



City of Puyallup

Planning Division

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www.cityofpuyallup.org

January 30, 2023

Michael Chen

500 Union Street, Suite 410

Seattle, WA 98101

DEVELOPMENT REVIEW TEAM (DRT) LETTER	
DRT #	1
PERMIT #	PLPSP20220155
PROJECT NAME	Fortress Puyallup
PERMIT TYPE	Preliminary Site Plan
PROJECT DESCRIPTION	Construct an approximately 135,900 square foot warehouse with truck loading bays and associated parking. Project is required to go through industrial administrative design review and will include landscaping, storm water controls, utilities, and other site improvements as required.
SITE ADDRESS	240 15TH ST SE, PUYALLUP, WA 98372
PARCEL #	0420274126
ASSOCIATED LAND USE PERMIT(S)	
APPLICATION DATE	October 26, 2022
APPLICATION COMPLETE DATE	November 02, 2022
PROJECT STATUS	<u>Active Development Review Team (DRT) review case – resubmittal required.</u> Please address review comments below and resubmit revised permit materials and by responding in writing to the remaining items that need to be addressed.
APPROVAL EXPIRATION	N/A – Active permit application, not approved

CONDITIONS	<p>Active permit application, not approved;</p> <p>Pursuant to PMC 20.11.022 regarding inactive applications, any and all pending land use applications or plat applications shall be deemed null and void unless a timely re-submittal is made to the City within 1 year of issuance of this Development Review Team (DRT) comment letter.</p> <p>DRT review letters typically identify requested corrections, studies or other additional required pieces of information necessary to demonstrate conformance with the City’s adopted development standards and codes.</p> <p>Subsequent applicant re-submittals shall make a good faith effort to respond to each request from this letter in order for the application to remain active.</p> <p>The failure to provide timely responses or lack of providing the requested material(s) within the 1-year window following DRT comment letter issuance shall be grounds for expiration, thus deeming the pending application null and void with or without a full or partial refund of application fees.</p>
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HOW TO USE THIS LETTER

This review letter includes two sections: **“Action Items”** and **“Conditions”**.

The **“Action Items”** section includes all items that the applicant must address to comply with the Puyallup Municipal Code (PMC) and city standards. Items listed in under **Action Items** require a resubmittal under this permit for further review by the Development Review Team (DRT); your application is not approved. Please make those updates to the proposed plans and resubmit for review. Please include a response letter outlining how you have revised your proposal to meet these items for ease of plan check by DRT members.

The **“Conditions”** are items that will govern the final permit submittal(s) for the project. Please be aware that these conditions will become conditions of the final permits and/or recommendations to the Hearing Examiner, if applicable.

If you have questions regarding the action items or conditions outlined in this letter, please contact the appropriate staff member directly using the phone number and/or email provided.

