

A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 21, T. 20 N., R. 4 E., W.M.

LEGAL DESCRIPTION

PARCEL A

ALL THAT PORTION OF THE FOLLOWING DESCRIBED PROPERTY LYING SOUTHERLY OF CHICAGO, MILWAUKEE & ST. PAUL RAILROAD RIGHT OF WAY:

BEGINNING AT A POINT 20 FEET NORTH AND 824.72 FEET EAST OF THE SOUTHWEST CORNER OF THE WILLIAM BENSTON DONATION LAND CLAIM NO. 47 IN SECTIONS 16 AND 21, TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE W.M., IN PIERCE COUNTY, WASHINGTON;

THENCE NORTH 704.8 FEET;

THENCE EAST ALONG A LINE PARALLEL WITH SOUTH LINE OF SAID DONATION LAND CLAIM 294.1 FEET;

THENCE SOUTH 704.8 FEET TO A POINT 20 FEET NORTH AND 1,116.7 FEET EAST OF SAID SOUTHWEST CORNER;

THENCE WEST 294.1 FEET TO PLACE OF BEGINNING;

EXCEPT ANY PORTION THEREOF DEEDED TO PIERCE COUNTY FOR ROAD BY DEED RECORDED UNDER RECORDING NUMBER 1783507;

EXCEPT THE WEST 5 FEET CONVEYED TO PIERCE COUNTY FOR ADDITIONAL RIGHT OF WAY FOR DECHAUX ROAD BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 1989504.

PARCEL B

A TRACT IN WILLIAM BENSTON DONATION LAND CLAIM NO. 47 IN SECTIONS 16 AND 21, TOWNSHIP 20 NORTH, RANGE 4 EAST OF THE W.M., IN PIERCE COUNTY, WASHINGTON, BEING ALL THAT PORTION OF THE FOLLOWING DESCRIBED PROPERTY LYING SOUTH OF THE RIGHT OF WAY OF THE CHICAGO, MILWAUKEE ST. PAUL AND PACIFIC RAILWAY COMPANY;

BEGINNING AT A POINT ON THE EAST LINE OF THE WILLIAM BENSTON DONATION LAND CLAIM NO. 47, 20 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE WEST ALONG A LINE PARALLEL TO AND 20 FEET DISTANT FROM THE SOUTH LINE OF SAID DONATION LAND CLAIM, 924.5 FEET TO A POINT 20 FEET NORTH AND 1,116.7 FEET EAST OF THE SOUTHWEST CORNER OF SAID DONATION LAND CLAIM;

THENCE NORTH 704.8 FEET;

THENCE EAST 928.3 FEET TO A POINT ON THE EAST LINE OF SAID DONATION LAND CLAIM, 724.8 FEET NORTH OF THE SOUTHEAST CORNER THEREOF;

THENCE SOUTH 704.8 FEET TO THE POINT OF BEGINNING;

EXCEPT THE EAST 30 FEET OF THE ABOVE DESCRIBED PROPERTY CONVEYED FOR COUNTY ROAD;

EXCEPT THAT PART THEREOF CONVEYED TO THE STATE OF WASHINGTON BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 1228584.

EXCEPTIONS FROM TITLE REPORT

LEGAL DESCRIPTION, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS ARE FROM FIRST AMERICAN TITLE INSURANCE COMPANY ALTA COMMITMENT FOR TITLE INSURANCE, FILE NO. NCS-1154711-WA DATED NOVEMBER 4, 2022. IN PREPARING THIS SURVEY MAP, ESM CONSULTING ENGINEERS, LLC (ESM) HAS CONDUCTED AN INDEPENDENT TITLE SEARCH, NOR IS ESM AWARE OF ANY TITLE ISSUES AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN ON THIS SURVEY MAP. ESM HAS WHOLLY RELIED ON SAID REFERENCED REPORT TO PREPARE THIS SURVEY MAP AND THEREFORE QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

1-8. NOT REPORTED HEREIN. SEE TITLE REPORT FOR ADDITIONAL INFORMATION.

9. SUBJECT TO LIEN OF REAL ESTATE EXCISE TAX UPON SALE OF SAID PREMISES, OR TRANSFER OF A CONTROLLING INTEREST, IF UNPAID.

10-11. SUBJECT TO LIABILITY, IF ANY, FOR PRO-RATA PORTION OF REAL PROPERTY TAXES WHICH ARE CARRIED ON THE KING COUNTY TAX ROLLS AS EXEMPT FOR ACCOUNT NOS. ASSESSOR PARCEL NOS. 042021-1-002 AND 042021-1-012. EXCEPTION CANNOT BE PLOTTED.

