



Design Review & Historic Preservation Board Meeting Agenda

The City is providing a hybrid meeting option which will allow for attendance in-person (City Hall, Council Chambers - 5th floor), or by remote access via internet and phone. The meeting can be watched and listened to via this conferencing link: <https://zoom.us/>, click Join a Meeting, Meeting ID: 898 4883 4177, password is 902841. To join the meeting by phone, dial 253-215-8782 and use the same Meeting ID and password as listed above.

Written comments will be accepted at MichelleO@puyallupwa.gov until 3:00 p.m. and be distributed to the Board prior to the meeting.

Thursday, January 19, 2023
4:00 PM

ROLL CALL

APPROVAL OF THE AGENDA

CITIZEN COMMENTS

1. WORKSESSION TOPICS

- 1.a Certificate of Appropriateness - Historic Property - Harris Building (PLCOA20220168)

[Staff Report](#)

[Application](#)

[Site Plan](#)

[Building Plans and Elevations](#)

[Material Information](#)

[Photo 1 - existing front facade](#)

[Photo 2 - Rear Exterior](#)

[Photo 3 - T1-11 siding](#)

[Similar Architecture Examples](#)

- 1.b Grant Project - Puyallup Local Historic Register Nomination Update

[Staff Memo](#)

[113 W Pioneer Ave Vicinity Map](#)

[130 5th Ave NW Vicinity Map](#)

[505 5th St NE Vicinity Map](#)

2. OTHER BOARD BUSINESS

ADJOURNMENT



Design Review & Historic Preservation Board Agenda Item Report

Submitted by: Kendall Wals
Submitting Department: Development Services
Meeting Date: January 19, 2023

Subject:

Certificate of Appropriateness - Historic Property - Harris Building (PLCOA20220168)

Presenter:

Kendall Wals, Senior Planner | 253-841-5462 | kwals@puyallupwa.gov

Recommendation:

Review, Deliberate, Decision

Background:

The Harris Building, located at 1102 E Main, was recently listed on the city's local historic register. In accordance with Puyallup Municipal Code, no changes are permitted to a property listed on the local register without first being reviewed by the Board and receiving an approved "Certificate of Appropriateness."

Please refer to the attachments for a description and depiction of the proposed improvements. Also attached is a staff report with property background information, analysis of the required criteria - Washington State Advisory Council's standards for rehabilitation of historic properties (WAC 254-20-100) - and a staff recommendation. The Board is being asked to review and make a determination at the January 19, 2023 meeting.

ATTACHMENTS

[Staff Report](#)

[Application](#)

[Site Plan](#)

[Building Plans and Elevations](#)

[Material Information](#)

[Photo 1 - existing front facade](#)

[Photo 2 - Rear Exterior](#)

[Photo 3 - T1-11 siding](#)

[Similar Architecture Examples](#)



City of Puyallup

Planning Division

333 S. Meridian, Puyallup, WA 98371

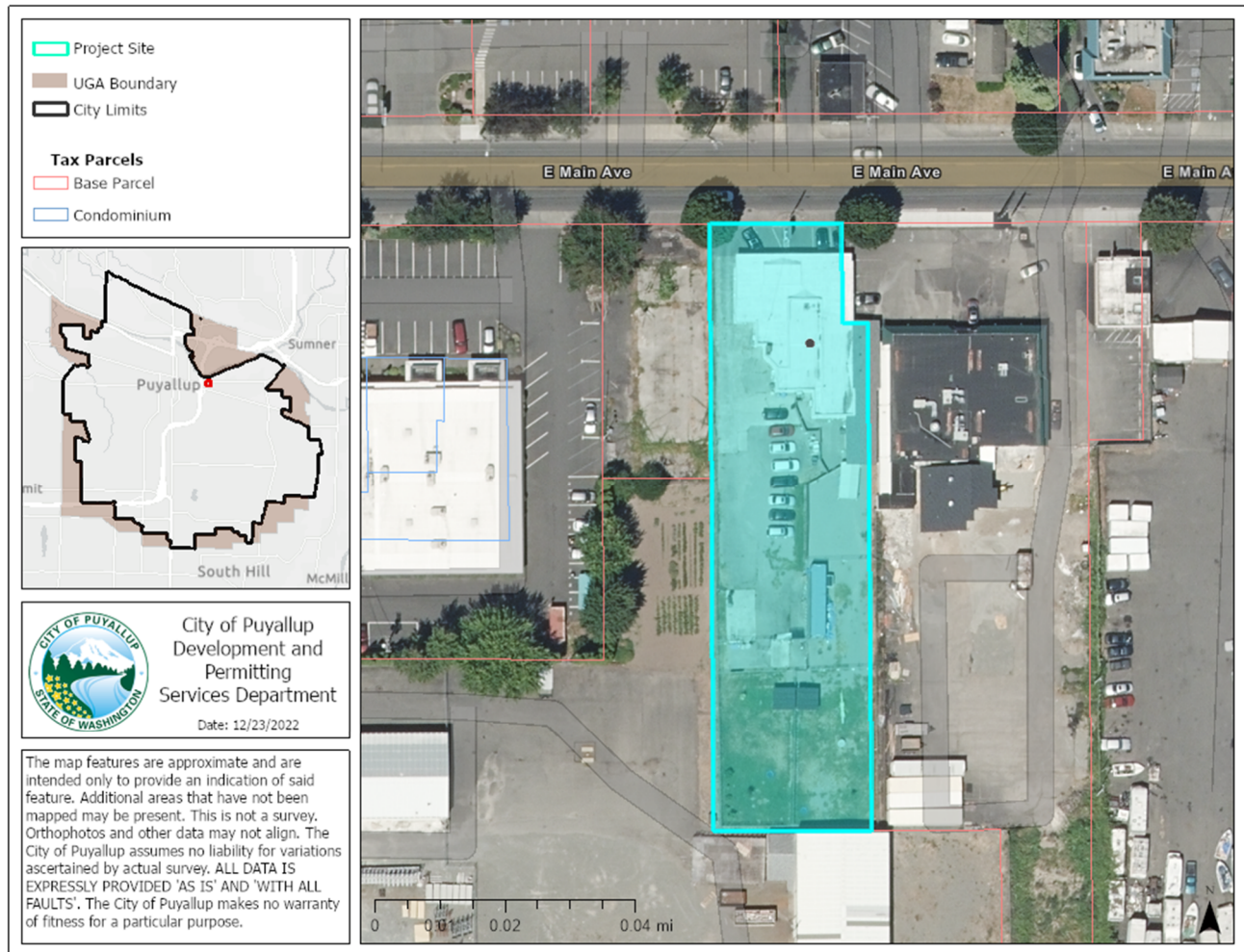
(253) 864-4165

www.cityofpuyallup.org

To: Design Review and Historic Preservation Board
From: Kendall Wals, Senior Planner
RE: Harris Building Revisions, Project # PLCOA20220168
Date: January 11, 2023
Meeting Date: January 19, 2023

PROJECT OVERVIEW	
<p>Applicant: John Hopkins</p> <p>Staff Coordinator: Kendall Wals, Senior Planner</p> <p>Property Owner: HOPKINS JOHN L & JACQUELINE E</p> <p>Parcel ID#: 7845000080;</p> <p>Recommendation Options:</p> <ol style="list-style-type: none">1. Approve the request, consistent with the staff recommendation.2. Approve with modification.3. Continue to a future date to obtain additional information or to further consider information presented. The next available meeting date is February 2, 2023.4. Deny the request and provide findings based on the required review criteria.	<p>Proposal: Proposed changes to a property listed on the city’s local historic register. Please see the proposal description section for more detailed information on the proposed changes.</p> <p>Relevant History: The Board held a pre-application meeting with the applicant on historic register listing and the proposed changes to the subject building in September 2021; subsequently the property was listed on the Puyallup historic register in October, 2022.</p> <p>Staff Recommendation: Staff recommends approval based on the analysis of the required review criteria and findings provided in this staff report. <u>However, staff also recommends the Board further analyze criteria “f” and “i” prior to making a final decision.</u></p>

VICINITY MAP



BACKGROUND

The Board conducted pre-application review for the “Harris Building” on September 16, 2021, for historic register listing, as well as the proposed changes to the structure. The applicant subsequently applied for historic register listing, which was reviewed by the Board at a Public Hearing on August 18, 2022; the Board unanimously (4-0) recommended approval to City Council. The Council accepted the Board’s recommendation and approved its listing on the city’s Register of Historic Places on September 27, 2022.

The historic register nomination noted the historic significance of Dr. William F. Harris who established a veterinary clinic in Puyallup in 1946 and operated the clinic in the subject building from approximately 1949 to 1996. Harris was a well-known veterinarian in the area and member of several professional organizations, author of professional publications and guest speaker at professional events. The primary structure was built in 1949, with later additions of a “dog run” and horse stalls. The Harris Building character defining features were noted as being its post-war modern architecture; single-story construction with roman brick on the front façade set in a running band with strong horizontal and vertical elements, flat roof and elongated overhang at the storefront containing plate glass on a narrow base surrounding the main entry to the building. The nomination also noted original interior features such as original dividers in the dog run and horse stalls, unusual stucco finish, canning shelves, terrazzo flooring and ribbed cedar paneling, as well as classic tile in the bathroom.

The September 16, 2021 pre-application submittal included proposed exterior changes to windows, doors, roofing and paint. Site alterations were also identified which would alter the existing parking at the front of the building, walkways, widening of the existing driveway, and regrading of the existing parking lot area. The proposed exterior improvements in the current application are largely the same as discussed at the pre-application meeting, except for the proposed modification to an exterior wall that currently has T1-11 siding and is proposed to be replaced with corrugated metal.

At the time of the pre-application meeting, Board members provided general feedback regarding the two areas that originally contained exterior garage doors but were previously modified and infilled with T1-11 and man doors. The applicant requested Board input on these specific areas, and the following guidance was provided:

- Swinging doors or garage doors; historically, garage doors were a single unitary material that opened as one solid piece, rather than today's rolling garage doors that operate in sections close to the building.
- The infill areas are located at the back of the building and board members noted that due to their location the material used was, in general, less of a concern.
- Board members noted consideration of the function behind the subject doors and building code requirements when determining the type/style of the material used to modify the two subject areas.

PROPOSAL

The applicant requests formal Certificate of Appropriateness approval for proposed improvements to the exterior façade and minor changes to the interior.

Proposed Interior Changes

- Minor change to the original terrazzo flooring where it's extended up the wall in a new hallway location for new bathrooms
- Original canning shelves to be removed for a new bathroom
- Original bathroom will largely remain the same, except for upgrades to fixtures
- Replacement of interior doors that have been replaced over time; replacement material not specified
- Insulation will be restored in the building as it was previously removed due to fire damage
- One existing interior window to be reglazed

Proposed Exterior Changes

- Remove and replace two garage doors that were previously infilled with man doors and T1-11 with new garage doors
- Cover T1-11 siding on the existing horse stall with corrugated iron
- New exterior door proposed at the location of an existing window at the north horse stall, which is a building code requirement for egress
- Replacement of the south horse stall window with a new single-hung window
- Replacement of one vandalized storefront window, like for like
- Replacement of three windows (two vinyl, one original damaged window) on the front façade with anodized aluminum single hung insulated windows

REVIEW CRITERIA

In accordance with Puyallup Municipal Code (PMC) Section [21.22.030](#), no person shall change the use, construct any new building or structure, or reconstruct, alter, restore, remodel, repair, move or demolish any existing property on the Puyallup historic register without review by the Board and without receipt of a “certificate of appropriateness”. Commencement of any work for a property on the Puyallup historic register without receiving a certificate of appropriateness is grounds for the board to review the property for removal from the register.

The review required shall apply to all features of the property, interior and exterior, which contribute to the property’s designation on the register and are listed on the nomination form. In determining whether to approve an application for a certificate of appropriateness, the Board shall use the standards for rehabilitation and maintenance of historic properties as provided for in WAC [254-20-100](#). The subject standards are provided in the analysis section below.

ANALYSIS

WAC 254-20-100 – Washington State Advisory Council's Standards for the Rehabilitation and Maintenance of Historic Properties. Analysis is provided for the subsection on rehabilitation only, as the maintenance criteria is only used at the time of special property tax valuation.

I. Rehabilitation

- a) **Every reasonable effort shall be made to provide a compatible use for an historic property which requires minimal alteration of the building, structure, or site and its environment, or to use an historic property for its originally intended purpose.**

Analysis: The property was originally used as a veterinary clinic and office for many years, and then later as an animal hospital and rescue. The applicant currently does not have a tenant in the space but has indicated that it is intended to be used as an office space, which would continue the professional office and services use. Staff finds the project to be consistent with this criterion.

- b) **The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**

Analysis: The proposed changes appear to largely consist of improving areas that are not original but previously altered to materials that would not be consistent with the original architecture or time period of the structure. Two changes were noted in the interior, including removal of the original canning shelves and modification to the original terrazzo flooring for an area that will become a hallway for a new bathroom. Additionally, an exterior window in one of the original horse stalls is proposed to be replaced with a new exterior door, which was noted to be a building code requirement for building egress purposes. By the project description it appears the proposed changes have largely avoided removing or altering historic materials or distinctive features of the structure; therefore, staff finds the proposal to meet this criterion.