ACTION ITEMS

Planning Review - Nabila Comstock; (253) 770-3361; NComstock@PuyallupWA.gov

General Comments – Markups from Redlines

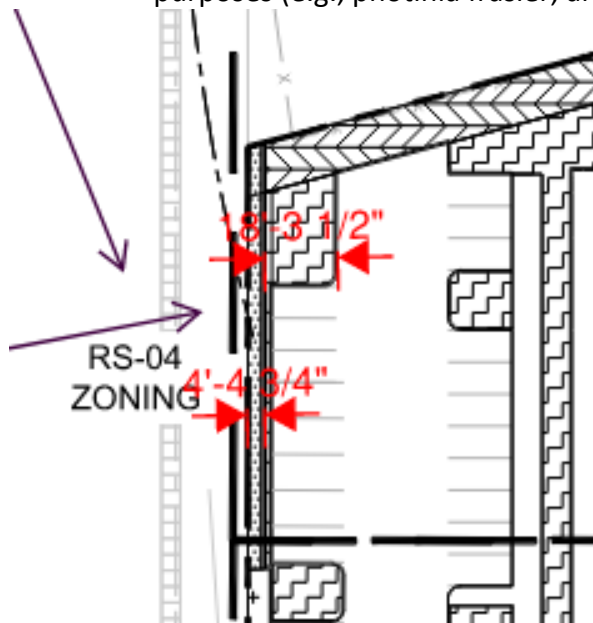
- Signage is applied for and permitted through a sign permit and subject to the special sign code provisions for the ML zone found in PMC 20.60.055 [exterior elevations, A2.00]
- You have noted that there is a water easement that crosses through where the landscaping is required on the northern portion of the site along the interior side yard. In the pre-app notes, planning commented that although trees may not be able to be planted here due to the waterline, you would need to substitute trees for adequate shrubbery and other vegetation required in the landscape buffer. Vegetation is required to be planted in this area interior to the site.
The minimum distance from underground water, sewer, or storm is 10'. [landscape plans, L0.01]
- Landscape islands every eight stalls are required for trailer parking [landscape plans, L0.01]
- Perimeter landscaping required to be 12' [landscape plans, L1.10]
- Parking landscape islands not meeting required widths
Perimeter: 12' wide
Internal: 15' wide
[landscape plan, L1.10]
- Trees required to be planted in landscape area abutting wall [landscape plans, L1.10]
- Trees required to be planted in the blank wall landscaping [landscape plans, L1.10]
- Parking landscape islands not meeting required widths
Perimeter: 12' wide
Internal: 15' wide
[landscape plan, L1.11]
- Please add another wide vegetative screen wall here [elevations, A2.00]
- The perimeter of all parking areas and associated access drives which abut public right-of ways shall be screened with on-site landscaping, earth berms, fencing, or a combination of both [landscape plans, L1.10]
- PMC 20.26.400 (1) requires that the 15 wide landscape strip along blank walls include a mixture of medium to large evergreen conifer and deciduous trees and shrubs. Please include trees on the landscape plan chosen from class II, II, or IV street tree list in the VMS. [landscape plans, L1.10 & L1.11]
- 3. Please add soil cells to the 66 blank wall landscape area [landscape plans, L1.10 & L1.11]

Site Plan

- Buildings cannot cross parcel lines even when owned by the same property owner. A lot combination will be required. Lot combinations are an administratively approved permit that also requires a review and recording with the County. I have attached a link to the lot combination application below:
 - <https://www.cityofpuyallup.org/DocumentCenter/View/11646/Lot-Combination-Application>

Landscape

- The zone transition standards require a 12' landscape buffer with a 6' wall. It is not clear where the RS-04 zone adjacent to the site ends. Provide matchlines where the RS-04 zone ends on all applicable pages. [landscape plans]
- The proposed landscape buffer required by the zone transition standards is not meeting the required standards
 - o The landscape buffer must be 12' in width and include:
 - (a) Evergreen trees that are at least eight feet tall at planting, spaced no more than 15 feet on center, and placed in a triangular pattern (having three equal sides, except in 15-foot-wide buffers) to resemble a natural growth pattern and to give depth and density to the screening. For added interest and variation, deciduous trees may be mixed with evergreen trees, provided the required number of evergreen trees are installed and spaced in a manner that will provide required screening.
 - (b) Understory shrubs (at least three-gallon container size) spaced no more than five feet on center, or sufficiently sized and spaced to assure full screening between required trees up to a height of six feet within three years (as determined by a professional landscape architect and as approved by the director). A variety of shrubs may be used, provided they are of a type and species that will provide vertical height and horizontal fullness for screening purposes (e.g., photinia frasier, arborvitae, huckleberry, tall Oregon grape).



- Perimeter Landscaping Requirements
 - o North (interior side yard)
 - You have noted that there is a water easement that crosses through where the landscaping is required on the northern portion of the site along the interior side yard. In the pre-app notes, planning commented that although trees may not be able to be planted here due to the waterline, you would need to substitute trees for adequate shrubbery and other vegetation required in the landscape buffer.