12. SUBJECT TO THAT AGREEMENT TO SUPPLY WATER AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN THAT INSTRUMENT RECORDED UNDER RECORDING NO. 816277. EXCEPTION CANNOT BE PLOTTED.

13. SUBJECT TO THAT EASEMENT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC PURPOSES AS GRANTED TO PUGET SOUND POWER & LIGHT COMPANY BY THAT INSTRUMENT RECORDED UNDER RECORDING NO. 790575. THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED BY THE INSTRUMENT OF RECORD AND IS NOT DEPICTED HEREIN. EASEMENT IS TO BE ALONG THE NORTHERLY LINE OF PARCEL B.

14. SUBJECT TO THAT EASEMENT AND THE TERMS AND CONDITIONS THEREOF FOR ELECTRIC PURPOSES AS GRANTED TO PUGET SOUND POWER & LIGHT COMPANY BY THAT INSTRUMENT RECORDED UNDER RECORDING NO. 790581. THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED BY THE INSTRUMENT OF RECORD AND IS NOT DEPICTED HEREIN. EASEMENT IS TO BE ALONG THE NORTHERLY LINE OF PARCELS A AND B.

15. SUBJECT TO THAT AGREEMENT REGARDING WATER AND SEWER CONNECTIONS AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN THAT INSTRUMENT RECORDED UNDER RECORDING NO. 8206280180. EXCEPTION CANNOT BE PLOTTED.

16. SUBJECT TO THAT EASEMENT AND THE TERMS AND CONDITIONS THEREOF FOR COMMUNICATIONS PURPOSES AS GRANTED TO SPRINT COMMUNICATIONS COMPANY AND LEVEL 3 COMMUNICATIONS BY THAT INSTRUMENT RECORDED UNDER RECORDING NO. 201310140202. THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED BY THE INSTRUMENT OF RECORD AND IS NOT DEPICTED HEREIN. EASEMENT IS TO BE ALONG THE NORTHERLY LINE OF PARCELS A AND B.

17. NOT REPORTED HEREIN.

18. NOT SUBJECT TO ANY QUESTION THAT MAY ARISE DUE TO THE SHIFTING AND/OR CHANGING IN THE COURSE OF SIMONS CREEK. THERE IS NO CREEK LOCATED ON THE SURVEYED PROPERTY.

19. NOT SUBJECT TO RIGHTS OF THE GENERAL PUBLIC TO THE UNRESTRICTED USE OF ALL THE WATERS OF A NAVIGABLE BODY OF WATER NOT ONLY FOR THE PRIMARY PURPOSE OF NAVIGATION, BUT ALSO FOR COROLLARY PURPOSES, INCLUDING (BUT NOT LIMITED TO) FISHING, BOATING, BATHING, SWIMMING, WATER SKIING AND OTHER RELATED RECREATIONAL PURPOSES, AS THOSE WATERS MAY AFFECT THE TIDELANDS, SHORELANDS OR ADJOINING UPLANDS AND WHETHER THE LEVEL OF THE WATER HAS BEEN RAISED NATURALLY OR ARTIFICIALLY TO A MAINTAINED OR FLUCTUATING LEVEL, ALL AS FURTHER DEFINED BY THE DECISIONAL LAW OF THIS STATE. (AFFECTS ALL OF THE PREMISES SUBJECT TO SUCH SUBMERGENCE). THERE IS NO CREEK LOCATED ON THE SURVEYED PROPERTY.

20-24. NOT REPORTED HEREIN.

NOTES

1. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF TRAMMELL CROW COMPANY, PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION AND FIRST AMERICAN TITLE INSURANCE COMPANY. THE RIGHT TO RELY ON OR USE THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PARTY WITHOUT EXPRESS RE-CERTIFICATION BY ESM CONSULTING ENGINEERS, L.L.C., AND/OR THE PROFESSIONAL LAND SURVEYOR WHOSE SEAL APPEARS HEREON.

2. THE LEGAL DESCRIPTION HEREON DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT DESCRIBED HEREIN. THERE ARE NO TITLE GAPS OR OVERLAPS BETWEEN THE LEGAL DESCRIPTIONS OF THE ADJOINING PROPERTIES. THE LEGAL DESCRIPTION FOR PARCEL A OVERLAPS THE LEGAL DESCRIPTION FOR PARCEL B BY APPROXIMATELY 0.5 FEET.