- c) **All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.**

Analysis: The proposed changes to windows on the frontage appear to be correcting prior replacements that were uncomplimentary to the original architectural style of the structure or replacing original windows with an appropriate material. The other exterior changes are proposed toward the rear of the building, which includes putting exterior garage doors back in place for two areas that were previously infilled with T1-11 siding and newer exterior doors, as well as replacing T1-11 siding material for a

portion of the building with corrugated metal. Based on the project description and the material information provided, staff finds consistency with this criterion.

- d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.**

Analysis: The newer vinyl windows and T1-11 exterior siding that were previously updated do not appear to have acquired significance over time. Staff finds that the proposed changes are consistent with this criterion.

- e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.**

Analysis: The project description notes minor modification to the original terrazzo flooring inside the building, which appears to be a distinctive stylistic feature. The applicant notes that the modification to the material is in a location where the tile is on the wall where a new hallway is proposed for new bathrooms. The remaining terrazzo flooring will be retained. Based on the description, it appears the material is being treated with sensitivity and minimal changes are proposed; therefore, staff finds consistency with this criterion.

- f) Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.**

Analysis: Many of the features that are proposed to be replaced are ones that were previously modified. One of the storefront windows is proposed to be replaced "like for like" and three vinyl windows on the front façade are proposed to be replaced with anodized aluminum single hung insulated windows. In review of similar style buildings that were included in the architect's narrative with the original nomination (see attachment), the proposed replacement materials appear to be consistent with the type of architecture; however, the Board should further analyze whether the proposed window replacements meet this criterion.

- g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.**

Analysis: This criterion does not appear to apply in this case.

- h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.**

Analysis: This criterion does not appear to apply in this case.

- i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.**

Analysis: The applicant is proposing to replace T1-11 siding for a portion of the building with corrugated metal. In general, staff finds that the proposed changes are consistent with this criterion; however, the Board should consider whether the proposed material is compatible and consistent with this criterion.

- j) **Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.**

Analysis: The removal of the former infill work will restore the prior exterior openings. The other proposed improvements appear to not alter essential form and integrity of the structure. As a result, staff finds consistency with this criterion.

STAFF RECOMMENDATION

Staff finds the proposed improvements to be generally consistent with the Washington State Advisory Council's Standards for the Rehabilitation of Historic Properties (WAC 254-20-100) based on the analysis and findings provided above; therefore, staff recommends approval. However, staff also recommends the Board further analyze criteria "f" and "i" prior to making a final decision.



1

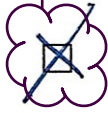
<p align="center">City of Puyallup Certificate of Appropriateness</p> <p><input checked="" type="checkbox"/> Request for Review <input type="checkbox"/> Request for Waiver</p> <p>PMC Chapter 21.22 – Historic Preservation</p>	<p align="center">CITY USE ONLY</p> <p>Case Number _____ Date Received _____ By _____ Receipt # _____</p>
<p>NAME OF PROJECT: <u>HARRIS BUILDING</u></p>	

Do the proposed changes require a building permit? Yes No

<p>APPLICANT</p> <p>Name <u>JOHN HOPKINS</u> Address <u>805 15TH ST NW</u> City <u>PUYALLUP</u> State <u>WA</u> Zip <u>98371</u> Phone <u>253 973 7069</u></p>	<p>PROPERTY LOCATION</p> <p>Property Address <u>1102 E MAIN</u> <u>PUYALLUP 98372</u> Assessor's Parcel # <u>7845000080</u> (required)</p>
<p>I (WE)</p> <p>Name <u>JOHN HOPKINS</u> Signature <u>[Signature]</u></p> <p>Do hereby affirm and certify, under penalty of perjury, that I am one (or more) of the owners or owner under contract of the herein described property and that the foregoing statements and answers are in all respects true and correct on my information and belief as to those matter, I believe to be true.</p>	

Confirmed that this is an error by the applicant. This is intended to be a formal review; applicant had a pre-application review with the Board on 9/16/21.

Project Classification (check all boxes that apply to your project)



Conceptual Review (Pre-application meeting): Discuss with the Design Review & Historic Preservation Board preliminary design ideas for a project. The Board will address the appropriateness of the proposal and provide design guidance.

- New Construction:** Construction of a new building, additions, garages, sheds, fences, gazebos, or other structures on a designated property.
- Exterior Building Alteration:** Includes all exterior changes to an existing building excluding ordinary repair and maintenance.
- Site Alterations:** Removing, adding or changing site features that will alter the appearance of the property. Site features include, but are not limited to, roads, fencing, retaining walls, walks, patios, and in the case of cemeteries, grave markers and plot demarcations. Site alteration includes tree removal, land clearing, landscaping, grading and filling.
- Signs or Graphics:** Installation of a sign or graphic on a building, or on the land parcel of record.
- Demolition:** Removal of any building structure or portion of a structure on the parcel of record. For all demolitions, the applicant must include a written reason for the demolition, proposed plans for the site, and a time frame for project initiation and completion.
- Special Valuation Project:** An owner of a Puyallup Registered property can apply for a for a 10-year property tax reduction based on the amount spent on an approved project. The minimum amount for the qualifying project rehabilitation is 25% of the building's value before work was begun. Once approval is granted, the property continues to be assessed on the normal schedule, but the amount spent on the rehabilitation is subtracted for a period of 10 years. This special valuation is available on current work, or projects completed within the last 2 years.
- Other:** _____
- Other:** _____

Work Description (please type or print legibly)

The information you provide to the DRHPB is all they will have of your design. It must accurately illustrate what you have in mind. Consult **The Secretary of the Interiors Standards and Guidelines for Preservation, Rehabilitation, Restoration, and Reconstruction for Historic Properties** (www.cr.nps.gov/hps/tps/standguide/) for more detailed information.

Describe the proposed changes to the registered structure in detail below, including a written description of information on building material proposed for removal and/or replacement, and stated reasons for removal or replacement as opposed to repair and retention, changes to door and window design (fenestration), changes to siding, trim, and architectural detailing, and changes to the existing massing or form of the building, including additions, demolitions, roof modifications, and enclosure of porches, decks, etc.
Attach additional sheets as needed.

SEE ATTACHED SHEETS NARRATIVE OF PROPOSED CHANGES

① INTERIOR

② EXTERIOR.

SUBMITTAL SHEETS

1+2

3

4

5+6 (5 PAGES)

PREVIOUSLY SUBMITTED FILE SHOWING BUILDING PLANS SUBMITTED FOR PRE APP

PHOTOS ☉

FRONT

GARAGE DOOR 1 LOCATION

" " 2 "

HORSE STALL ELEVATION WINDOWS TO BE REPLACED

HARRIS BUILDING NARRATIVE OF PROPOSED CHANGES

INTERIOR....

The interior of historic buildings are generally expected to be repurposed. Changes are normal and don't affect the historical integrity. However Items identified in the original narrative are still the priorities for preservation.

The terrazzo floor will only need a minor change in one location where it runs up the wall and becomes a cove base. This is in the section that becomes a hallway for the required new bathrooms Clara's canning section shelves also had to be sacrificed for the hall.

The original bathroom will only be changed to upgrade the fixtures to age appropriate ones . The terrazzo floor and tiled shower will remain and be reconditioned as necessary.

The dog run and horse stalls are actually becoming a bigger feature . This has become clear as the areas are being reconditioned and the original hardware is exposed.

Many of the interior doors were replaced over time . We expect to replace all of them with a more appropriate style.

Insulation will be inside the building, as opposed to building up the roof and changing the historic roof line .

One existing interior window is being Re glazed.

Overall the key interior items identified are still being preserved, and the bathroom and dog-run/ horse stalls receiving more attention and becoming focal points .

HARRIS BUILDING NARRATIVE OF PROPOSED CHANGES

EXTERIOR

Note that the exterior is a more critical component of historic integrity. Perfect restoration is generally impossible, and not cost effective. Any changes done need to be working towards an improvement.

In the case of the Harris building, several inappropriate changes have been made since original construction. My goal is to address the most egregious of these.

Identified areas.....

There are three areas that have T1-11 siding

1 and 2 ...garage doors have been infilled with man doors and T1-11

The proposed change is to remove and replace both areas with garage doors as submitted (submittal items 1 and 2)

3... The horse stall is sided with T1-11.

The proposed change is to cover this with corrugated iron (submittal item 3)

4... The north horse stall window must be replaced with a door, for code egress reasons .

The proposed change is to install a new exterior door (submittal item 4)

5... The south horse stall window is the wrong style

The proposed change is to replace it with a new single hung window (submittal item 5 and 6)

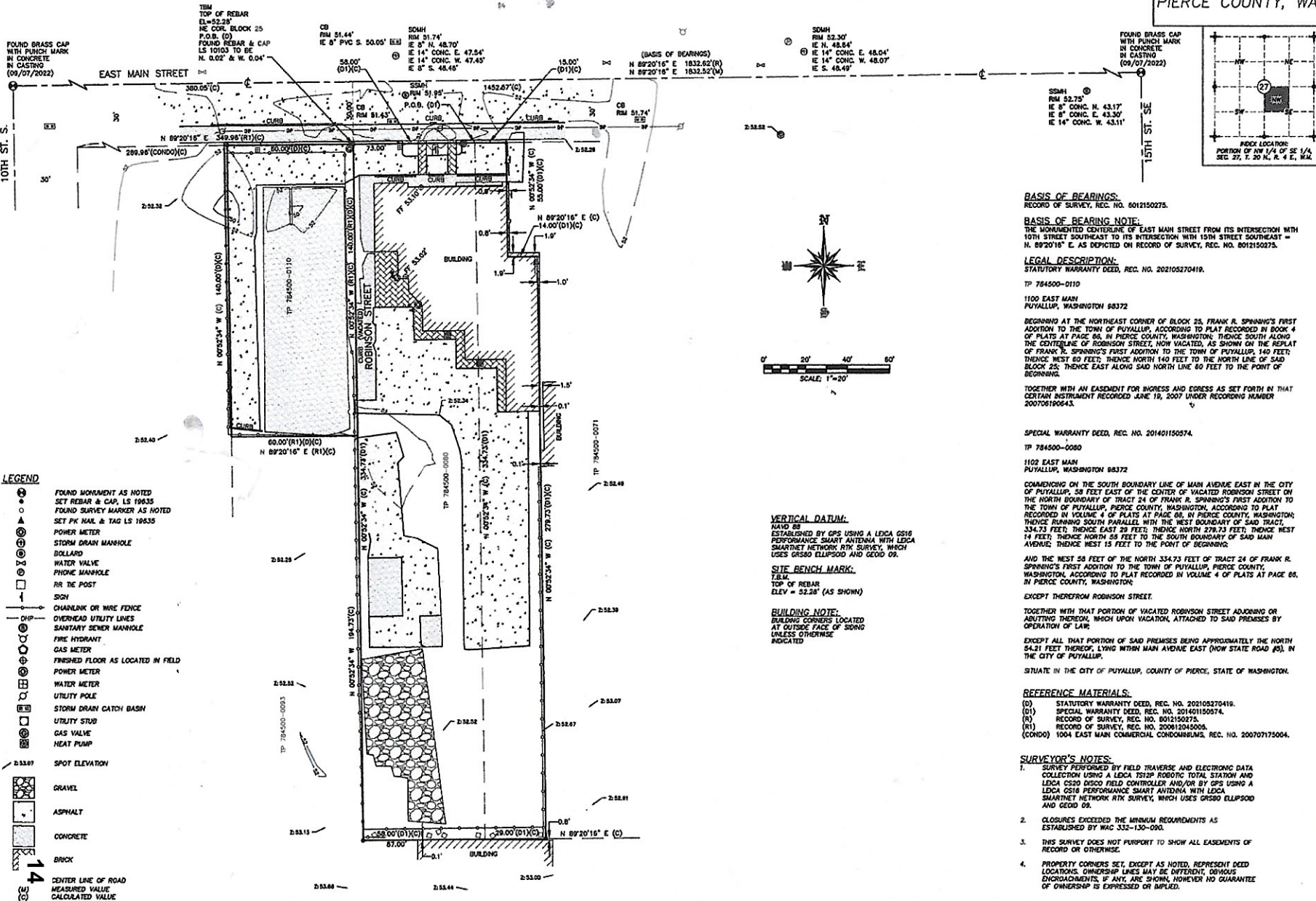
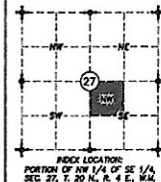
6... The store front windows are to remain, although one vandalized window will get replaced like for like . The remaining 3 windows include 2 inappropriate vinyl windows and a broken original one .

The proposed change is to replace all 3 with anodized aluminum single hung insulated windows (submittal item 5 and 6)

These items will vastly improve the historic integrity of the building.



SURVEYING
PLATTING
CONDOMINIUMIZATION
717 W. STEWART
PUYALLUP, WA 98371
Phone (253) 848-5170



- LEGEND**
- FOUND MONUMENT AS NOTED
 - SET REBAR & CAP, LS 19635
 - FOUND SURVEY MARKER AS NOTED
 - SET PK NAIL & TAG LS 18635
 - POWER METER
 - STORM DRAIN MANHOLE
 - DOLLARS
 - WATER VALVE
 - PHONE MANHOLE
 - RR ICE POST
 - SON
 - CHAINLINK OR WIRE FENCE
 - OVERHEAD UTILITY LINES
 - SANITARY SEWER MANHOLE
 - FIRE HYDRANT
 - GAS METER
 - FINISHED FLOOR AS LOCATED IN FIELD
 - POWER METER
 - WATER METER
 - UTILITY POLE
 - STORM DRAIN CATCH BASIN
 - UTILITY STRIP
 - GAS VALVE
 - HEAT PUMP
 - SPOT ELEVATION
 - GRAVEL
 - ASPHALT
 - CONCRETE
 - BRICK
 - CENTER LINE OF ROAD
 - MEASURED VALUE
 - CALCULATED VALUE

BASIS OF BEARINGS:
RECORD OF SURVEY, REC. NO. 6012150275.