- The minimum distance from underground water, sewer, or storm is 10'.
 - Vegetation is required to be planted in this area interior to the site.
 - East (front yard)
 - Perimeter landscaping is not being met on the north eastern part of the site along 15th St SE.
 - The required landscape width should be 12' minimum.
 - The proposed parking stalls along this area look as if they could be shorter in length, which could help with meeting the required landscape width.
 - See landscape plans L1.10
- PMC 20.26.400 (1) requires that the 15' wide landscape strip along blank walls include a mixture of medium to large evergreen conifer and deciduous trees and shrubs. Please include trees on the landscape plan chosen from class II, II, or IV street tree list in the VMS. [landscape plans, L1.10 & L1.11]
- Staff is supportive of reducing the blank wall planter width along the south side of the building dependent upon mitigation in the form of CU-Structural plant soils (or equivalent) in a total soil volume equal to that which would have been provided if the full 15' planter had been installed. Please show a call out agreeing to this mitigation and provide installation details at the time of civil permit approval. [landscape plans, L1.10 & L1.11]
- The tilt wall proposed to screen the loading docks is required to have a 10' landscaping strip that includes a continuous row of trees at least 8' tall at planting spaced no more than 30' on center to be planted per PMC 20.26.400 (3) [landscape plans, L1.10]
- Please provide calculations on the landscape plans that show that at least 10% of all paved areas are landscaped in accordance with PMC 20.58.005 [landscape plans, L0.01]:
 - In order to further mitigate the impacts of more substantial expanses of paved areas on development sites, the following shall apply:
 - (1) All paved areas of over 10,000 square feet shall have at least five percent of all paved areas landscaped to provide shade to reduce the heat island effect related to paved surfaces, reduce stormwater runoff, improve air quality, provide visual breaks to large paved areas and improve general appearance. *Perimeter landscaping shall not be calculated as part of the required amount of internal parking lot landscaping.* Internal parking lot landscaping design and spacing shall conform to the "Type IV" landscaping standards contained in the city's vegetation management standards (VMS) manual.
 - (a) In the event that a project provides 20 percent more than the required minimum number of parking stalls (per PMC 20.55.010) for a specific use or group of uses on a development complex site, or in the event that the total sum of paved areas on a site exceeds 100,000 square feet, at least 10 percent of all paved areas shall be landscaped in accordance with this section and the vegetation management standards (VMS) manual.
- Truck and trailer parking are considered to be a form of outdoor storage. Please show on the plans that the area is screened from adjoining properties and public ROW in accordance with PMC 20.35.035.
 - (3) Outdoor Storage. Outdoor storage as defined in PMC 20.15.005, including merchandise display, equipment and materials storage, and junk and scrap storage,

when permitted in the ML and MP zones shall comply with the following requirements:

- (a) Fencing and Screening Required. Sight-obscuring fencing or screening is required around all portions of a lot utilized for outdoor storage of component merchandise, equipment and materials, and junk and scrap as defined in PMC 20.15.005, except for component merchandise which is stored and displayed only during business hours. All fencing and screening shall be installed in accordance with the following requirements:
 - (i) Building Setbacks. All fencing and screening shall comply with the building setback requirements for the zone in which it is located unless specified otherwise,
 - (ii) Minimum Screening Requirements. When required, all outdoor storage areas shall be screened from adjoining properties and public rights-of-way by a wall, fence, landscaping and/or structure. Such screening shall serve the purpose of concealing and obscuring the storage area from view. Landscape screening shall consist of plantings designed and installed in such a manner to provide year-round screening in terms of vegetation density and height within three years of planting, and shall be maintained in a healthy, growing condition. Landscape plantings installed to screen outdoor storage from public rights-of-way shall be installed on the right-of-way side of any wall, fence or structure,
 - (iii) Maximum Fence Height. Fencing and walls surrounding outdoor storage areas which are not part of a building wall shall not exceed a maximum height of eight feet,
 - (iv) Maintenance Required. Fences, walls and landscaping surrounding outdoor storage areas shall be maintained and kept free of litter, posters, signs, trash or stored items,
 - (v) Outdoor Storage Height Limitations. Outdoor storage shall not exceed the height of required screening;