3. NO CORNERS HAVE BEEN SET IN CONJUNCTION WITH THIS SURVEY.

4. MULTIPLE ADDRESSES EXIST FOR THE SURVEYED PROPERTY:
ASSESSOR PARCEL NO. 0420211012 221 TODD ROAD NW, PUYALLUP, WA 98371
ASSESSOR PARCEL NO. 0420211002 325 TODD ROAD NW, PUYALLUP, WA 98371

5. FLOOD ZONE DESIGNATION FOR THE SURVEYED PROPERTY IS ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S NATIONAL FLOOD INSURANCE RATE MAP, PANEL NUMBER 333 OF 1375, PIERCE COUNTY, WASHINGTON, MAP NO. 5305300333E, EFFECTIVE DATE: MARCH 7, 2017.

6. THE SURVEYED PROPERTY DEPICTED AND DESCRIBED HEREON ENCLOSES A TOTAL AREA OF 268,785 SQUARE FEET (6.171 ACRES), MORE OR LESS.

7. A ZONING REPORT ENTITLED "PSE OPERATIONAL TRAINING CENTER - 221 AND 325 TODD ROAD NW PUYALLUP WA" PREPARED FOR TRAMMELL CROW COMPANY BY ZONING RESEARCH GROUP, REPORT NO. 23-00201 DATED FEBRUARY 6, 2023 WAS PROVIDED. THE CURRENT ZONING OF THE PROPERTY IS "M1 LIMITED MANUFACTURING ZONE" AS SET OUT ON PAGE 2 OF SAID REPORT. SETBACKS AND OTHER RESTRICTIONS REQUIRED IN THIS ZONE ARE SET OUT ON PAGE 4 OF SAID REPORT AND INCLUDE 20 FOOT MINIMUM FRONT SETBACK AND 10 FOOT MINIMUM STREET SIDE YARD SETBACK. THERE ARE NO REQUIRED SIDE OR REAR SETBACKS. IN ADDITION, THE MAXIMUM LOT COVERAGE IS 60% AND MAXIMUM BUILDING HEIGHT IS 50 FEET. FOR FURTHER INFORMATION SEE THE REFERENCED ZONING REPORT.

8. THERE ARE NO BUILDINGS ON THE SURVEYED PROPERTY.

9. THERE ARE NO MARKED PARKING STALLS ON THE SURVEYED PROPERTY.

10. THERE ARE NO DIVISION OR PARTY WALLS ON THE SURVEYED PROPERTY.

11. THE LOCATIONS OF UTILITIES SHOWN HEREON ARE DETERMINED BASED ON THE FOLLOWING METHODS:

A. FIELD LOCATION OF OBSERVED SURFACE STRUCTURES EVIDENT AT THE TIME OF FIELD SURVEY.
B. INFORMATION DELINEATED ON RECORD DRAWINGS FURNISHED BY OTHERS INDICATING REPORTED UTILITY LOCATIONS.
C. LOCATING OF CONDUCTIBLE AND NON-CONDUCTIBLE BURIED UTILITIES APPLIED PROFESSIONAL SERVICES, INC. (APS) ON DECEMBER 17TH AND DECEMBER 20TH 2022 UTILIZING THE AVAILABLE MAPS AND DRAWINGS.

12. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SURVEYED PROPERTY. FORMER BUILDINGS LOCATED WITHIN THE SURVEYED PROPERTY HAVE BEEN REMOVED.

13. ACCORDING TO THE CITY OF PUYALLUP SIX YEAR TRANSPORTATION IMPROVEMENT PROGRAM (TIP) 2018-2023 SUMMARY SHEET DOWNLOADED FROM THE CITY'S WEBSITE ON DECEMBER 6, 2022, THERE ARE NO PLANNED ROAD IMPROVEMENTS FOR THAT PORTION OF TODD ROAD NW WHICH ADJOINS THE SURVEYED PROPERTY.

14. THE SURVEYED PROPERTY ADJOINS THE PUBLIC RIGHT OF WAY OF TODD ROAD NW TO THE SOUTH AND 4TH STREET NW TO THE WEST.

15. THERE ARE NO OBSERVABLE CEMETERIES OR BURIAL GROUNDS.

16. THERE ARE NO PONDS, LAKES, SPRINGS, OR RIVERS ON THE SURVEYED PROPERTY.

17. ALL TIES ARE SHOWN EITHER ALONG THE PROPERTY LINE OR PERPENDICULAR TO THE PROPERTY LINE OF THE SURVEYED PROPERTY. OFFSET DISTANCES ARE SHOWN ON THE SAME SIDE OF THE PROPERTY LINE THAT THE OBJECT APPEARS.

