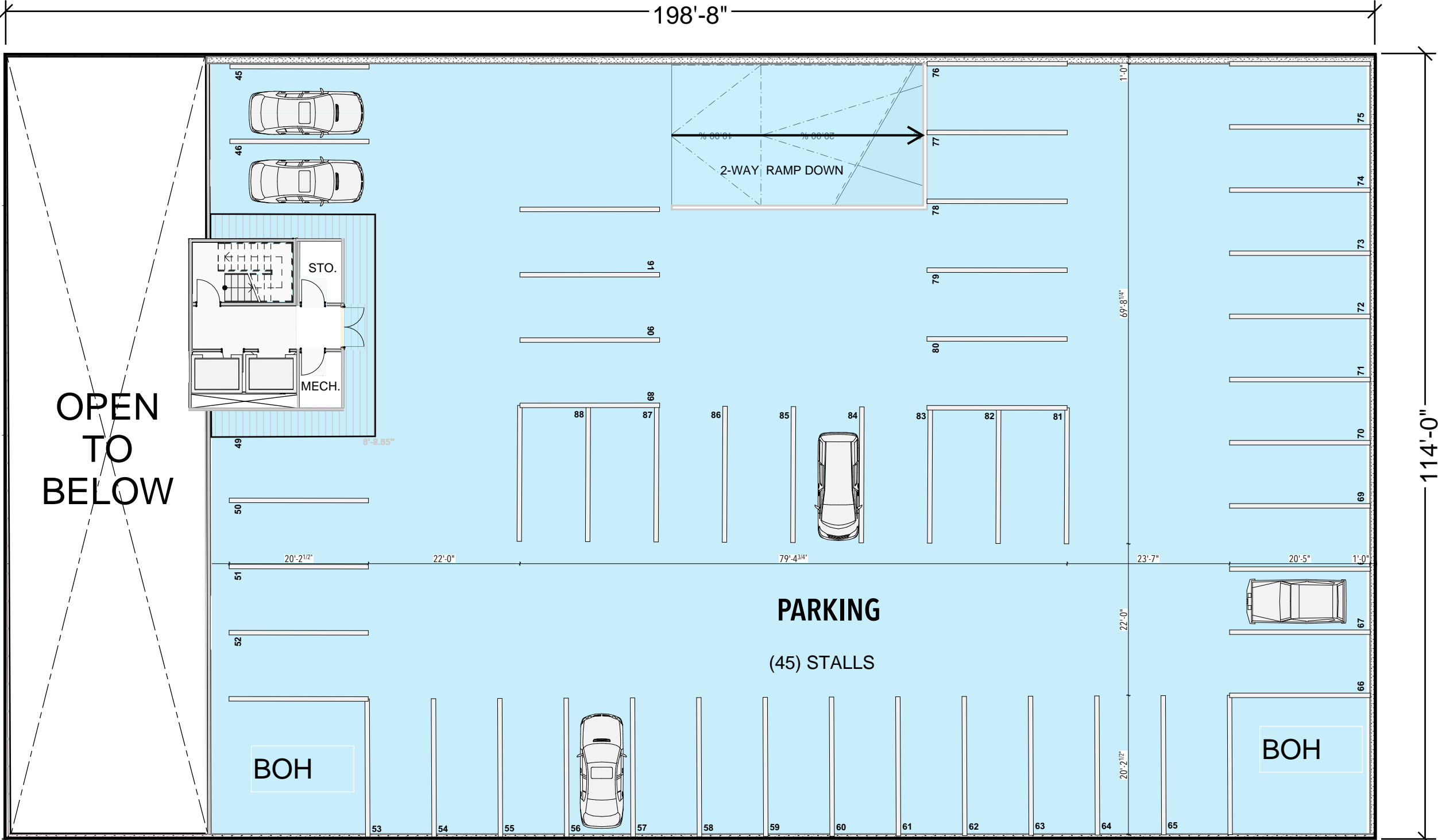


FLOOR STATISTICS:	
PARKING	=18,920 GSF
OFFICE SPACE	= 1,935 GSF
CIRCULATION SPACE	= 1,833 GSF
TOTAL AREA	=22,688 GSF

P1 - 17TH ST. LEVEL

SCALE: 1/16" = 1'-0"