BASIS OF BEARING NOTE:
THE MONUMENTED CENTERLINE OF EAST MAIN STREET FROM ITS INTERSECTION WITH 10TH STREET SOUTHEAST TO ITS INTERSECTION WITH 15TH STREET SOUTHWEST - N 89°20'16" E AS DEPICTED ON RECORD OF SURVEY, REC. NO. 6015100878.

LEGAL DESCRIPTION:
STATUTORY WARRANTY DEED, REC. NO. 201205270419.

TP 784500-0110
1100 EAST MAIN
PUYALLUP, WASHINGTON 98372

BEGANNING AT THE NORTHEAST CORNER OF BLOCK 25, FRANK R. SPENNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, ACCORDING TO PLAT RECORDED BY BOOK 4 OF PLATS AT PAGE 86, IN PIERCE COUNTY, WASHINGTON; THENCE SOUTH ALONG THE CENTERLINE OF ROBINSON STREET, NOW VACATED, AS SHOWN ON THE REPLAT OF FRANK R. SPENNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, 140 FEET; THENCE WEST 60 FEET; THENCE NORTH 140 FEET TO THE NORTH LINE OF SAID BLOCK 25; THENCE EAST ALONG SAID NORTH LINE 80 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AS SET FORTH IN THAT CERTAIN INSTRUMENT RECORDED JUNE 18, 2007 UNDER RECORDING NUMBER 200708190643.

SPECIAL WARRANTY DEED, REC. NO. 201401150574.

TP 784500-0080
1102 EAST MAIN
PUYALLUP, WASHINGTON 98372

COMMENCING ON THE SOUTH BOUNDARY LINE OF MAIN AVENUE EAST IN THE CITY OF PUYALLUP, 58 FEET EAST OF THE CENTER OF VACATED ROBINSON STREET ON THE NORTH BOUNDARY OF TRACT 24 OF FRANK R. SPENNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO PLAT RECORDED IN VOLUME 4 OF PLATS AT PAGE 86, IN PIERCE COUNTY, WASHINGTON; THENCE RUNNING SOUTH PARALLEL WITH THE WEST BOUNDARY OF SAID TRACT, 334.73 FEET; THENCE EAST 29 FEET; THENCE NORTH 278.73 FEET; THENCE WEST 14 FEET; THENCE NORTH 58 FEET TO THE SOUTH BOUNDARY OF SAID MAIN AVENUE; THENCE WEST 15 FEET TO THE POINT OF BEGINNING.

AND THE WEST 58 FEET OF THE NORTH 334.73 FEET OF TRACT 24 OF FRANK R. SPENNING'S FIRST ADDITION TO THE TOWN OF PUYALLUP, PIERCE COUNTY, WASHINGTON, ACCORDING TO PLAT RECORDED IN VOLUME 4 OF PLATS AT PAGE 86, IN PIERCE COUNTY, WASHINGTON;

EXCEPT THEREFROM ROBINSON STREET.

EXCEPT WITH THAT PORTION OF VACATED ROBINSON STREET ADJOINING OR ABUTTING THEREON, WHICH UPON VACATION, ATTACHED TO SAID PREMISES BY OPERATION OF LAW.

EXCEPT ALL THAT PORTION OF SAID PREMISES BEING APPROXIMATELY THE NORTH 52.28 FEET THEREOF, LYING WITHIN MAIN AVENUE EAST (NOW STATE ROAD #8), IN THE CITY OF PUYALLUP.

SITUATE IN THE CITY OF PUYALLUP, COUNTY OF PIERCE, STATE OF WASHINGTON.

REFERENCE MATERIALS:

- (S) STATUTORY WARRANTY DEED, REC. NO. 201205270419.
- (D1) SPECIAL WARRANTY DEED, REC. NO. 201401150574.
- (R) RECORD OF SURVEY, REC. NO. 6012150275.
- (D2) RECORD OF SURVEY, REC. NO. 20081204006.
- (CONDO) 1004 EAST MAIN COMMERCIAL CONDOMINIUMS, REC. NO. 200707175004.

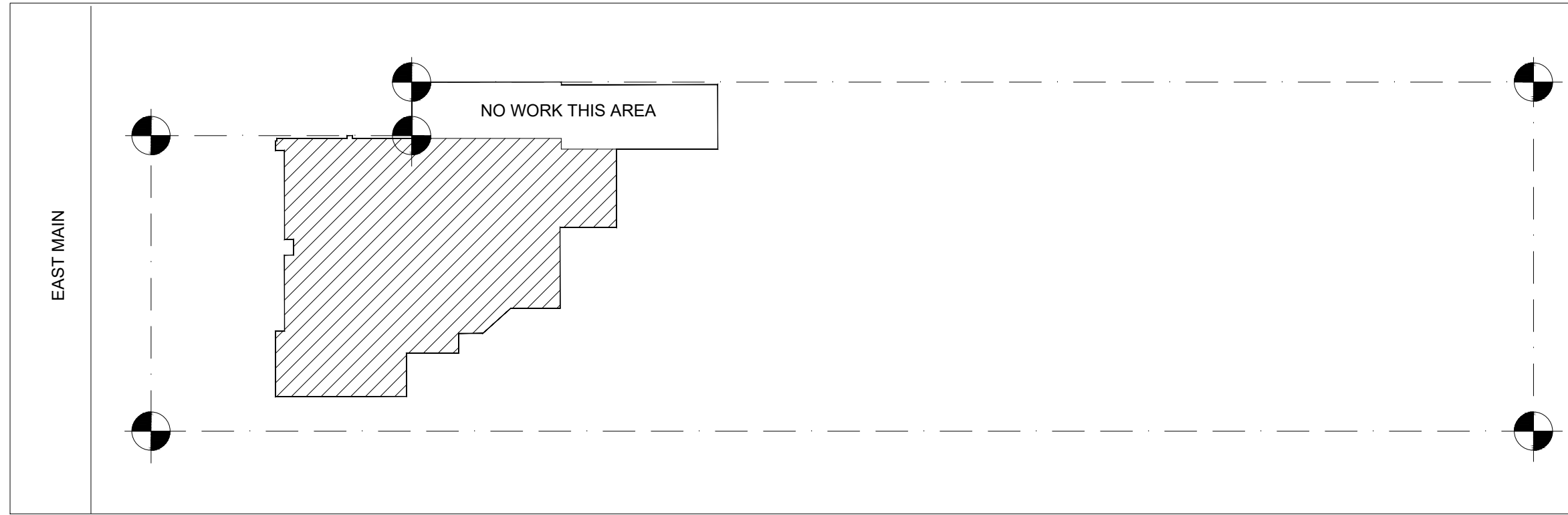
SURVEYOR'S NOTES:

1. SURVEY PERFORMED BY FIELD TRAVERSE AND ELECTRONIC DATA COLLECTION USING A LEICA TS10P ROBOTS TOTAL STATION AND LEICA CS20 DISCO FIELD CONTROLLER AND/OR BY GPS USING A LEICA GS18 PERFORMANCE SMART ANTENNA WITH LEICA SMARTNET NETWORK RTK SURVEY, WHICH USES GR500 ELLIPSOID AND GEOID DS.
2. CLOSURES EXCEEDED THE MINIMUM REQUIREMENTS AS ESTABLISHED BY WAC 332-130-090.
3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD OR OTHERWISE.
4. PROPERTY CORNERS SET, EXCEPT AS NOTED, REPRESENT DEED LOCATIONS. OWNERSHIP LINES MAY BE DIFFERENT, DENOTES ENCROACHMENTS, IF ANY, ARE SHOWN, HOWEVER NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.

**SADLER-
BARNARD
& ASSOC. INC.**

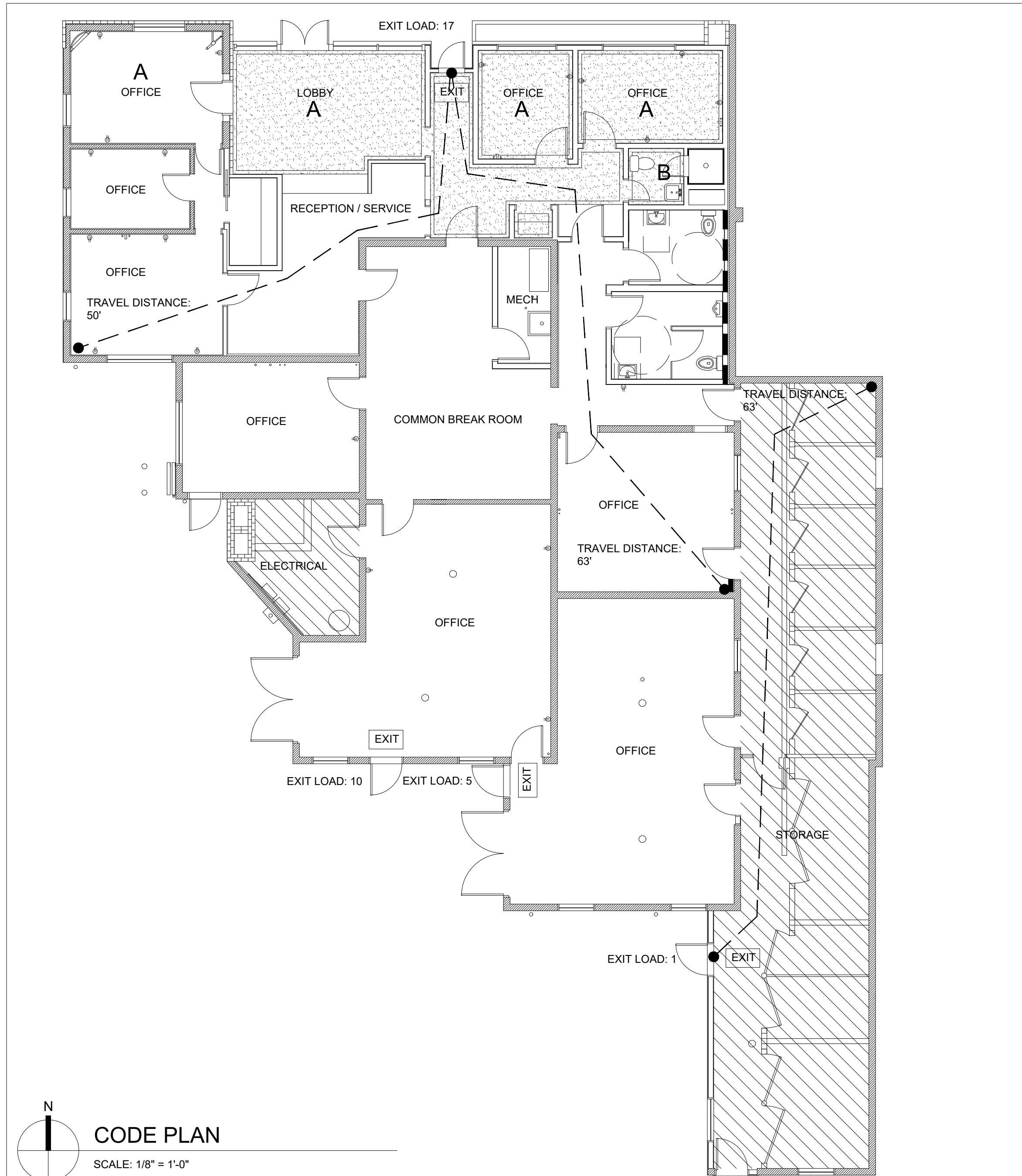
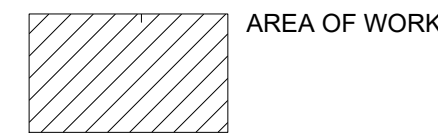
TOPOGRAPHICAL SURVEY
JOHN & JACQUELINE HOPKINS
805 15TH STREET NORTHWEST
PUYALLUP, WASHINGTON 98371

PROJECT: 2022-078
JOB NO.: 2022-078
SCALE: 1"=20'
DATE: 09/28/2023
CHECKED: D.E.C.
APPROVED: D.E.C.
DATE: 09/28/2023
BY: 2001-104396



AREA OF WORK
SCALE: NTS

LEGEND



CODE PLAN
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION:

ADDRESS: 1102 E. MAIN
PUYALLUP, WASHINGTON, 98372
ZONING: CG - GENERAL COMMERCIAL
PLAT NUMBER: 7845000080

LIST OF DRAWINGS:

- ARCHITECTURAL
A.0 COVER SHEET
A.1 AS-BUILT FLOOR PLAN
A.1.1 AS-BUILT ELEVATIONS
A.2 PROPOSED FLOOR PLAN
A.2.1 PROPOSED ELEVATIONS
A.3 ROOF PLAN