18. UNDERGROUND LOCATION FIRM WAS NOT ABLE TO IDENTIFY UNDERGROUND UTILITIES WITHIN THE SURVEYED PROPERTY. SURFACE FEATURES INDICATE THAT THERE IS UNDERGROUND WATER.

19. OWNER IS PUGET SOUND ENERGY, INC.

SURVEY INSTRUMENTATION

SURVEYING PERFORMED IN CONJUNCTION WITH THIS RECORD OF SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES:

TWO LEICA SYSTEM 500 DUAL FREQUENCY GPS RECEIVERS, ONE 10" TOTAL STATION MAINTAINED TO MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY WAC-332-130-100

PROCEDURE USED : REAL TIME KINEMATIC AND RAPID STATIC GPS AND FIELD TRAVERSE WITH ACCURACY MEETING OR EXCEEDING THE REQUIREMENTS OF WAC-332-130-090

BASIS OF HORIZONTAL DATUM

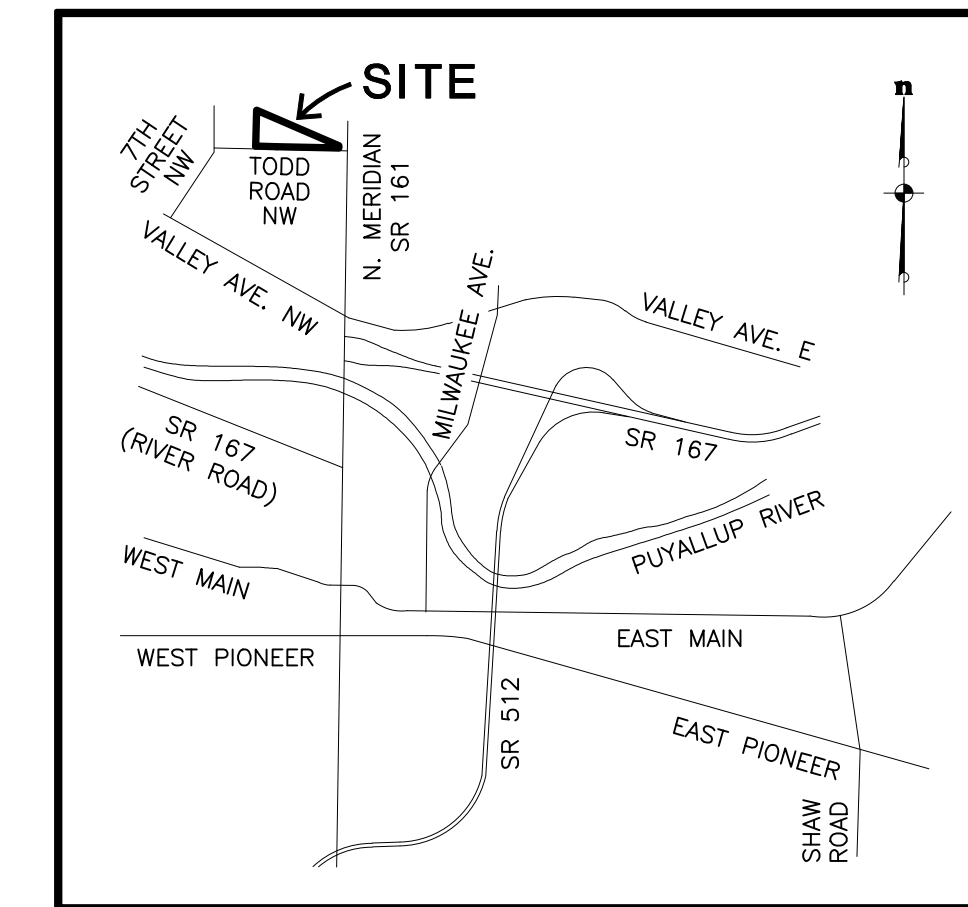
WASHINGTON COORDINATE SYSTEM (WCS) - SOUTH ZONE (BASED UPON NAD 83/2011) UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) IN DECEMBER OF 2022.

BASIS OF VERTICAL DATUM

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) IN DECEMBER OF 2022.

