

NOT FOR CONSTRUCTION
FOR COORDINATION ONLY

NO DRAWINGS DISPLAYING A DATE
OF ISSUANCE ON OR PRIOR TO
THAT SHOWN ON THIS SHEET ARE
APPROVED FOR CONSTRUCTION

5TH ST S.E. CUP
111 5TH AVE NW
PUYALLUP, WA 98372

MUNICIPAL APPROVAL STAMPS

2203

12/2/22

REVISIONS
NO. DESCRIPTION DATE

DRAWN BY: K. WITT

ELEVATIONS

A 3.0

Please complete and submit a nonresidential design review application and the required design review narrative as a part of your re-submittal. A review of the permit application for conformance with PMC 20.26.300 Non-Residential Design Review has been provided below. Please reference these notes when updating your plans.

Please provide the proposed siding materials. Per PMC 20.26.300 (4), acceptable siding materials include brick, stone, marble, split-face cement block, shingles, and horizontal lap siding. Other materials, such as stucco, may also be used as an accent if: (a) they are used as accent materials in conjunction with acceptable siding materials; and (b) said accent materials are characterized by details or variations in the finish that create a regular pattern of shapes, indentations, or spaces that are accented or highlighted with contrasting shades of color. [elevations, A3.0]

The wall plane for buildings which contain two or more stories and that will be visible from a public street shall not be wider than two and one-half times the height of the wall plane per PMC 20.26.300 (1)(a). Please adjust elevations accordingly to meet this standard. [elevations, A3.0]

The north elevation is required to have no less than 60% of the surface area of the surface area of the wall consist of windows and/or transparent doorways (PMC 20.26.300 (3)(d)). Please update the elevations to meet this requirement and provide calculations on the elevation plans proving that the 60% requirement is being met. [elevations, A3.0]

Per PMC 20.26.300 (1)(c), for continuous rooflines that exceed 50 feet in length on buildings with a flat, gabled, hopped, or similar roof, or on a roofline with slopes of less than three feet vertical to 12 feet horizontal, the following methods shall be used:

(i) The height of the visible roofline must change at least four feet if the adjacent roof segments are less than 50 feet in length.

(ii) The height of the visible roofline must change at least eight feet if the adjacent roof segments are 50 feet or more in length.

Please adjust plans accordingly. [elevations, A3.0]

Per PMC 20.26.300 (3)(b)(i) the 8' plaza area shall be covered by awnings covering at least six feet of the plaza space in depth. Right now, the proposed awning only covers about three feet of the plaza space and is only proposed above the entry doors, but not of the roll up garages. Please amend this awning space to cover at least 6' of the depth of the plaza space and cover all doors along the northern facade. [elevations, A3.0]

② North
1/4" = 1'-0"

③ West
1/4" = 1'-0"