Parking

- The perimeter of all parking areas and associated access drives which abut public right-of ways shall be screened with on-site landscaping, earth berms, fencing, or a combination of both [landscape plans, L1.10]
- Perimeter and internal parking landscape islands are not meeting the required widths (VMS Type IV Design Standards A.1, A.2) [landscape plan, L1.10 & L1.11]
 - Perimeter: 12' wide
 - Internal: 15' wide
- Parking lot landscape islands do not have the required amount of trees as required in VMS Type IV Design Standards A.1, A.2. [landscape plan, L1.10, L1.11, L1.12]
 - Perimeter: 12' wide
 - Each perimeter island shall include a minimum of one (1) tree selected from the Class III or Class IV Street tree list shown in section 12.9 or 12.10 of the VMS.
 - Internal: 15' wide

- Each internal island shall include a minimum of two (2) trees selected from the Class III or Class IV street tree list shown in section 12.9 or 12.10.; fifty percent (50%) of trees in internal islands shall be Class III or Class IV evergreen conifers.
- Trailer parking requires parking landscape islands every 8 stalls (VMS Type IV Design Standards, C.)
 - Landscaping islands apply to all striped parking and storage areas, including heavy truck trailer parking [landscape plans, L1.11 & L1.12]

SEPA Checklist

- The Department of Ecology has provided a comment letter. Please see the attachment in Documents & Images in the CityView Portal
- Washington State Department of Transportation has provided a comment letter. Please see the attachment in Documents & Images in the CityView Portal.

Industrial Design Review (PMC 20.26.300)

- The proposal for vertical vegetative screen walls in exchange for blank wall landscape requirement of 15'0" to reduce to 6'6", will be allowed but we will require an additional large vegetative screen as noted on redlined plans [exterior elevations, A2.00]

Elevations

- Signage is applied for and permitted through a sign permit and subject to the special sign code provisions for the ML zone found in PMC 20.60.055 [exterior elevations, A2.00]

Additional Item

- The opportunity for concurrent review is an early submittal waiver form, which can be applied for after the first DRT letter is issued but it is *subject to staff discretion*. A further discussion with staff following your review of this DRT letter will be beneficial to determine whether this would be an option. An early submittal waiver form can be used to authorize both the submittal of a civil and building permit application, but you will need to be specific on what you want to submit.
 - <https://www.cityofpuyallup.org/DocumentCenter/View/15272/Early-Submittal-Waiver-Form-2019>

Building Review - Janelle Montgomery; (253) 770-3328; JMontgomery@PuyallupWA.gov

- Additional Submittal Item: Provide a Geo-Tech report for soils with the building permit applications.
- A separate demolition permit will be required for the demo of the structures currently on the site and will require documentation from the Puget Sound Clean Air agency at the time of submittal for the demo permit.
- Building plans will need to be complete with all building, mechanical, plumbing, energy code items and accessibility requirements that apply to project.
- The proposed Code Analysis (sheet G0.01) claims the building area been calculated on unlimited area buildings (section 507). Per 507.2.1 reduced open space the minimum reduced shall not be less than 40 feet with 3 conditions. Appears you meet the 3 conditions on sheet A1.10 but the site plan reflects 38 feet to the south property line adjacent to the Union Pacific Railroad. Provide code path how it can be reduced to 38 feet or revise site plan to reflect required 40 feet setback.
- Two different construction types and occupancies are noted, application notes IIIB, S-1 or S-2 and B and the Site Plan (G0.01) notes VB, S-1, F-1 and B. Acknowledge this preliminary but upon submittal for permits all construction types and occupancy will need to match.
- Electric Vehicle Charging Infrastructure are required in place for charging stations per IBC section 429 Washington State amendments for occupancy B square footage and will need to be shown on the plans. None are currently noted in parking calculations or on the site plan.
**Note if building permit is applied for after July 1, 2023, the EV parking requirements change to require EV parking provided for all occupancies.
- Plans will need to be per the applicable codes 2018 adopted February 1, 2021, for all permits. Unless submitted after July 1, 2023, to current state adopted code.
- All electrical is permitted by the Washington State Department L & I.
- Accessible parking and access to the public way will be required. For all accessible requirements the City adopted the 2018 IBC / WAC 51-50 and the ICC A117.1-2009 standard. Minimum one electric vehicle charging infrastructure is required to be accessible.
**Note if permit is applied after July 1, 2023, there are significant accessibility requirements changes in the code.
- If VB construction the truss specs will also be required with the truss engineers' stamps and a layout that matches the submitted plans at the time of submittal.
- Please reach out to me if I can answer any other questions in relationship to Building code items for this project. No other Building items at this time.