CODE REVIEW

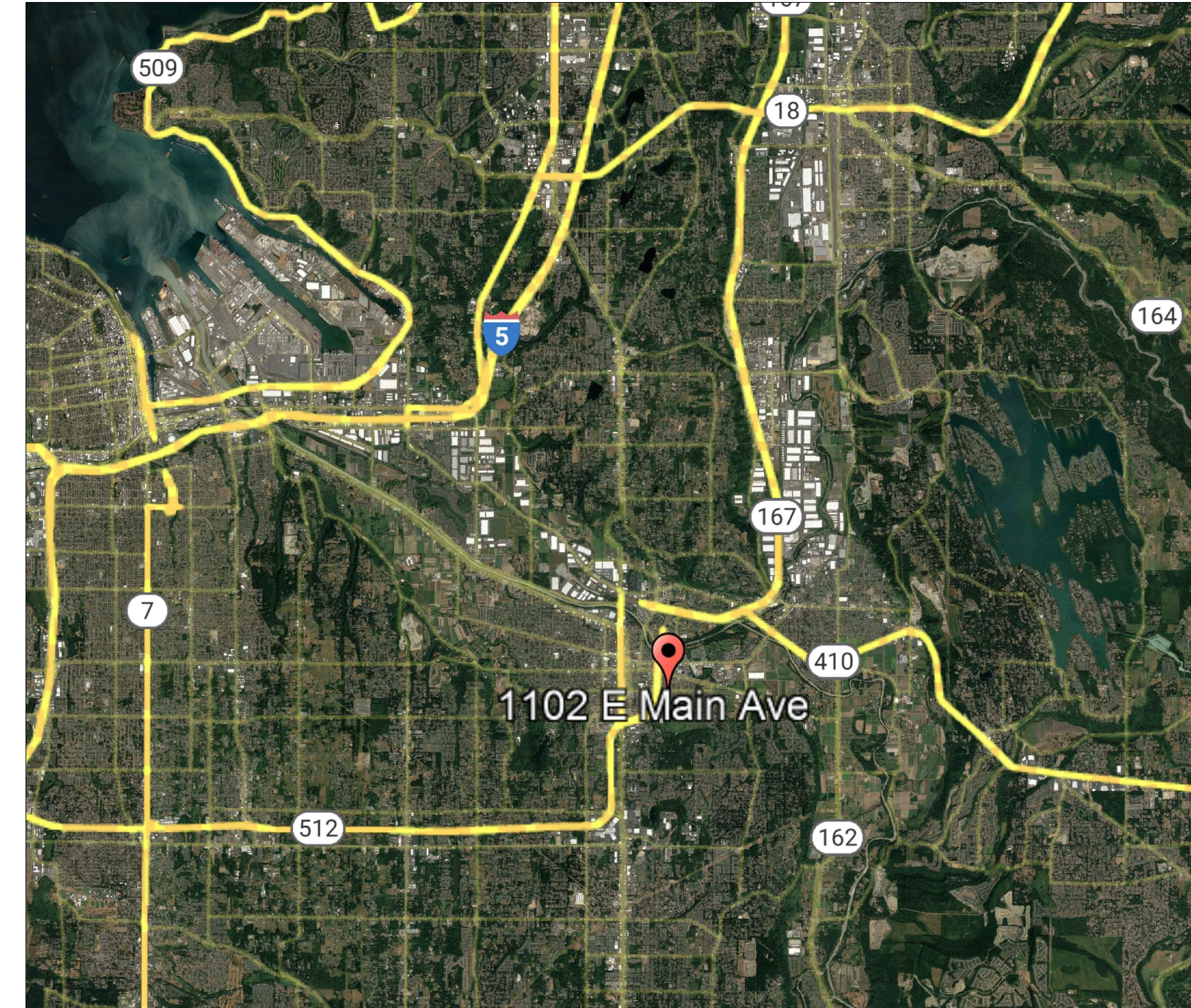
ARCHITECTURAL CODE: 2018 IBC, 2018 IEBC
ENERGY CODE: 2018 WSEC
CONSTRUCTION: V-B
OCCUPANCY: B
ALLOWABLE AREA TABLE 506.2: 9,000 SF
ACTUAL AREA (GROSS): 5,246 SF
AREA BY OCCUPANCY: 4,963 SF (GROSS)
OCCUPANCY LOAD TABLE 1004.5: 150
MAX. OCCUPANCY TABLE 1004.5: 33
EXITS REQUIRED: 2
EXITS PROVIDED: 6
ALLOWABLE MAX TRAVEL DISTANCE TABLE 1006.2.1: 75 FEET
MAX TRAVEL DISTANCE: 63 FEET
WC REQUIRED TABLE 2902.1: 2 (1M / 1F)
WC PROVIDED: 4 TOTAL - 1F, 1M + URINAL, 1 UNISEX

CODE SYNOPSIS

- THE IEBC GOVERNS REPAIRS TO EXISTING BUILDINGS PER IBC 101.4.7.
- IEBC 302.1 STIPULATES THAT THE PROVISIONS OF 302 APPLY TO ALL ALTERATIONS, REPAIRS, ADDITIONS, RELOCATIONS OF STRUCTURE AND CHANGES OF OCCUPANCY REGARDLESS OF COMPLIANCE METHOD.
- IEBC 302.1 STIPULATES THAT THE PROVISIONS OF 302 APPLY TO ALL ALTERATIONS, REPAIRS, ADDITIONS, RELOCATIONS OF STRUCTURE AND CHANGES OF OCCUPANCY REGARDLESS OF COMPLIANCE METHOD.
- IEBC 302.5 STATES EXCEPT AS OTHERWISE PERMITTED OR REQUIRED BY THIS CODE, MATERIALS FOR NEW CONSTRUCTION SHALL BE USED. LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS OR ALTERATIONS, PROVIDED THAT UNSAFE CONDITIONS ARE NOT CREATED.
- IEBC 401.2 STATES THE WORK SHALL NOT MAKE THE BUILDING LESS COMPLYING THAN IT WAS BEFORE THE REPAIR WAS UNDERTAKEN.
- WSEC DEFINES "REPAIR" AS BEING THE RECONSTRUCTION OR RENEWAL OF ANY PART OF AN EXISTING BUILDING.
- WSEC SECTION C501.5 STATES LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS PROVIDED NO HAZARD TO LIFE, HEALTH OR PROPERTY IS CREATED.
- WSEC SECTION C501.3 STATES DEVICES AND SYSTEMS WHICH ARE REQUIRED BY THIS CODE SHALL BE MAINTAINED IN CONFORMANCE WITH THE CODE EDITION UNDER WHICH INSTALLED.

PROPOSED INSULATION PLAN

1. NEW FURRED WALL WITH BATT INSULATION:
5/8" GWB OVER 2X6 STUDS @ 24" O.C. WITH 1" AIR GAP BETWEEN STUD AND WALL
2. NO FREEZE AREA:
INSTALL HEATER(S) WITH TEMPERATURE SENSOR AND LIMITER TO 55 DEGREES
3. INSTALL NEW SINGLE PLY ROOFING OVER 1/2" PROTECTION BOARD OVER (2) LAYERS OF 4" RIGID INSULATION OVER EXISTING ROOF SHEATHING.
4. WINDOWS TO REMAIN
5. REPLACE NEW EXTERIOR DOORS WITH INSULATED DOORS MEETING CURRENT WSEC U VALUES INCLUDING DOORS TO STORAGE AREA, ELECTRICAL ROOM, HISTORIC OFFICE, AND EXISTING TOILET ROOM
6. UPGRADE ELECTRICAL WITH LED FIXTURES WITH DIMMERS AND OCCUPANCY SENSORS
7. NO CHANGE TO EXISTING MECHANICAL HEATING / COOLING SYSTEM



VICINITY MAP
SCALE: NTS



LOCATION MAP
SCALE: NTS

DATE: 4.21.2022
DRAWN BY: GB
PROJECT NO.: 22-001

CHECK SET -
NOT FOR
CONSTRUCTION

BENTON ARCHITECTS
1201 GARFIELD ST S., TACOMA, WA
253.232.5973

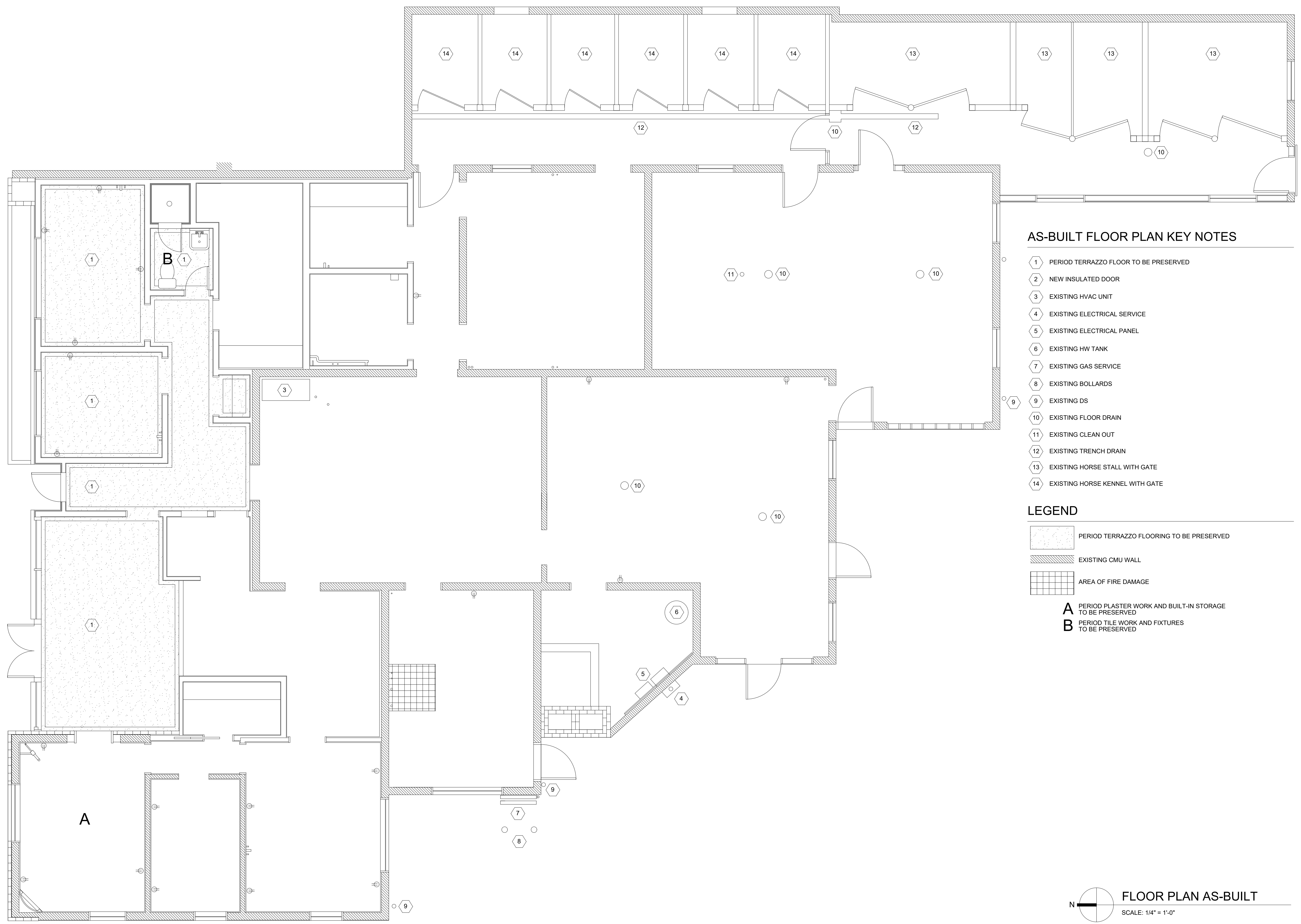
FIRE DAMAGE REPAIR FOR
MR. JOHN HOPKINS
1102 E. MAIN
PUYALLUP, WA

PROJECT:

COVER SHEET

TITLE:

A.0



AS-BUILT FLOOR PLAN KEY NOTES

- 1 PERIOD TERRAZZO FLOOR TO BE PRESERVED
- 2 NEW INSULATED DOOR
- 3 EXISTING HVAC UNIT
- 4 EXISTING ELECTRICAL SERVICE
- 5 EXISTING ELECTRICAL PANEL
- 6 EXISTING HW TANK
- 7 EXISTING GAS SERVICE
- 8 EXISTING BOLLARDS
- 9 EXISTING DS
- 10 EXISTING FLOOR DRAIN
- 11 EXISTING CLEAN OUT
- 12 EXISTING TRENCH DRAIN
- 13 EXISTING HORSE STALL WITH GATE
- 14 EXISTING HORSE KENNEL WITH GATE

LEGEND

- PERIOD TERRAZZO FLOORING TO BE PRESERVED
- EXISTING CMU WALL
- AREA OF FIRE DAMAGE
- A** PERIOD PLASTER WORK AND BUILT-IN STORAGE TO BE PRESERVED
- B** PERIOD TILE WORK AND FIXTURES TO BE PRESERVED

N
FLOOR PLAN AS-BUILT
 SCALE: 1/4" = 1'-0"

