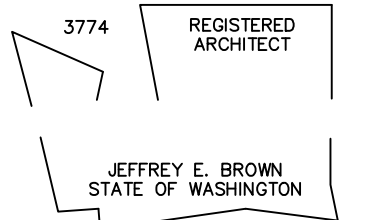


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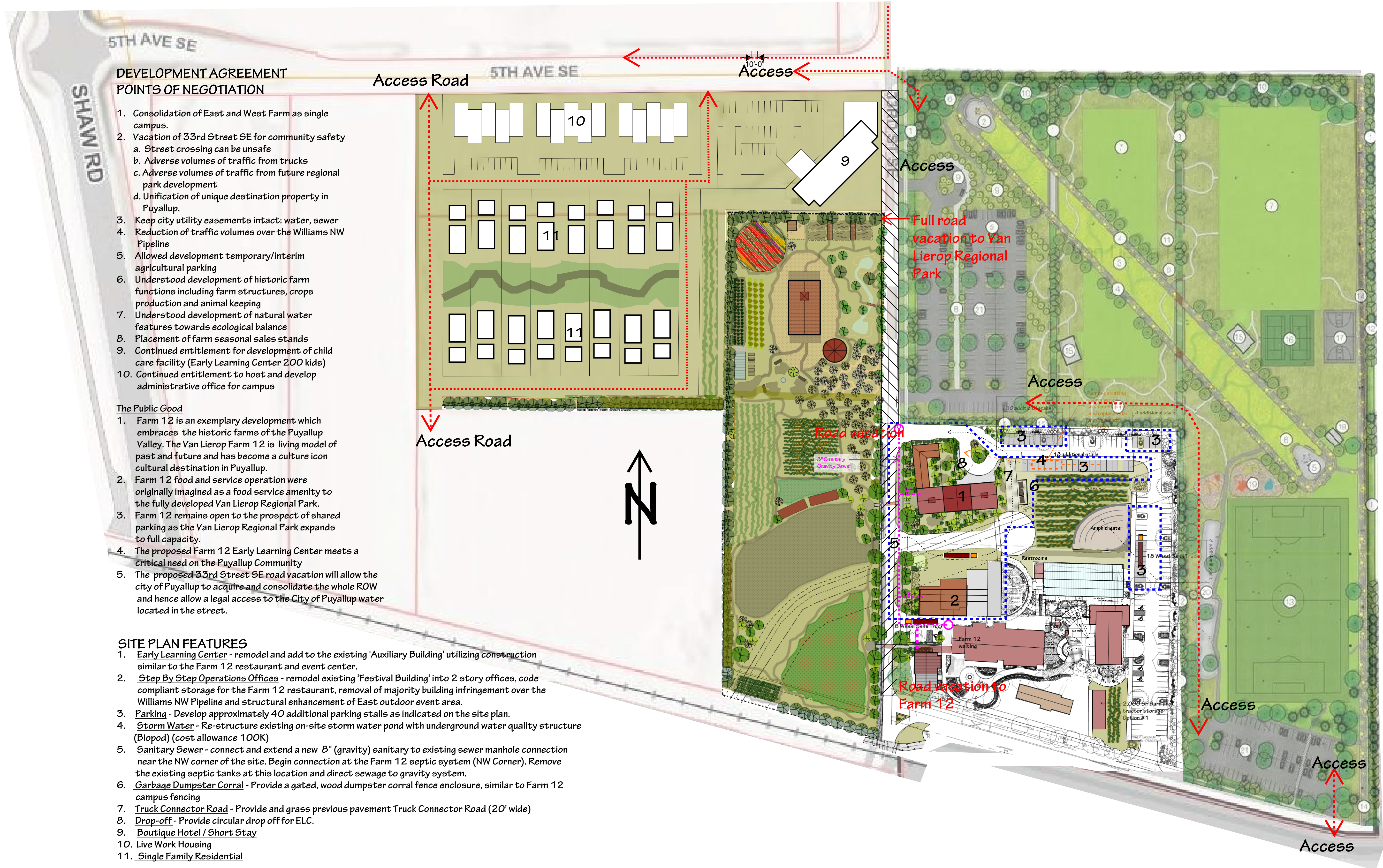
Farm 12 Campus

DRAWING TYPE

2.6.23

SHEET TITLE

SHEET #



DEVELOPMENT AGREEMENT POINTS OF NEGOTIATION

1. Consolidation of East and West Farm as single campus.
2. Vacation of 33rd Street SE for community safety
 - a. Street crossing can be unsafe
 - b. Adverse volumes of traffic from trucks
 - c. Adverse volumes of traffic from future regional park development
 - d. Unification of unique destination property in Puyallup.
3. Keep city utility easements intact: water, sewer
4. Reduction of traffic volumes over the Williams NW Pipeline
5. Allowed development temporary/interim agricultural parking
6. Understood development of historic farm functions including farm structures, crops production and animal keeping
7. Understood development of natural water features towards ecological balance
8. Placement of farm seasonal sales stands
9. Continued entitlement for development of child care facility (Early Learning Center 200 kids)
10. Continued entitlement to host and develop administrative office for campus

The Public Good

1. Farm 12 is an exemplary development which embraces the historic farms of the Puyallup Valley. The Van Lierop Farm 12 is living model of past and future and has become a culture icon cultural destination in Puyallup.
2. Farm 12 food and service operation were originally imagined as a food service amenity to the fully developed Van Lierop Regional Park.
3. Farm 12 remains open to the prospect of shared parking as the Van Lierop Regional Park expands to full capacity.
4. The proposed Farm 12 Early Learning Center meets a critical need on the Puyallup Community
5. The proposed 33rd Street SE road vacation will allow the city of Puyallup to acquire and consolidate the whole ROW and hence allow a legal access to the City of Puyallup water located in the street.

SITE PLAN FEATURES

1. Early Learning Center - remodel and add to the existing 'Auxiliary Building' utilizing construction similar to the Farm 12 restaurant and event center.
2. Step By Step Operations Offices - remodel existing 'Festival Building' into 2 story offices, code compliant storage for the Farm 12 restaurant, removal of majority building infringement over the Williams NW Pipeline and structural enhancement of East outdoor event area.
3. Parking - Develop approximately 40 additional parking stalls as indicated on the site plan.
4. Storm Water - Re-structure existing on-site storm water pond with underground water quality structure (Biopod) (cost allowance 100K)
5. Sanitary Sewer - connect and extend a new 8" (gravity) sanitary to existing sewer manhole connection near the NW corner of the site. Begin connection at the Farm 12 septic system (NW Corner). Remove the existing septic tanks at this location and direct sewage to gravity system.
6. Garbage Dumpster Corral - Provide a gated, wood dumpster corral fence enclosure, similar to Farm 12 campus fencing
7. Truck Connector Road - Provide and grass previous pavement Truck Connector Road (20' wide)
8. Drop-off - Provide circular drop off for ELC.
9. Boutique Hotel / Short Stay
10. Live Work Housing
11. Single Family Residential

FARM 12 Master Campus Concept Plan