FLOOR STATISTICS:

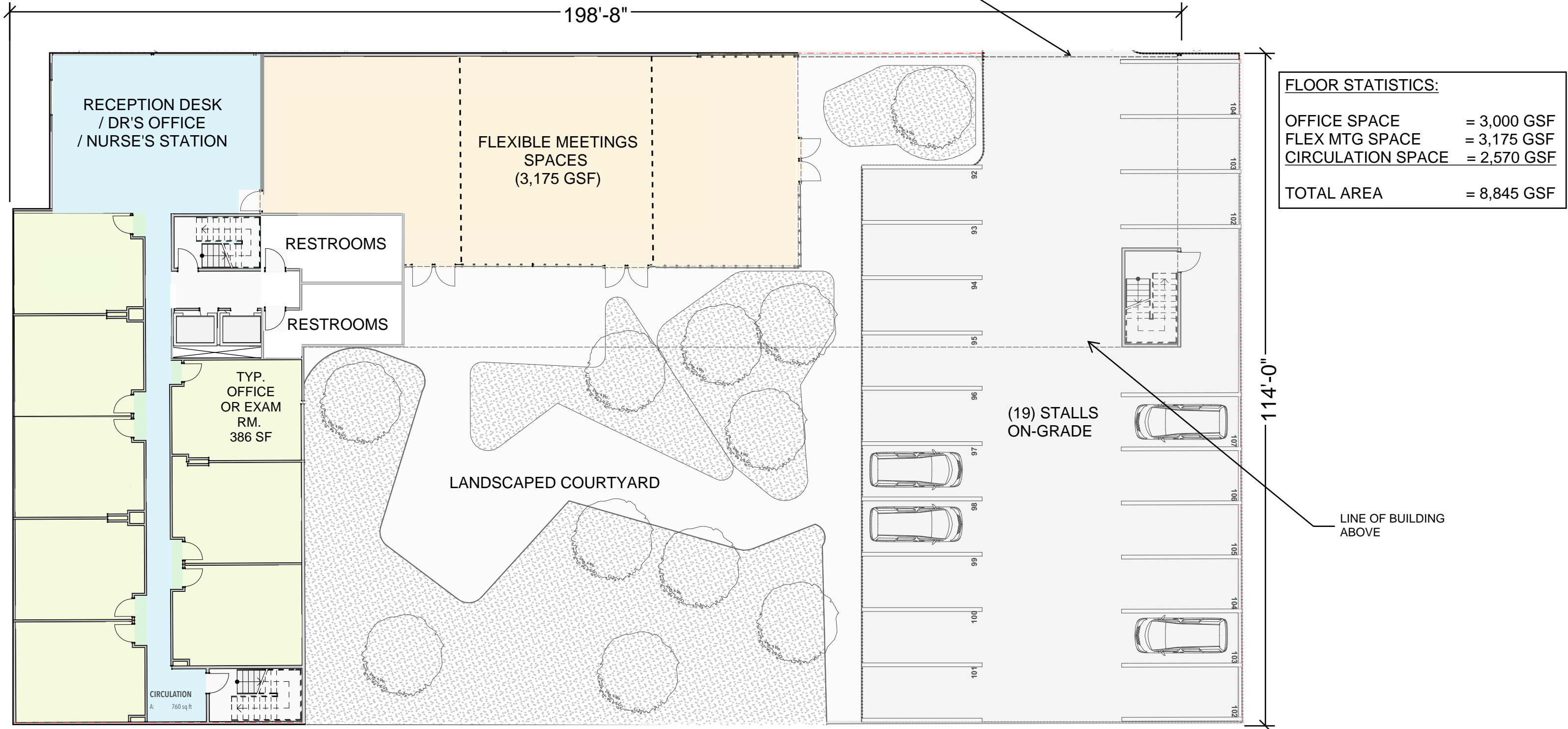
PARKING	=18,663 GSF
CIRCULATION SPACE	= 565 GSF
TOTAL AREA	=19,228 GSF

