



City of Puyallup

Planning Division

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January 30, 2023

ESM Consulting Engineers

33400 8th Ave S, Ste 205

Federal Way, WA 98003

DEVELOPMENT REVIEW TEAM (DRT) LETTER	
DRT #	1
PERMIT #	PLCUP20220162
PROJECT NAME	KEIMIG
PERMIT TYPE	Conditional Use Permit
PROJECT DESCRIPTION	Conditional use permit application for a light industrial use within the CG - general commercial zone. The proposed project is for a 3,150 square foot building divided into four (4) units used for workspace and ancillary storage associated with the primary use within the units.
SITE ADDRESS	111 5TH ST SE, PUYALLUP, WA 98372
PARCEL #	7285000112
ASSOCIATED LAND USE PERMIT(S)	N/A
APPLICATION DATE	November 11, 2022
APPLICATION COMPLETE DATE	December 12, 2022
PROJECT STATUS	Active Development Review Team (DRT) review case – resubmittal required. Please address review comments below and resubmit revised permit materials and by responding in writing to the remaining items that need to be addressed.
APPROVAL EXPIRATION	N/A – Active permit application, not approved
CONDITIONS	Active permit application, not approved; Pursuant to PMC 20.11.022 regarding inactive applications, any and all pending land use applications or plat applications shall be deemed null and void unless a timely re-submittal is made to the City within 1 year of issuance of this Development Review Team (DRT) comment letter. DRT review letters typically identify requested corrections, studies or other additional required pieces of information necessary to demonstrate conformance with the City's adopted development standards and codes. Subsequent applicant re-submittals shall make a good faith effort to respond to each request from this letter in order for the application to remain active. The failure to provide timely responses or lack of providing the requested material(s) within the 1-year window following DRT comment letter

	issuance shall be grounds for expiration, thus deeming the pending application null and void with or without a full or partial refund of application fees.
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HOW TO USE THIS LETTER

This review letter includes two sections: **“Action Items”** and **“Conditions”**.

The **“Action Items”** section includes all items that the applicant must address to comply with the Puyallup Municipal Code (PMC) and city standards. Items listed in under **Action Items** require a resubmittal under this permit for further review by the Development Review Team (DRT); your application is not approved. Please make those updates to the proposed plans and resubmit for review. Please include a response letter outlining how you have revised your proposal to meet these items for ease of plan check by DRT members.

The **“Conditions”** are items that will govern the final permit submittal(s) for the project. Please be aware that these conditions will become conditions of the final permits and/or recommendations to the Hearing Examiner, if applicable.

If you have questions regarding the action items or conditions outlined in this letter, please contact the appropriate staff member directly using the phone number and/or email provided.