DATE: 4.21.2022
 DRAWN BY: GB
 PROJECT NO.: 22-001

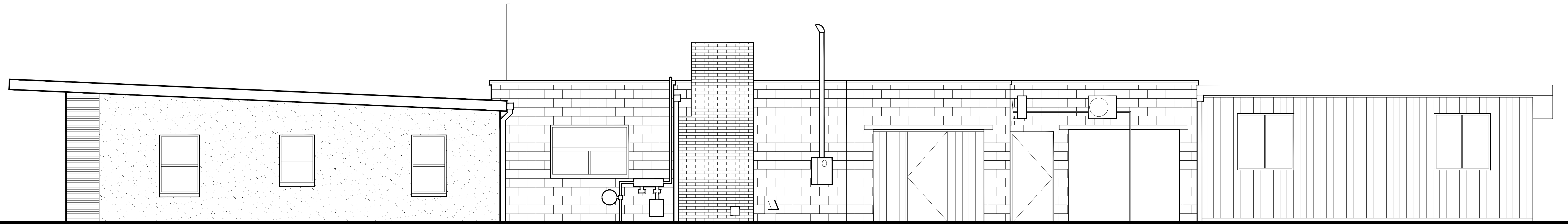
CHECK SET -
 NOT FOR
 CONSTRUCTION

BENTON ARCHITECTS
 1201 GARFIELD ST S., TACOMA, WA
 253.232.5973

FIRE DAMAGE REPAIR
MR. JOHM HOPKINS
 1102 E. MAIN
 PUYALLUP, WASHINGTON

TITLE:
AS-BUILT FLOOR PLAN

A.1



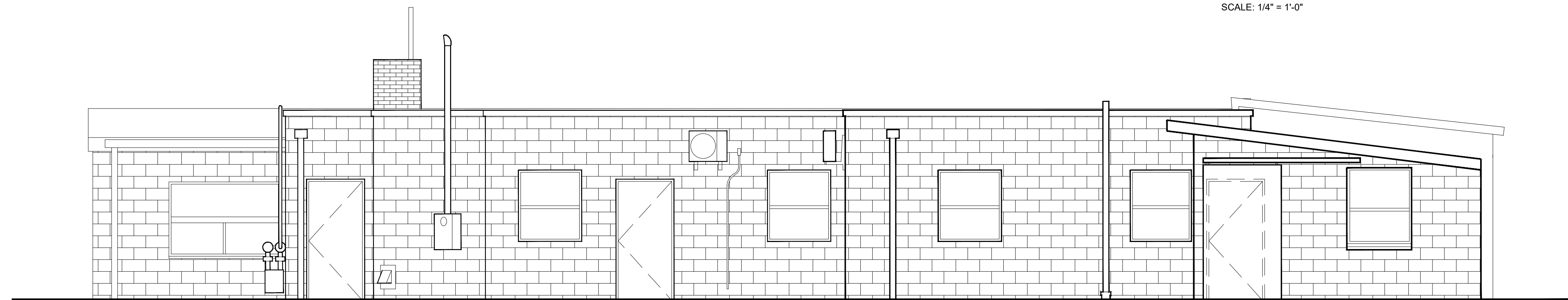
WEST ELEVATION AS-BUILT

SCALE: 1/4" = 1'-0"



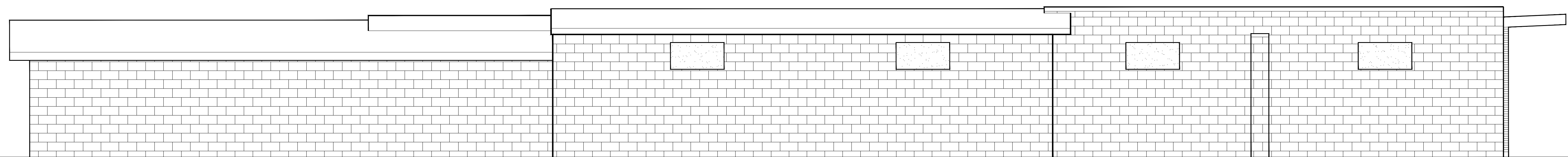
NORTH ELEVATION AS-BUILT

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION AS-BUILT

SCALE: 1/4" = 1'-0"



EAST ELEVATION AS-BUILT

SCALE: 1/4" = 1'-0"

DATE: 4.21.2022
DRAWN BY: GB
PROJECT NO.: 22-001

CHECK SET -
NOT FOR
CONSTRUCTION

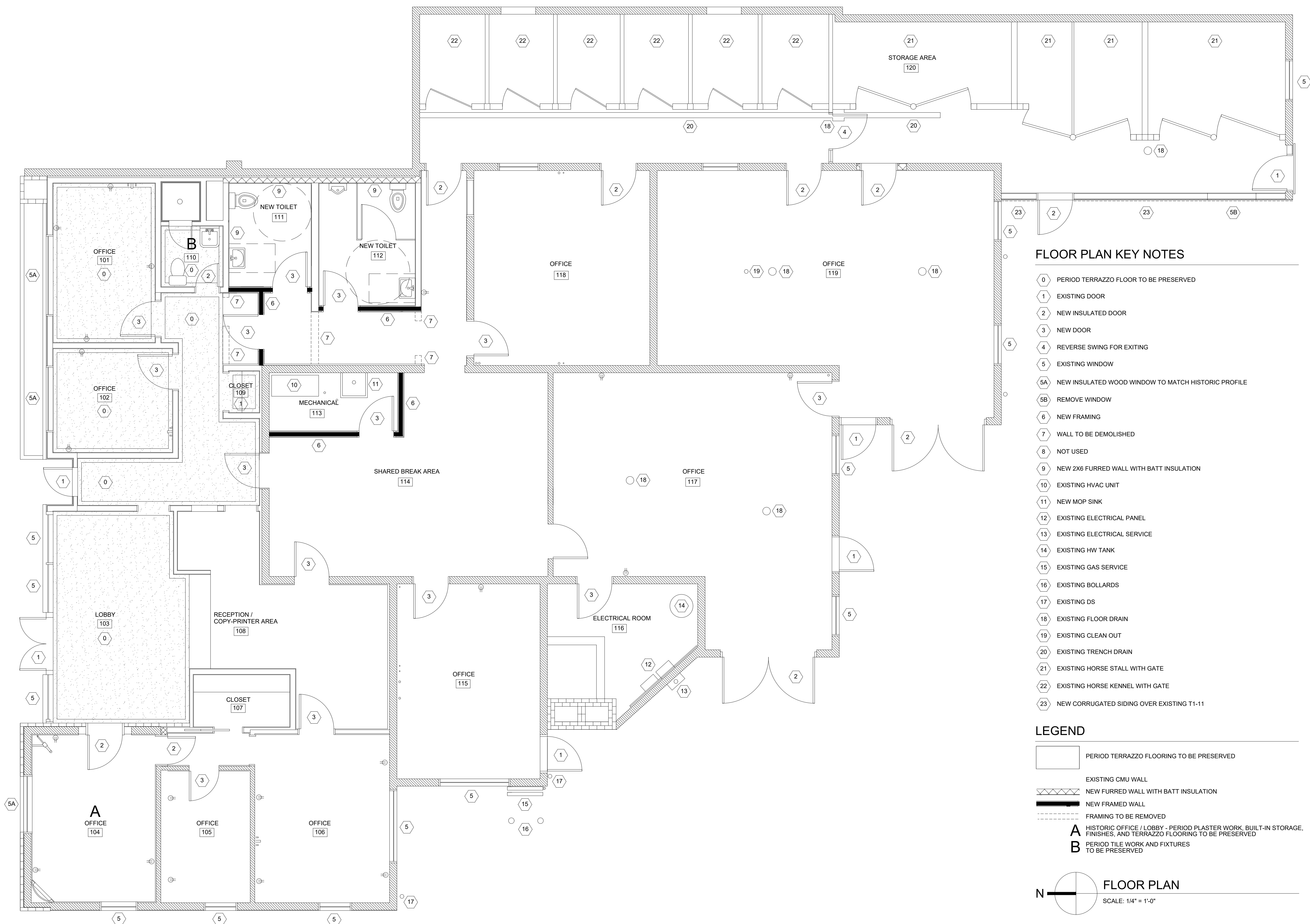
BENTON ARCHITECTS
1201 GARFIELD ST S., TACOMA, WA
253.232.5973

PROJECT:
FIRE DAMAGE REPAIR FOR
MR. JOHM HOPKINS
1102 E. MAIN
PUYALLUP, WASHINGTON

PROJECT:

TITLE:
AS-BUILT
ELEVATIONS

A1.1

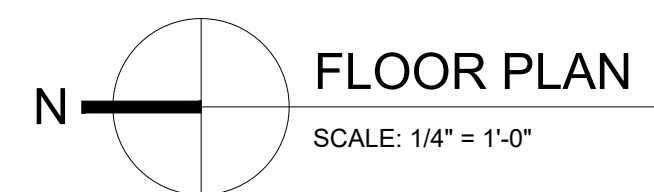


FLOOR PLAN KEY NOTES

- 0 PERIOD TERRAZZO FLOOR TO BE PRESERVED
- 1 EXISTING DOOR
- 2 NEW INSULATED DOOR
- 3 NEW DOOR
- 4 REVERSE SWING FOR EXITING
- 5 EXISTING WINDOW
- 5A NEW INSULATED WOOD WINDOW TO MATCH HISTORIC PROFILE
- 5B REMOVE WINDOW
- 6 NEW FRAMING
- 7 WALL TO BE DEMOLISHED
- 8 NOT USED
- 9 NEW 2X6 FURRED WALL WITH BATT INSULATION
- 10 EXISTING HVAC UNIT
- 11 NEW MOP SINK
- 12 EXISTING ELECTRICAL PANEL
- 13 EXISTING ELECTRICAL SERVICE
- 14 EXISTING HW TANK
- 15 EXISTING GAS SERVICE
- 16 EXISTING BOLLARDS
- 17 EXISTING DS
- 18 EXISTING FLOOR DRAIN
- 19 EXISTING CLEAN OUT
- 20 EXISTING TRENCH DRAIN
- 21 EXISTING HORSE STALL WITH GATE
- 22 EXISTING HORSE KENNEL WITH GATE
- 23 NEW CORRUGATED SIDING OVER EXISTING T1-11

LEGEND

- PERIOD TERRAZZO FLOORING TO BE PRESERVED
- EXISTING CMU WALL
- NEW FURRED WALL WITH BATT INSULATION
- NEW FRAMED WALL
- FRAMING TO BE REMOVED
- A** HISTORIC OFFICE / LOBBY - PERIOD PLASTER WORK, BUILT-IN STORAGE, FINISHES, AND TERRAZZO FLOORING TO BE PRESERVED
- B** PERIOD TILE WORK AND FIXTURES TO BE PRESERVED



DATE: 4.21.2022
 DRAWN BY: GB
 PROJECT NO.: 22-001

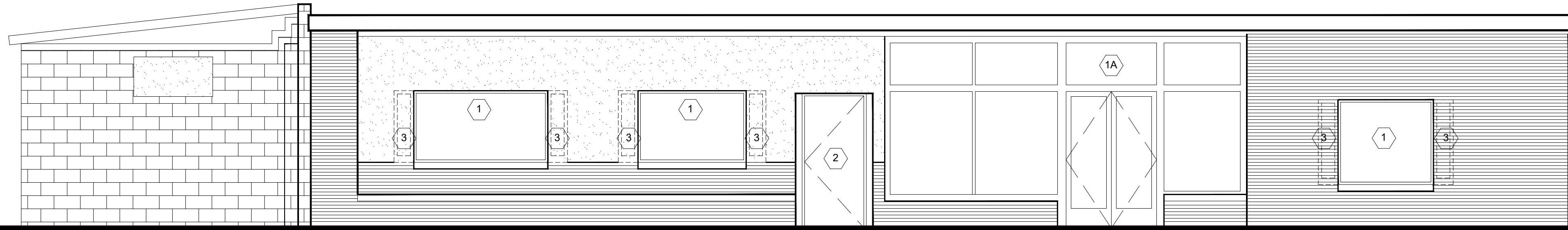
**CHECK SET -
 NOT FOR
 CONSTRUCTION**

BENTON ARCHITECTS
 1201 GARFIELD ST S., TACOMA, WA
 253.232.5973

PROJECT: **FIRE DAMAGE REPAIR FOR
 MR. JOHN HOPKINS**
 1102 E. MAIN
 PUYALLUP, WASHINGTON

TITLE: **PROPOSED
 FLOOR PLAN**

A.2



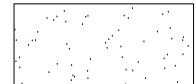
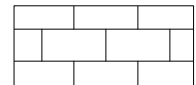
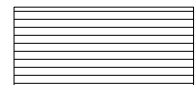
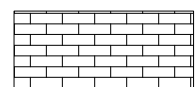

NORTH ELEVATION

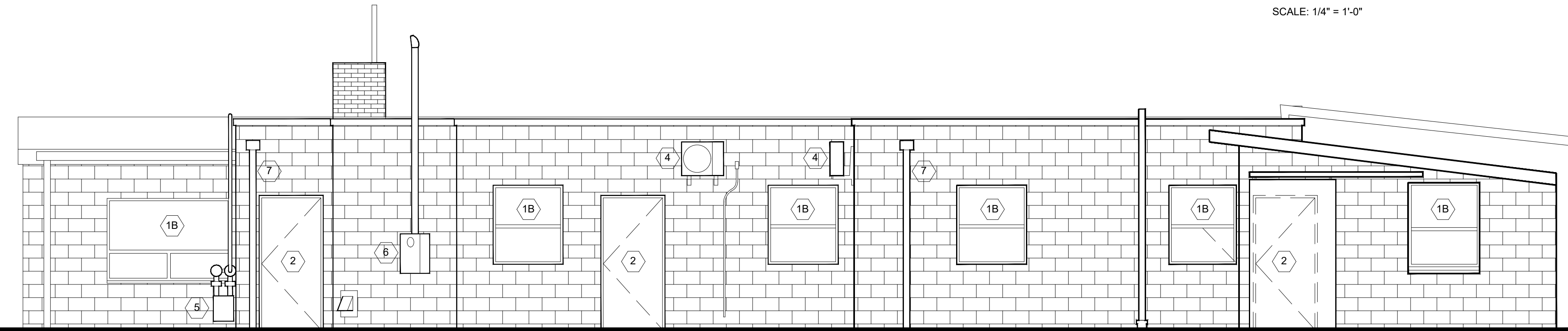
SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- 1 NEW INSULATED GLAZING UNIT TO MATCH HISTORIC PROFILE
- 1A STOREFRONT AND DOOR TO REMAIN
- 1B WINDOW TO REMAIN
- 1C WINDOW TO BE REMOVED
- 2 DOOR TO REMAIN
- 3 REMOVE FAUX SHUTTERS
- 4 EXISTING HVAC UNIT - RELOCATE PIPING AS REQUIRED
- 5 EXISTING GAS SERVICE
- 6 EXISTING ELECTRICAL SERVICE
- 7 EXISTING DS
- 8 REMOVE DOOR AND INFILL PANELS AND REPLACE WITH PR 4'-0" X 7'-0" INSULATED DOORS
- 9 REMOVE INFILL PANEL AND REPLACE WITH PR 4'-0" X 7'-0" INSULATED DOORS
- 10 REMOVE WINDOW AND REPLACE WITH NEW EXIT DOOR