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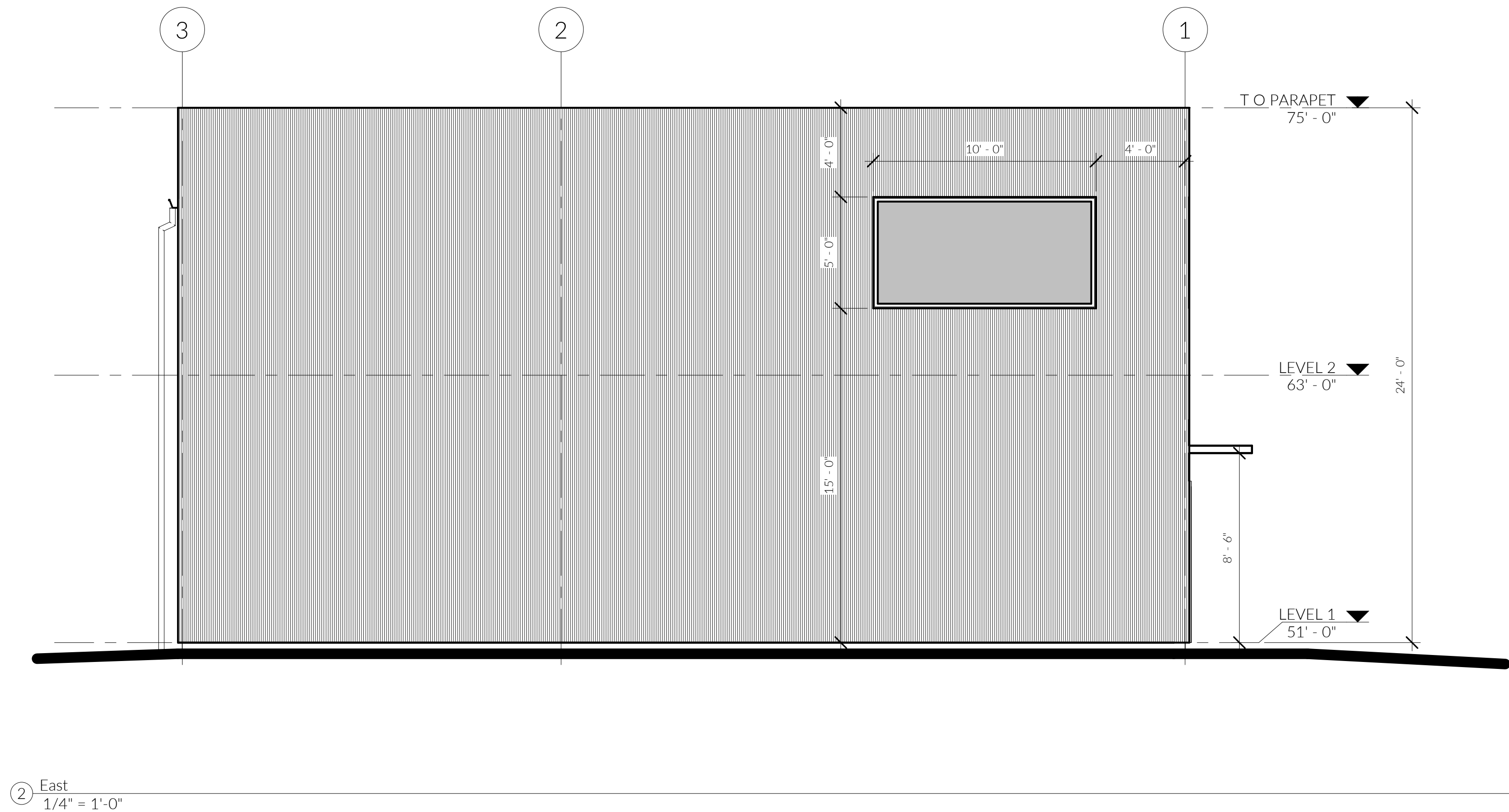
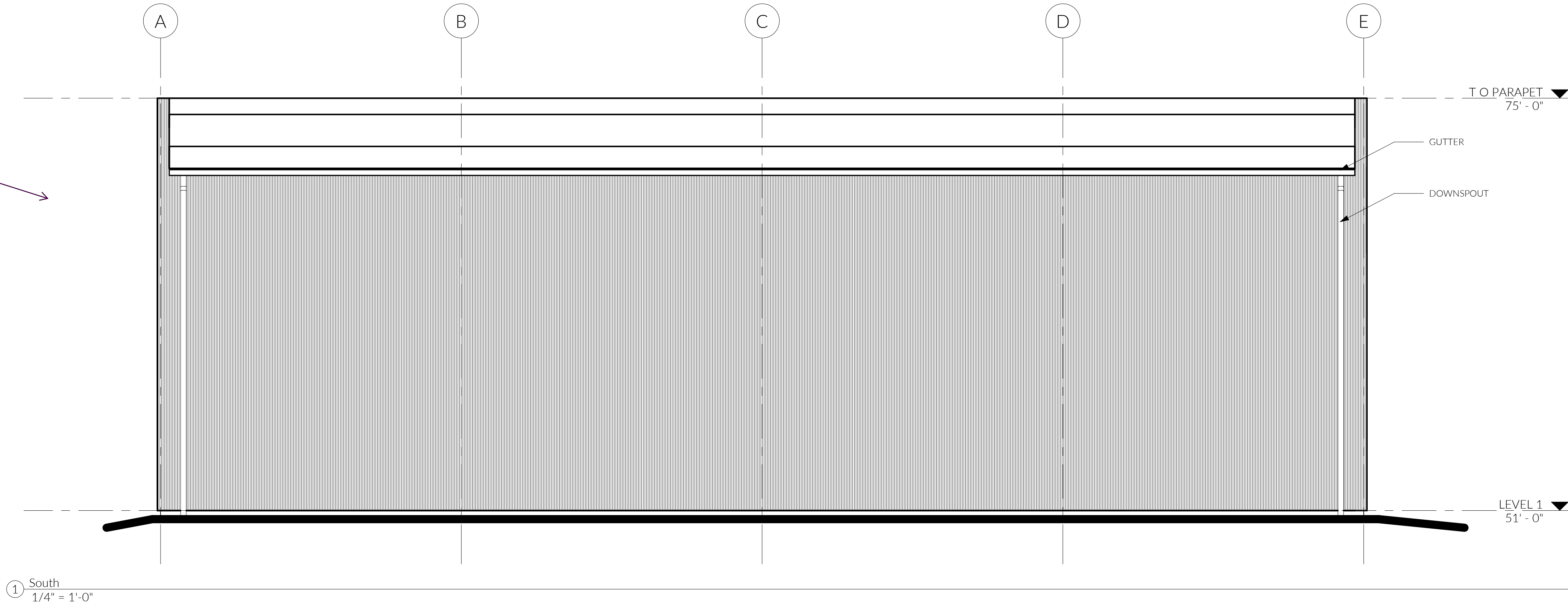
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ELEVATIONS

The south elevation of the building is visible from a public street and contains 400 square feet of surface area without windows, doors, building wall modulation, or other architectural features. Two screen or treat the wall, please choose two of the following methods or techniques to address this blank wall per PMC 20.26.300 (2)(a):

- (i) Installation of a vertical trellis with climbing vines or plant material in front of the blank wall;
- (ii) Providing a landscaped strip at least 10 feet in width in front of the blank wall and planted with plant materials which will obscure or screen at least 50 percent of the blank wall within three years;
- (iii) Use of alternate building materials or wall textures in the exterior treatment of the blank wall; or
- (iv) Use of functional or nonfunctional architectural features such as windows, doors, pillars, columns, awnings, roofs, etc., which cover at least 25 percent of the wall surface.

[elevations, A3.1]



NOTE:

EACH DWELLING UNIT TO BE EQUIPPED WITH TRICKLE VENTS TO MEET THE SEATTLE MECHANICAL CODE REQUIREMENTS WITH A MIN. VENTING SPACE OF 4 SQ. INCHES OF NET FREE AREA IN EACH OCCUPIABLE SPACE. WINDOWS WITH OPENINGS LESS THAN 36" ABOVE FINISH FLOOR TO BE EQUIPPED WITH OPENING CONTROL DEVICES COMPLYING WITH SBC 1013.8.1 (EXCEPTION 4).

WINDOW NOTE:

WINDOWS BELOW 36" A.F.F. REQUIRED EMERGENCY EGRESS WINDOWS ARE TO BE PROVIDED WITH OPENING CONTROL DEVICES COMPLYING WITH SBC 1013.8.1 (EXCEPTION 4).