Engineering Review - Anthony Hulse; (253) 841-5553; AHulse@PuyallupWA.gov

- The Engineering approval block is outdated, you can find the most up to date here: <https://www.cityofpuyallup.org/DocumentCenter/View/6921/Section-10-Engineering-Services-Review-Process?bidId=> [site plan, pg 2]
- Include City of Puyallup Sewer and stormwater in the utilities/services list. [site plan, pg 2]
- Add this hatch to the legend. [site plan, pg 3]
- Provide a scale for the vicinity map. [site plan, pg 2]
- The geotech report is blurry, provide a new copy during the next submission. [drainage report, pg 12]

- Update MR 4. The site discharges to Deer Creek which discharges to the Puyallup River. [Drainage report, pg 15]
- Provide the following surfaces in a table format in square feet/acres for the west and east threshold discharge areas:
 - *Pollution Generating Hard Surfaces
 - *Effective impervious areas
 [drainage plans, pg 29]
- The pre-developed land use basin (5.213 acres) and proposed land use basin (5.44 acres) do not match, revise accordingly. [drainage report, pg 38]
- Where did this printout come from? It appears that the vault meets the flow control requirement on page 50, but this information is contradictory. [drainage report, pg 53]
- Why are the basin sizes being altered between the existing and proposed conditions? [drainage plans, pg 25]
- Fill out and include Figure III-1.1: Runoff Treatment BMP Selection flow chart. [drainage report, pg 18]
- Provide figure I-3.5: Flow Chart for Determining Wetland Protection Level Requirements. [drainage report, pg 19]
- Provide a preliminary WWHM calculation for the wetland protection as required by the flow chart to ensure they hydroperiod of the wetland is not altered . [drainage report, pg 19]
- Provide the square footages of each parcel. [site plan, pg 3]
- Depict/label the water mains in 15th St SE. [site plan, pg 3]
- Easements AFN 8212150220 and 1084061 are historic and the city does not have access per Pierce County's Recorded Documents, provide a copy of these easements during the next submittal. [site plan, pg 3]
- Provide dimensions between the underground detention system and the new building, and adjacent property lines. [site plan, pg 4]
- Provide the total proposed impervious area in square feet. [site plan, pg 4]
- Show AFN 20190090363 on this sheet. Does this easement restrict the placement of the storm vault in this area? [civils, pg 4]
- Include the pervious/impervious areas in 15th St SE that is within the east basin as part of this project. [drainage plans, pg 29]
- What are these triangles representing? [civils, pg 4]

Engineering Traffic Review - Bryan Roberts; (253) 841-5542; broberts@PuyallupWA.gov