ACTION ITEMS

Planning Review - Nabila Comstock; (253) 770-3361; NComstock@PuyallupWA.gov

- In the conditional use permit application, it is stated that the intent for the pedestrian plaza space is to have a "woonerf" feel and characteristics. It is stated that city-standard landscape buffer for the parking will be required and that a plaza will be provided along the building frontage and is proposed to double as access to roll-up garage entries to each unit. Decorative hard surfacing is proposed to be in the area along with streetscape features such as planters and small seating areas located in non-travel areas between the units. The city is still generally receptive to this "woonerf"-type proposal. However, additional detailed plans for this "woonerf" concept are required in your re-submittal to better understand the concept, conduct review, and make the CUP findings. Staff will need to discuss the process and criteria for this requested deviation from the design standards. Please provide scaled elevations and plans that reflect this design intent. [site plan, EN-02]
- Per (PMC 20.30.037 (2)(a)) and (PMC 20.26.300 (3)(b)(i)), the pedestrian plaza is required to include amenities such as bike parking, bench seating, planters, fountains, artwork, decorative railing, decorative light fixtures, hanging baskets or other features that are pedestrian scaled in nature. [site plan, EN-02]
- Please complete and submit a nonresidential design review application and the required design review narrative as a part of your re-submittal. A review of the permit application for conformance with PMC 20.26.300 Non-Residential Design Review has been provided below. Please reference these notes when updating your plans.
- The wall plane for buildings which contain two or more stories and that will be visible from a public street shall not be wider than two and one-half times the height of the wall plane per PMC 20.26.300 (1)(a). Please adjust elevations accordingly to meet this standard. [elevations, A3.0]
- Per PMC 20.26.300 (1)(c), for continuous rooflines that exceed 50 feet in length on buildings with a flat, gabled, hopped, or similar roof, or on a roofline with slopes of less than three feet vertical to 12 feet horizontal, the following methods shall be used:
 - (i) The height of the visible roofline must change at least four feet if the adjacent roof segments are less than 50 feet in length.
 - (ii) The height of the visible roofline must change at least eight feet if the adjacent roof segments are 50 feet or more in length.Please adjust plans accordingly. [elevations, A3.0]
- The north elevation is required to have no less than 60% of the surface area of the surface area of the wall consist of windows and/or transparent doorways (PMC 20.26.300 (3)(d)). Please update the elevations to meet this requirement and provide calculations on the elevation plans proving that the 60% requirement is being met. [elevations, A3.0]
- Please provide the proposed siding materials. Per PMC 20.26.300 (4), acceptable siding materials include brick, stone, marble, split-face cement block, shingles, and horizontal lap siding. Other materials, such as stucco, may also be used as an accent if: (a) they are used as accent materials in conjunction with acceptable siding materials; and (b) said accent materials are characterized by details or variations in the finish that create a regular pattern of shapes, indentations, or spaces that are accented or highlighted with contrasting shades of color. [elevations, A3.0]

- The south elevation of the building is visible from a public street and contains 400 square feet of surface area without windows, doors, building wall modulation, or other architectural features. Two screen or treat the wall, please choose two of the following methods or techniques to address this blank wall per PMC 20.26.300 (2)(a):
 - (i) Installation of a vertical trellis with climbing vines or plant material in front of the blank wall;
 - (ii) Providing a landscaped strip at least 10 feet in width in front of the blank wall and planted with plant materials which will obscure or screen at least 50 percent of the blank wall within three years;
 - (iii) Use of alternate building materials or wall textures in the exterior treatment of the blank wall; or
 - (iv) Use of functional or nonfunctional architectural features such as windows, doors, pillars, columns, awnings, roofs, etc., which cover at least 25 percent of the wall surface.
 [elevations, A3.1]
- Landscaping plant types will be further reviewed during the civil application. Please reference the Vegetation Management Standards (VMS) 12.4 Street Tree Installation Standards Table and VMS 12.7 12.10 for allowed tree types. [landscape plan, EN-03]
- Please display utility lines on the landscape plan. Please reference VMS 12.4 for street tree installation standards table that outlines required spacing. [landscape plan, EN-03]
- Each perimeter island shall be at least 12' and include a minimum of one (1) tree selected from the Class III or Class IV Street tree list shown in section 12.9 or 12.10 of the VMS. [landscape plan, EN-03]
- Please include calculation of parking ratio requirements. Include the amount of floor area being designated for office space, warehouse/storage space in as well. [site plan, EN-02]
- Where (if any) are trash and recycling receptacles being placed? Provide the height of the proposed trash and recycling receptacle and associated enclosures on the elevation plans. Per PMC 20.30.045 (7), trash and recycling receptacles shall be screened from adjacent properties and public rights-of-way by an opaque visual barrier no lower than the highest point of the receptacles. [site plan, EN-02]
- Per PMC 20.26.300 (3)(b)(i) the 8' plaza area shall be covered by awnings covering at least six feet of the plaza space in depth. Right now, the proposed awning only covers about three feet of the plaza space and is only proposed above the entry doors, but not of the roll up garages. Please amend this awning space to cover at least 6' of the depth of the plaza space and cover all doors along the northern facade. [elevations, A3.0]
- In the conditional use permit application, it is stated that the intent for the pedestrian plaza space is to have a "woonerf" feel and characteristics. It is stated that city-standard landscape buffer for the parking will be required and that a plaza will be provided along the building frontage and is proposed to double as access to roll-up garage entries to each unit. Decorative hard surfacing is proposed to be in the area along with streetscape features such as planters and small seating areas located in non-travel areas between the units. The city is still generally receptive to this "woonerf"-type proposal. However, additional detailed plans for this "woonerf" concept are required in your re-submittal to better understand the concept, conduct review, and make the CUP findings. Staff will need to discuss the process and criteria for this requested deviation from the design standards. Please provide scaled elevations and plans that reflect this design intent.