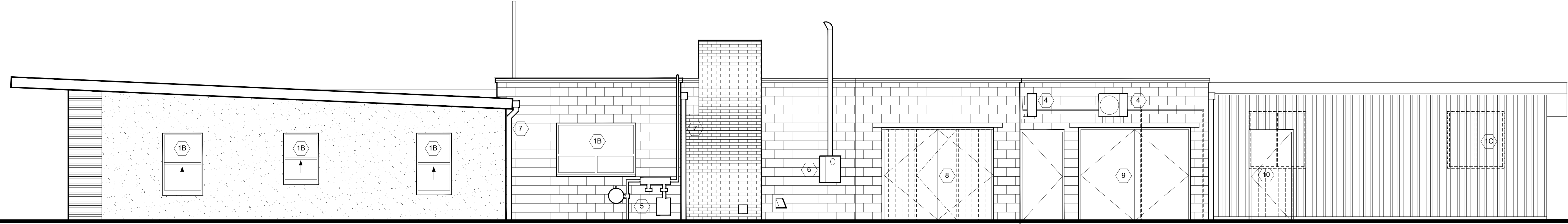
LEGEND

-  STUCCO
-  CMU
-  ROMAN BRICK
-  STANDARD BRICK
-  NEW CORRUGATED METAL SIDING



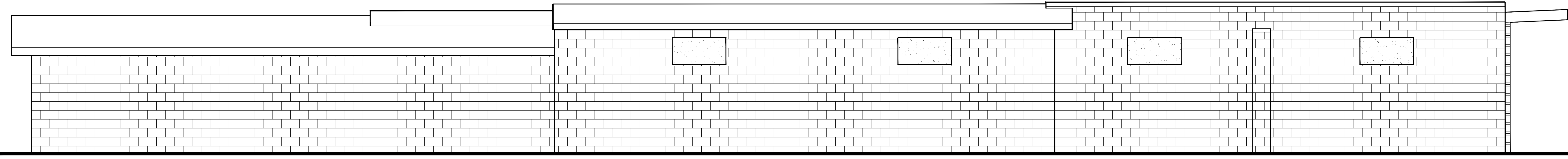
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

DATE: 4.21.2022
DRAWN BY: GB
PROJECT NO.: 22-001

**CHECK SET -
NOT FOR
CONSTRUCTION**

BENTON ARCHITECTS
1201 GARFIELD ST S., TACOMA, WA
253.232.5973

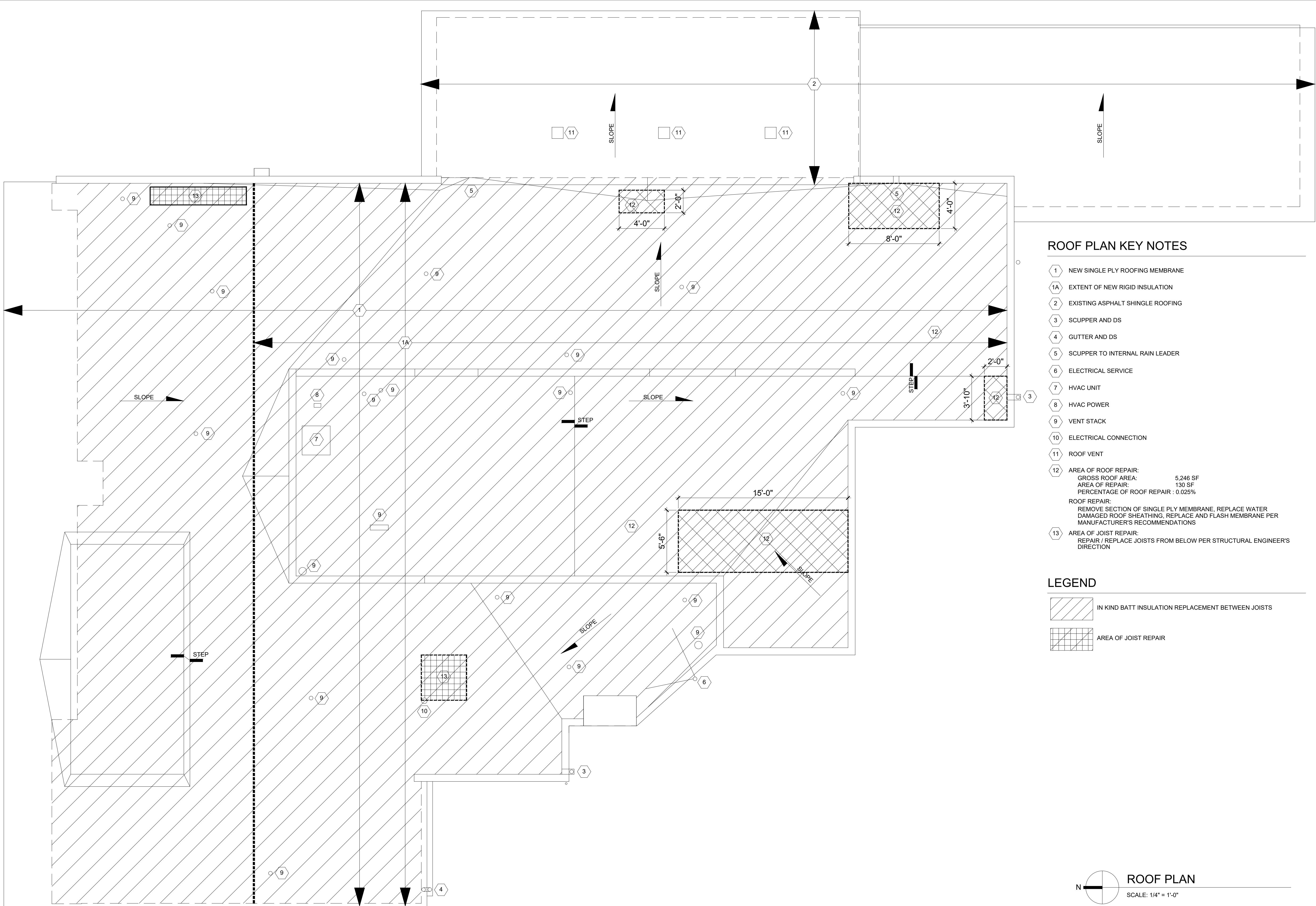
**FIRE DAMAGE REPAIR FOR
MR. JOHN HOPKINS**
1102 E. MAIN
PUYALLUP, WASHINGTON

PROJECT:

TITLE:

**PROPOSED
ELEVATIONS**

A.2.1

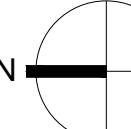


ROOF PLAN KEY NOTES

- 1 NEW SINGLE PLY ROOFING MEMBRANE
- 1A EXTENT OF NEW RIGID INSULATION
- 2 EXISTING ASPHALT SHINGLE ROOFING
- 3 SCUPPER AND DS
- 4 GUTTER AND DS
- 5 SCUPPER TO INTERNAL RAIN LEADER
- 6 ELECTRICAL SERVICE
- 7 HVAC UNIT
- 8 HVAC POWER
- 9 VENT STACK
- 10 ELECTRICAL CONNECTION
- 11 ROOF VENT
- 12 AREA OF ROOF REPAIR:
GROSS ROOF AREA: 5,246 SF
AREA OF REPAIR: 130 SF
PERCENTAGE OF ROOF REPAIR : 0.025%
- ROOF REPAIR:
REMOVE SECTION OF SINGLE PLY MEMBRANE, REPLACE WATER DAMAGED ROOF SHEATHING, REPLACE AND FLASH MEMBRANE PER MANUFACTURER'S RECOMMENDATIONS
- 13 AREA OF JOIST REPAIR:
REPAIR / REPLACE JOISTS FROM BELOW PER STRUCTURAL ENGINEER'S DIRECTION

LEGEND

-  IN KIND BATT INSULATION REPLACEMENT BETWEEN JOISTS
-  AREA OF JOIST REPAIR

N
 **ROOF PLAN**
 SCALE: 1/4" = 1'-0"

DATE: 4.21.2022
 DRAWN BY: GB
 PROJECT NO.: 22-001

**CHECK SET -
 NOT FOR
 CONSTRUCTION**

BENTON ARCHITECTS
 1201 GARFIELD ST S., TACOMA, WA
 253.232.5973

**FIRE DAMAGE REPAIR
 MR. JOHM HOPKINS**
 1102 E. MAIN
 PUYALLUP, WASHINGTON

PROJECT:

ROOF PLAN

TITLE:

A.3

SUBMITTAL 1+2

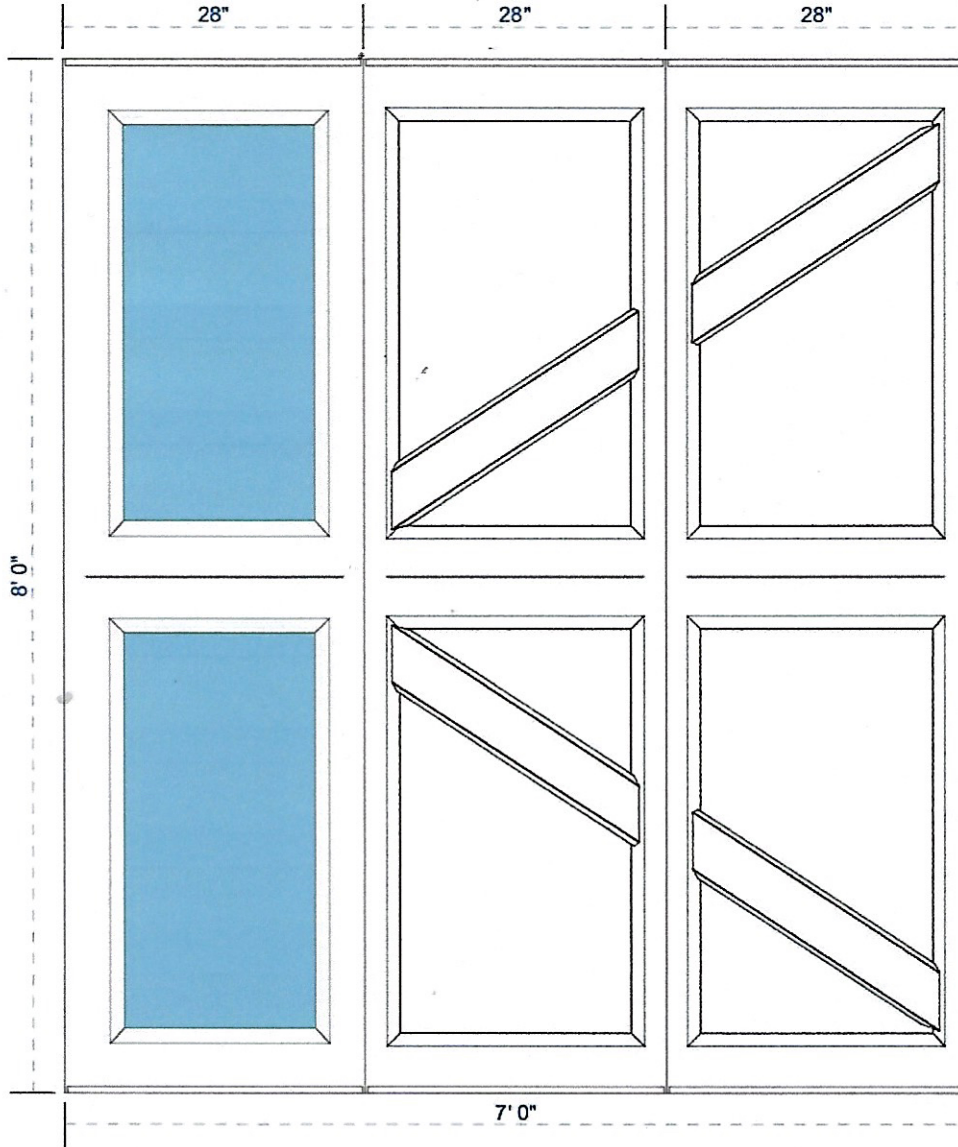
Dealer Name
Lakeside Door

Reference Number
1995056.2.04249438

Date
October 25, 2022

PO Number/Job Name
Qt/hopkins

Quantity
1



SUBMITTAL ITEM 3

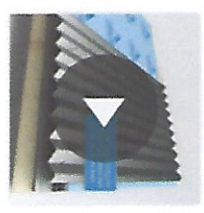
homedepot.com

85%

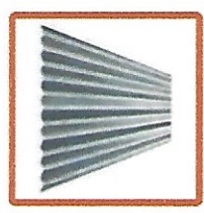
Close X

8 ft. Corrugated Galvanized Steel 31-Gauge Roof Panel
by Gibraltar Building Products