- Traffic Impact Analysis (1-13-23) Comments:
Markups sent directly to TENW 1/27/23
- General Comments:
See document markups.
- Proposed driveway does not meet minimum spacing standards.
Per previous communication & pre-application comments:
-15th St SE along the site is designated as a Minor Arterial. City standards (Section 101.10.1) require minimum spacing of 300 feet from the intersection & driveways measured between closest edges of the driveway.
-Per City standards, commercial driveways must be aligned with intersections/driveways across the street.
[Site plan P3]
- Proposed driveway does not meet minimum spacing standards.
Per previous communication & pre-application comments:
-15th St SE along the site is designated as a Minor Arterial. City standards (Section 101.10.1) require minimum spacing of 300 feet from the intersection & driveways measured between closest edges of the driveway.
-Per City standards, commercial driveways must be aligned with intersections/driveways across the street.
[Site plan P3]
- Per previous communication & pre-application comments:
This commercial/industrial development shall provide an AutoTurn analysis for the largest anticipated vehicle that would access the site (WB-67, fire apparatus). Curb radii and entrance dimensions shall be increased as necessary to allow vehicles to access the site without encroaching into adjacent lanes of traffic.
Include EBR truck movement analysis at E Main/15th St SE intersection.
[Site plan P3]
- Show preliminary locations for City standard streetlights. This development will require streetlights every 150ft (minimum) spacing along frontage. 4-5 required streetlights to meet standards. Skyline service cabinet must be placed outside sight triangle
[Site plan P3]
- Parking spaces shall not be located within the driveway throat (related terms include the driveway connection depth, reservoir length, stacking distance, storage length etc.). The proposed parking spaces will cause blocking events that will cause undesirable operational issues.
[Site plan P3]
- Provide comprehensive sight distance analysis. City of Puyallup requires 350ft of available ESD. Assume 18ft setback from face of curb to simulate trucks.
[Site plan P3]
- Provide comprehensive sight distance analysis along frontage to ensure landscaping doesn't interfere with sight lines. Also, evaluate RR flasher visibility for approaching vehicles. Assume AASHTO truck eye height
[L1.10]
- NO COMMENTS AVAILABLE

- Show extent of half-street paving along frontage. A separate streetlight & channelization design will be required for civil plan submittal.
[Site plan P3]
- Clearly identify existing driveways on the east side of 15th St SE
[Site plan P3]
- Coordinate with garbage service provider on the proposed trash pickup location
[Site plan P3]

CONDITIONS

Engineering Division - Anthony Hulse; 2538415553; AHulse@PuyallupWA.gov

- Submit With Civil Permit Application: A connection to the SSMH is not desired by the City, tap the main with a sewer saddle per city standard 04.02.01[site plan, pg 4]
- Submit With Civil Permit Application: The backflow devices will need to be placed downstream of the water meters. [site plan, pg 4]
- Submit With Civil Permit Application: Fill out right of way dedication and REETA forms found on the city website located here:
<https://www.cityofpuyallup.org/DocumentCenter/View/7331/Appendix-C-?bidId=>

Traffic Engineering Division - Bryan Roberts; 2538415542; broberts@PuyallupWA.gov

- Standard Conditions: TRAFFIC ENGINEERING GENERAL CONDITIONS:
 - Traffic Impact fees (TIF) will be assessed in accordance with fees adopted by ordinance, per PMC 21.10. Impact fees are subject to change and are adopted by ordinance. The applicant shall pay the proportionate impact fees adopted at the time of building permit application
 - Park impact fees shall be charged based on size of building. Fees are assessed in accordance with fees adopted by ordinance, per PMC 21.10
 - Per Puyallup Municipal Code Section 11.08.135, the applicant/owner would be expected to construct half-street improvements including curb, gutter, planter strip, sidewalk, roadway base, pavement, and street lighting. Any existing improvements which are damaged now or during construction, or which do not meet current City Standards, shall be replaced.

Planning Division - Nabila Comstock; 2537703361; NComstock@PuyallupWA.gov

- General: Staff is supportive of reducing the blank wall planter width along the south side of the building dependent upon mitigation in the form of CU-Structural plant soils (or equivalent) in a total soil volume equal to that which would have been provided if the full 15' planter had been installed. Mitigation and installation details will be required at the time of civil permit approval. [planning]

Sincerely,
Nabila Comstock
Assistant Planner
(253) 770-3361
NComstock@PuyallupWA.gov