If the "woonerf" design is not intended to be pursued, please adjust plans and note that perimeter landscaping is required along the front property line in addition to the pedestrian plaza. Per PMC 20.26.300 (3)(b)(iii)(B), you could propose 8' front yard perimeter landscaping with an 8' pedestrian plaza space. [landscape plan, EN-03]

Fire Review - David Drake; (253) 864-4171; DDrake@PuyallupWA.gov

- 1. Provide the following location on site plan: Riser room, FDC, PIV.
- 2. FDC required to be within 10-15' of the fire hydrant.
- 3. Per the Engineering standards and IFC, trees and vegetation are not allowed within so many feet of hydrant, FDC and PIV.

Engineering Review - Lance Hollingsworth; (253) 770-3337; LHollingsworth@PuyallupWA.gov

- Show water connection in 7th St SE on plans. [Site Plan, Pg1]
- Show Sewer connection in E Main Ave on plans. [Site Plan, Pg1]
- Provide Sewer cleanout at property line. [Site Plan, Pg1]
- Proposed sewer and water main locations within roadway do not meet COP Design standards. See City Standard Details
- separate onsite and offsite new/replaced impervious surfaces
- Utilities may only leave the site perpendicular to ROW and with a cleanout at the property line. [Site Plan, Pg1]
- Per COP Design Standards, "For stormwater pipe crossing over sanitary sewers, a minimum of 12-inches of vertical clearance shall be provided between the systems. If the stormwater pipe is crossing below the sanitary sewer, a minimum of 18-inches of vertical separation shall be provided."
- See COP Design Standards Section 208 for trash enclosure requirements.
- Revise leader location [Site Plan, Pg1]
- Update the Storm Report and design per the 2019 Ecology Manual (adopted in July 2022). Report is subject to more comments following update. [Storm Report, Pg 3]
- Document how the project meets COP Design Standard requirements that permits direct discharge to the Puyallup River found in Section 204.2 (2). Contact me if you have trouble finding the 2012 Storm Comp Plan Direct Discharge Basin Map. [Storm Report, Pg 12]
- In-feasibility is not fully developed. Cite in-feasibility criteria found in 2019 manual for each BMP considered. [Storm Report, Pg 17]

CONDITIONS

Building Division - Janelle Montgomery; 2537703328; JMontgomery@PuyallupWA.gov

- General: Building plans will need to be complete with all building, mechanical, plumbing, energy code items and accessibility requirements that may apply on the plans, including any fire separation that may be required.

The truss specs will also be required with the truss engineers' stamps and a layout that matches the submitted plans at the time of submittal.

Plans will need to be per the applicable codes 2018 adopted February 1, 2021 or current adopted codes for all permits.

All electrical is permitted by the Washington State Department of L & I.

Accessible parking and access to the public way will be required. For all accessible requirements the City adopted the 2018 IBC / WAC 51-50 and the ICC A117.1-2009 standard.

Please reach out to me if I can answer any other questions in relationship to Building code items for this project. No other Building items at this time.

Sincerely,

Nabila Comstock

Assistant Planner

(253) 770-3361

NComstock@PuyallupWA.gov