Related Videos & 360° View

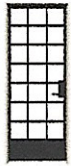


Product Images



Feedback

Live Chat

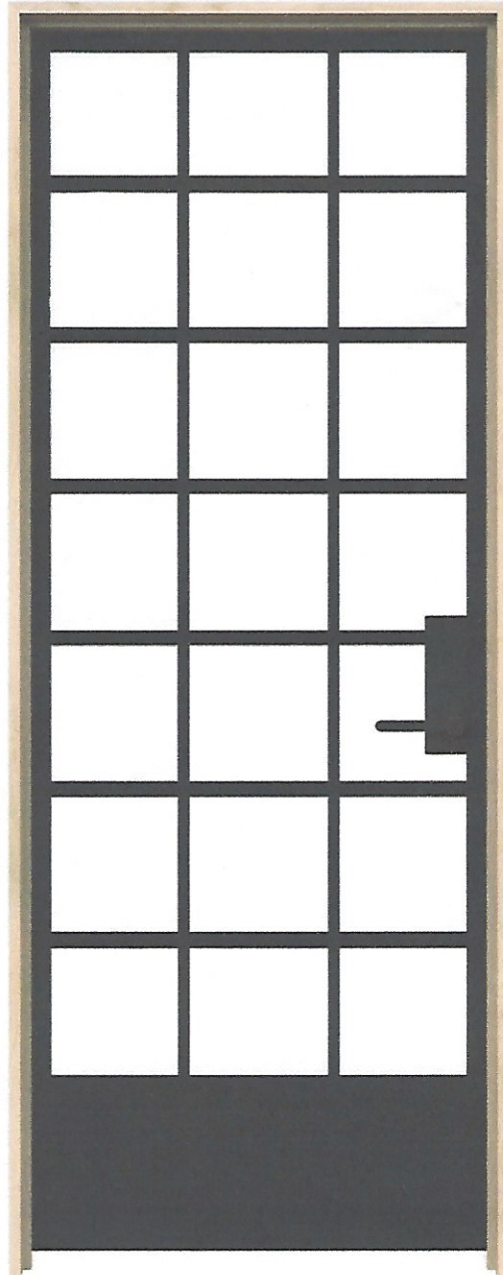


RUSTICA
CROPLAND
W REINFORCED
METAL GLASS



SUBMITTAL ITEM

4



Hi there,
question

Get
10% Off



- ▶ Select Bore Hole Backset 2-3/4 in
- ▶ Add Hinges? No
- ▶ Select Hinge Prep \$75 Rustica Standard
- ▶ Select Handing Left Hand Inswing

NOTICE: Exterior Doors with door knob boring automatically get a Double Bore



SPECIFICATIONS

GENERAL

Single Hung windows shall be Marlin Series 3502 thermally improved as manufactured by Marlin Windows, and shall conform to ANSI/AAMA 101-88 DHC-C30. Series 3502 shall have a AAMA1503 CRF of 58 and an NFRC 500 CR of not less than 32.

MATERIALS

All frame and sash members shall be aluminum extrusions of 6063-T5 alloy & temp. Frame and sash members shall have a rigid polyurethane "thermal barrier" as an integral part of the extrusion which eliminates all direct contact between the interior and exterior aluminum section.

FINISH

Standard architectural Class II anodic color conforming to Aluminum Association AA-M12-C22-A34 for dark bronze or AA-M12-C22-A31 for clear anodize. (Architectural Class I and Class II anodic finishes and organic coatings available).

CONSTRUCTION

Frame members shall be 3 3/8" in depth. Frame and vent corners shall be fabricated to form tight mitered joints. Fixed interlock members shall be fabricated to form tight butt-joints where joined to frame members. All joinery fastened securely with stainless steel self-tapping screws and sealed to prevent moisture and air infiltration. Sill members shall allow drainage of moisture to the exterior, but prevent direct inflow of wind, moisture, and dirt. Sill tracks shall be extruded as an integral part of the sill member. Extruded aluminum glass stops shall be fabricated to form tight butt-joints.

HARDWARE

The sliding vent shall be counterbalanced with concealed block and tackle hardware. Rigid vinyl guides shall be located on the top and bottom rails at each corner of the sash to assure smooth operation. A continuous pull handle shall be part of the interlock stile. A thumb operated latch shall be attached to the interlock stile and shall engage a channel in the fixed interlock when the sash is fully closed.

WEATHERSTRIPPING

Ventilating sash shall have continuous weather stripping of silicone treated wool pile incorporating a polypropylene fin to ensure longer life with better resistance to wind and moisture infiltration. Weather stripping shall extend around the entire perimeter of the vent.

GLAZING

Marlin Series 3502 shall be glazed with 1" overall insulating glass. The ventilator shall be "marine" type glazed with a continuous vinyl channel gasket. The fixed glass shall be set on blocks, back bedded in foam glazing tape and retained by an extruded aluminum stop.

OPTIONAL SCREEN

Screen frames shall be fabricated from roll form aluminum, finish to match window. Screen cloth to be 18 x 16 fiberglass mesh held in aluminum screen frame with a tight fitting continuous vinyl spline. Two leaf springs shall be attached to the top rail of the screen and two metal pull tabs shall be attached at the bottom rail and held in place by the screen spline.

INSTALLATION

Windows shall be installed straight, plumb, and level without twisting and securely anchored in place. Openings shall be properly prepared to provide sufficient space at jambs, head and sill to compensate for normal construction movement without effecting intended use.

ANCHORING INSTRUCTIONS FOR NAIL FIN WINDOWS

Secure with screws 4" to 6" off of each corner, then secure the remainder of the window with spacing no greater than 18" for the entire perimeter of the frame. This includes the head of the windows. Marlin suggests using a #8 screw, 2 1/2" or longer.

PROTECTION AND CLEANING

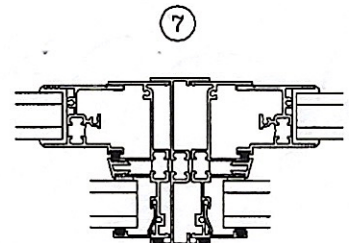
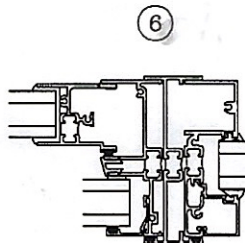
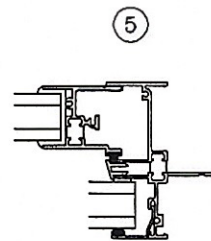
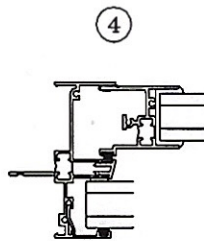
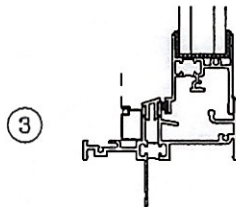
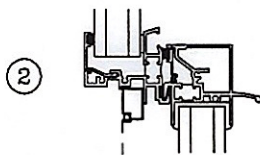
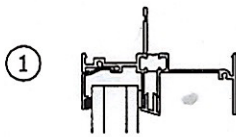
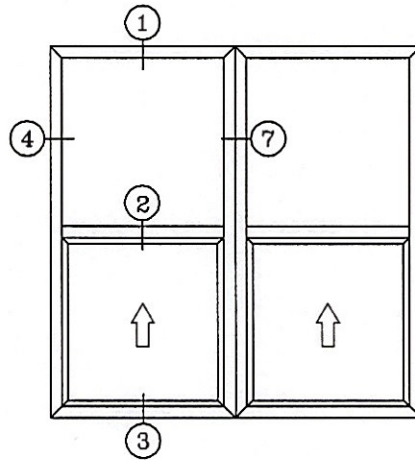
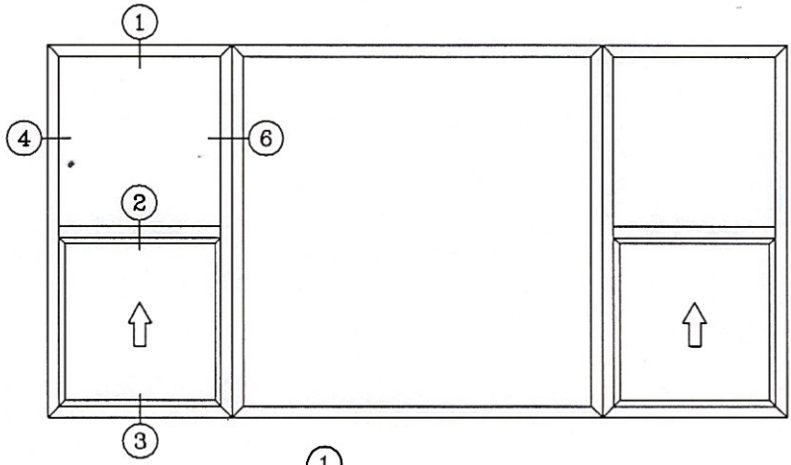
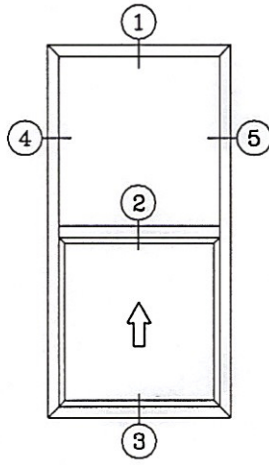
The General Contractor shall provide adequate protection of the aluminum and glass surface from damage by grinding compound, lime, acids, cement or other contaminants. The General Contractor shall be responsible for final cleaning.