P2 - UPPER PARKING FLOOR PLAN

SCALE: 1/16" = 1'-0"



UPPER VEHICULAR
ACCESS DRIVE TO L3
ON-GRADE PARKING



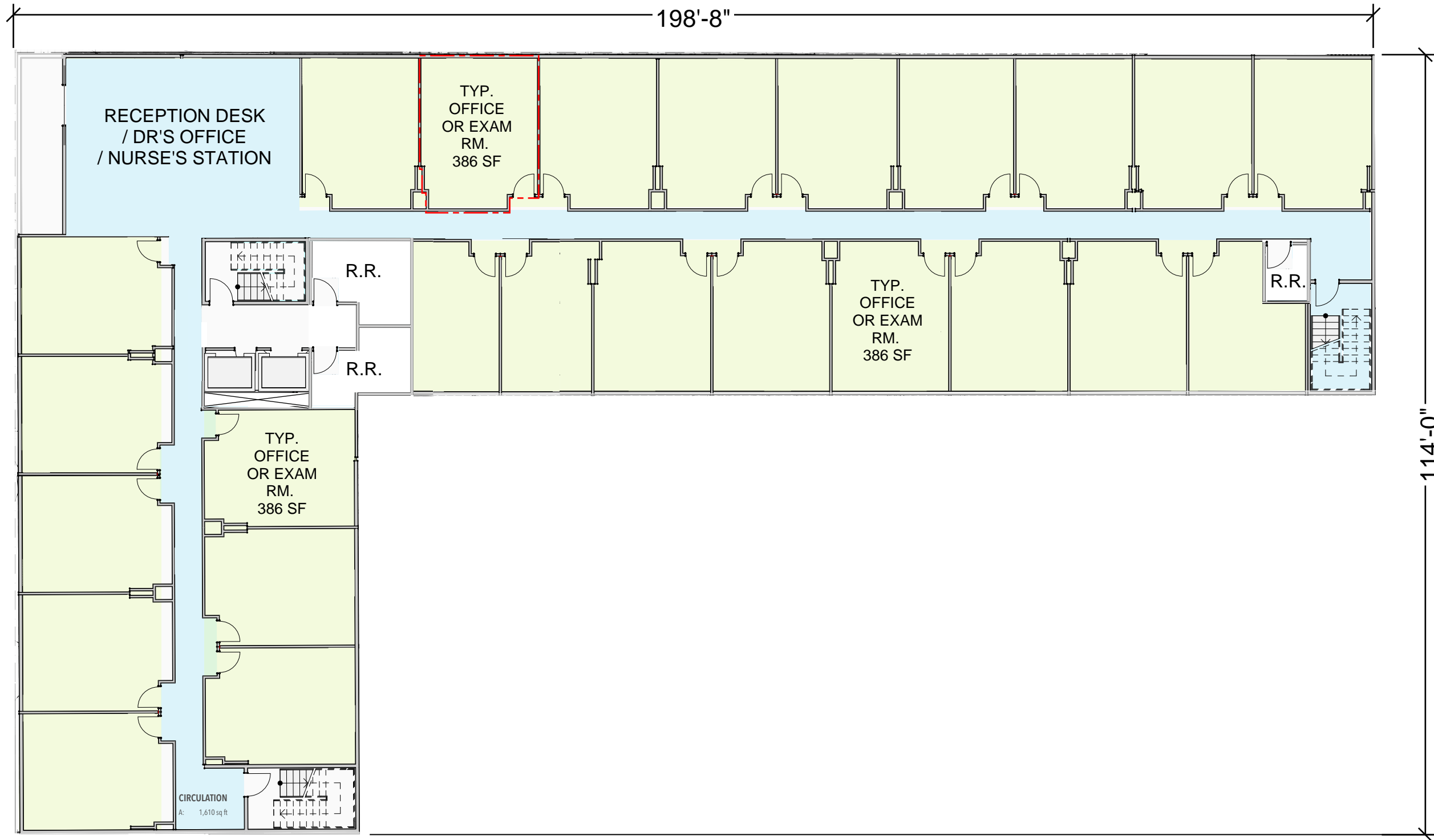
FLOOR STATISTICS:

OFFICE SPACE	= 3,000 GSF
FLEX MTG SPACE	= 3,175 GSF
CIRCULATION SPACE	= 2,570 GSF
TOTAL AREA	= 8,845 GSF

L1 - FLOOR PLAN

SCALE: 1/16" = 1'-0"





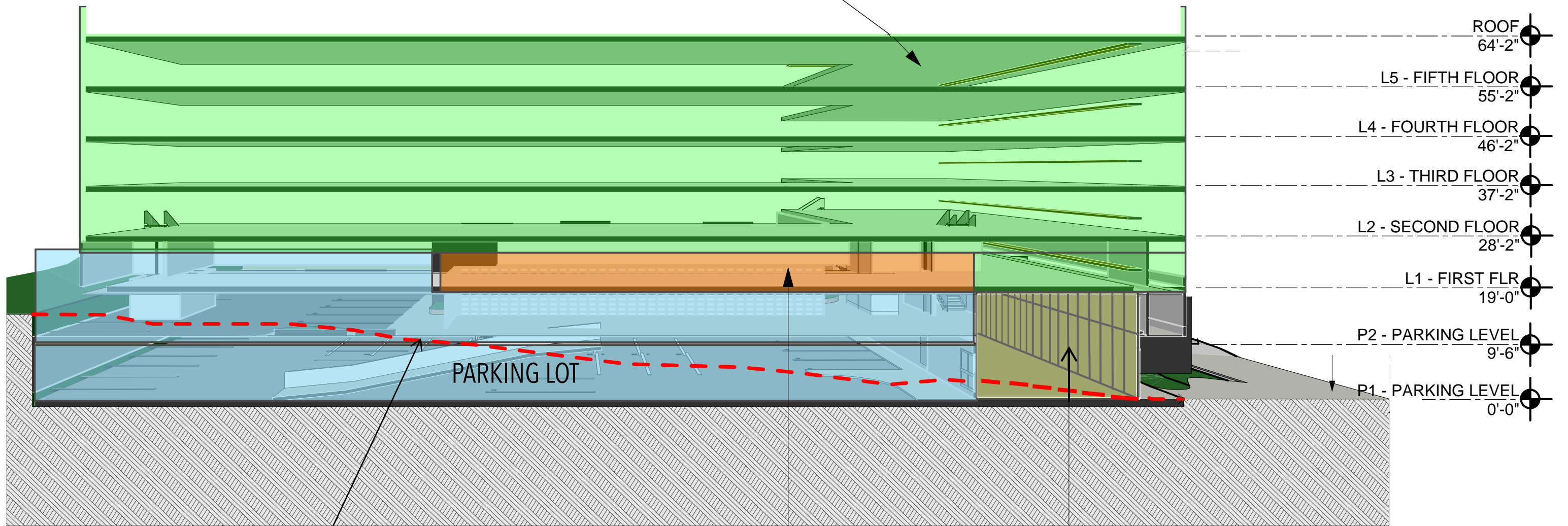
TYP. FLOOR STATISTICS:	
OFFICE SPACE	= 9,264 GSF
CIRCULATION SPACE	= 3,571 GSF
TOTAL AREA	=12,835 GSF

L2 - L5 FLOOR PLANS

SCALE: 1/16" = 1'-0"



TYPICAL FLOOR/MEDICAL PRACTICE



LINE OF EXISTING GRADE

FLEXIBLE MEETING ROOMS

BUILDING LOBBY

CONCEPTUAL BUILDING SECTION

SCALE: 1/16" = 1'-0"



WEST VIEW
NOT TO SCALE