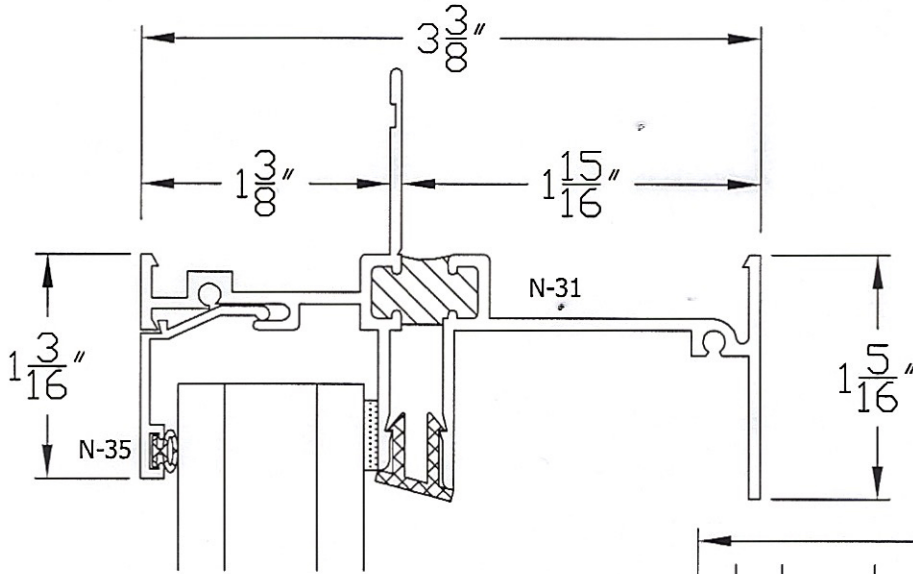
5 PAGES

SUBMITTAL ITEM 5 AND 6

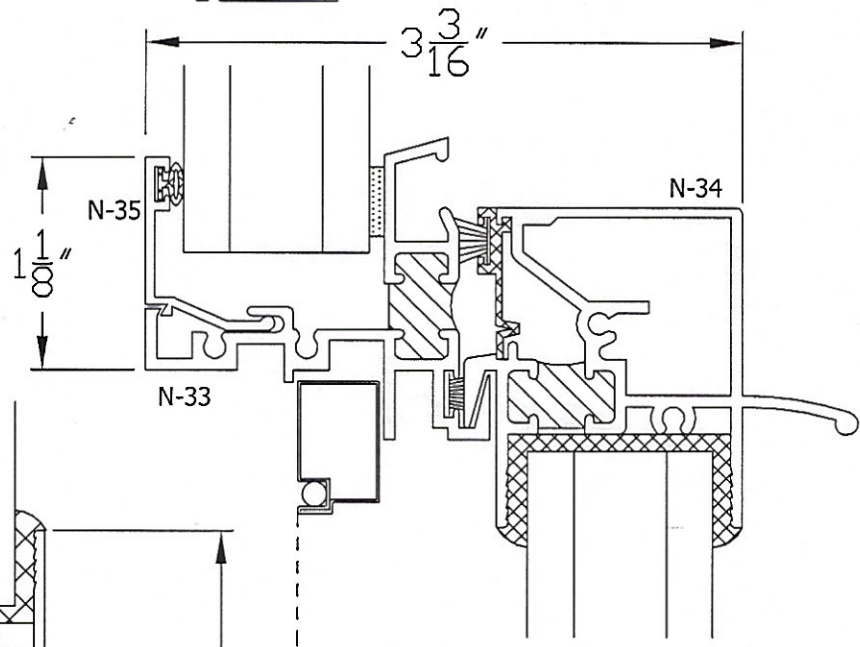


1/4 SCALE

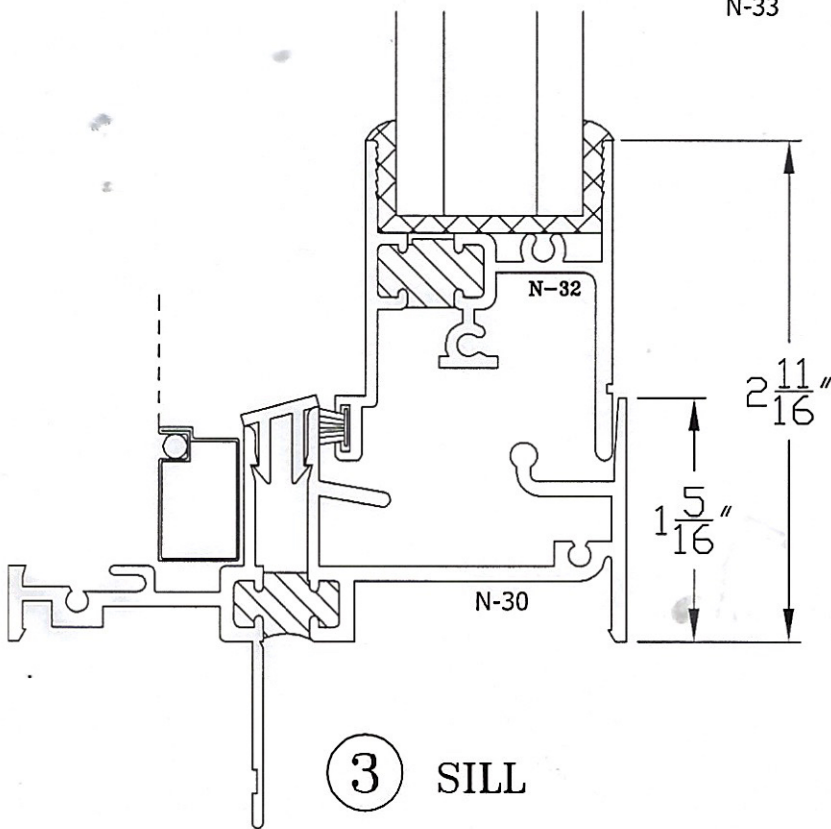




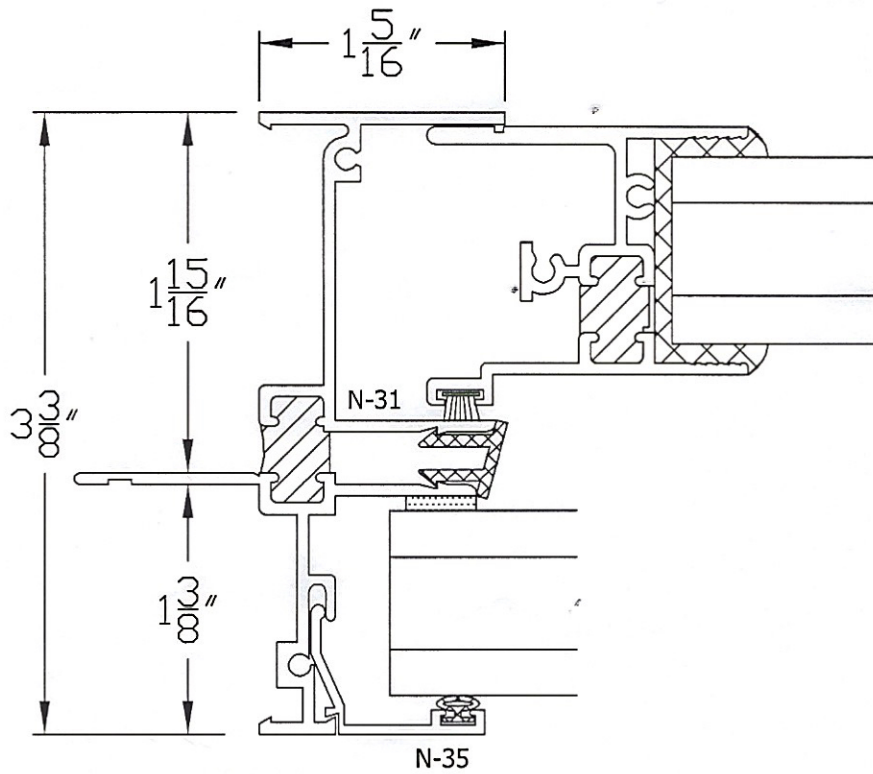
① HEAD



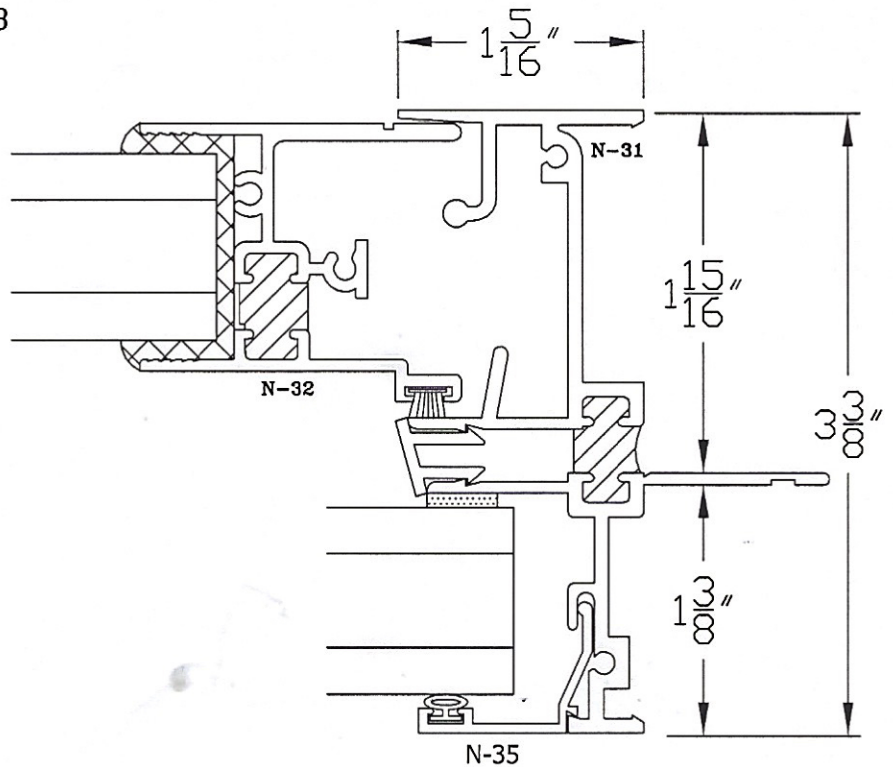
② INTERLOCK



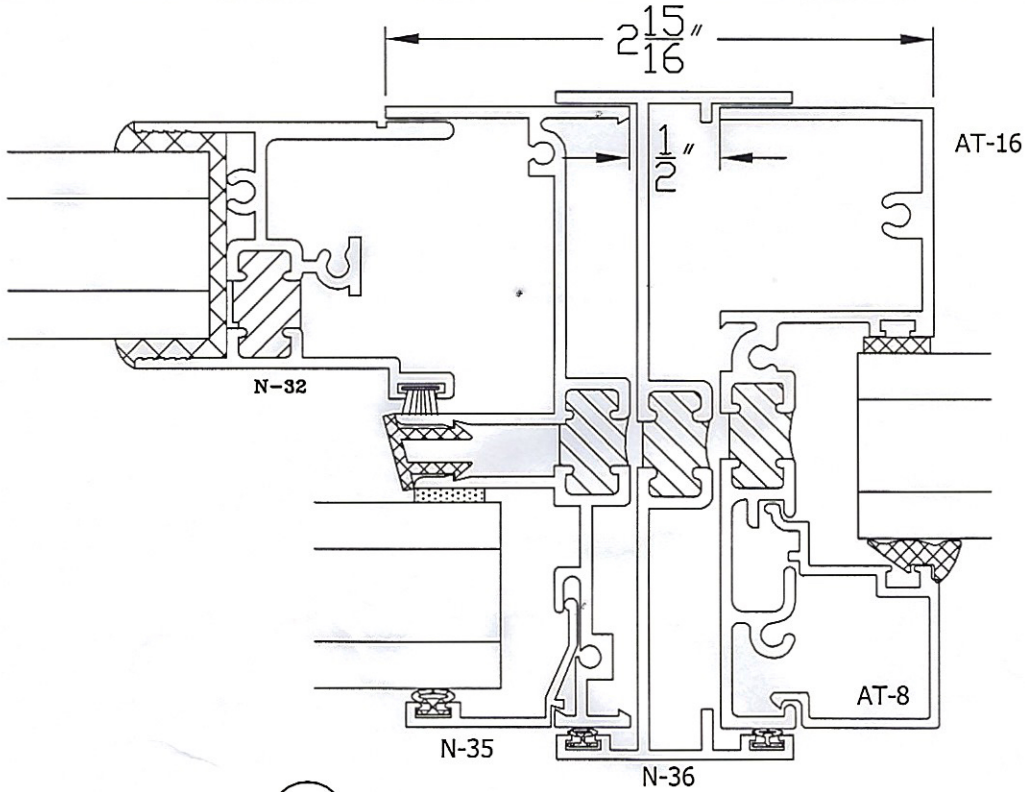
③ SILL



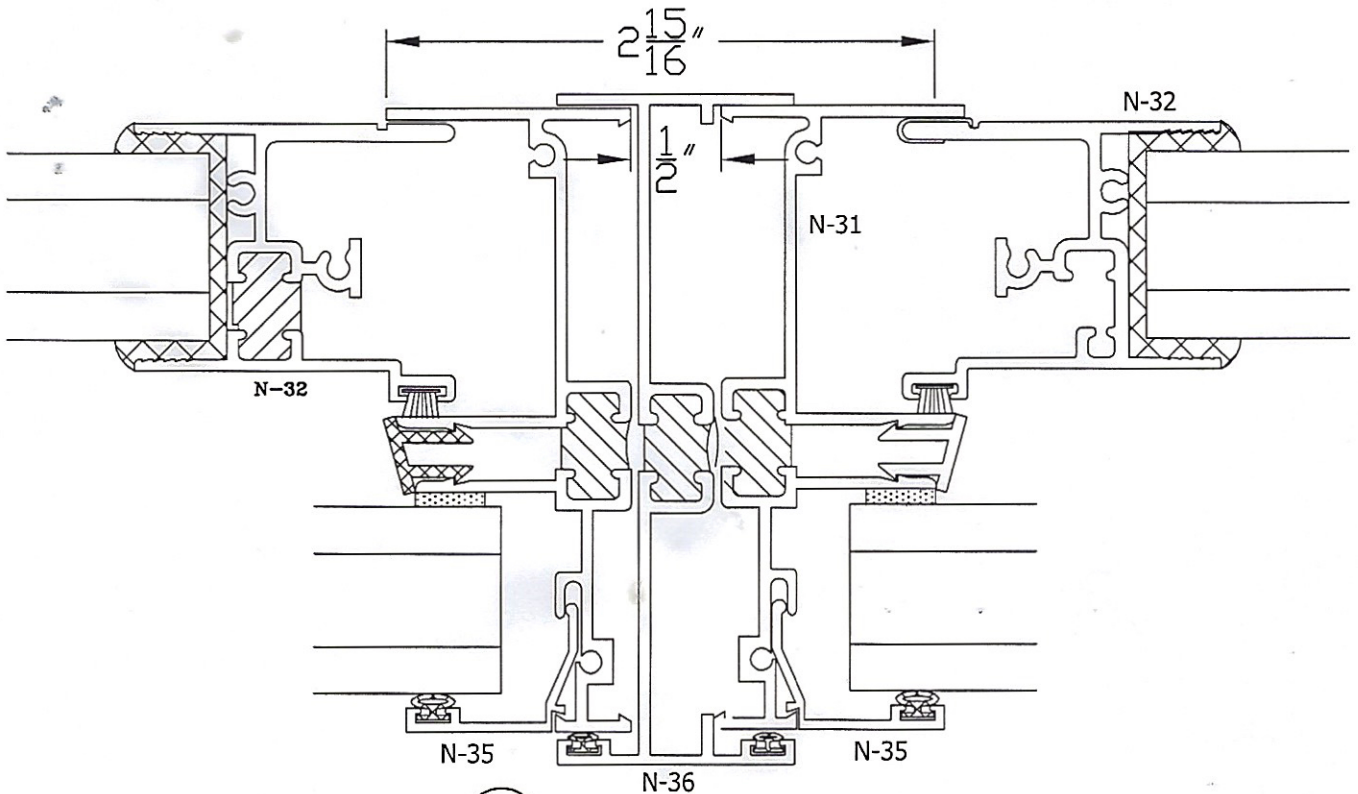
④ LEFT JAMB



⑤ RIGHT JAMB



⑥ STACK BAR W/FIXED @ RIGHT



⑦ STACK BAR







Examples of Similar Style Architecture



Fig. 1 – Located along Tacoma Avenue, Tacoma, WA



Fig. 2 – Located along Tacoma Avenue, Tacoma, WA



Fig. 3 – Located along Tacoma Avenue, Tacoma, WA



Fig. 4 – Located between South L and South M Street, and S 11th and Earnest Brazil Street in Tacoma, WA



Fig. 5 – Located between South L and South M Street, and S 11th and Earnest Brazil Street in Tacoma, WA



Fig. 6 – Located between South L and South M Street, and S 11th and Earnest Brazil Street in Tacoma, WA