VICINITY MAP

NOT TO SCALE



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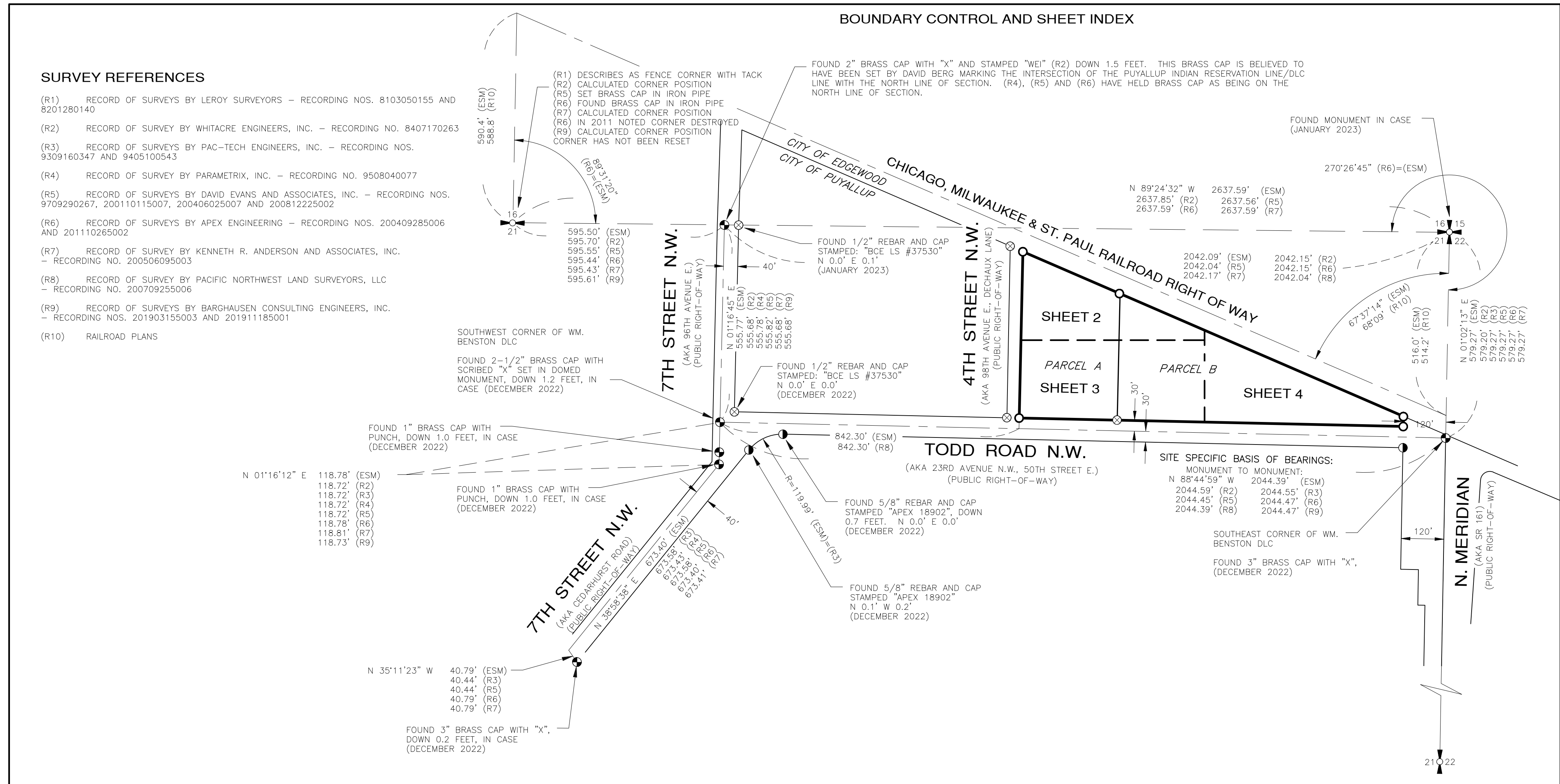
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20-24. NOT REPORTED HEREIN.

SURVEY REFERENCES

- (R1) RECORD OF SURVEYS BY LEROY SURVEYORS - RECORDING NOS. 8103050155 AND 8201280140
- (R2) RECORD OF SURVEY BY WHITACRE ENGINEERS, INC. - RECORDING NO. 8407170263
- (R3) RECORD OF SURVEYS BY PAC-TECH ENGINEERS, INC. - RECORDING NOS. 9309160347 AND 9405100543
- (R4) RECORD OF SURVEY BY PARAMETRIX, INC. - RECORDING NO. 9508040077
- (R5) RECORD OF SURVEYS BY DAVID EVANS AND ASSOCIATES, INC. - RECORDING NOS. 9709290267, 200110115007, 200406025007 AND 200812225002
- (R6) RECORD OF SURVEYS BY APEX ENGINEERING - RECORDING NOS. 200409285006 AND 201110265002
- (R7) RECORD OF SURVEY BY KENNETH R. ANDERSON AND ASSOCIATES, INC. - RECORDING NO. 200506095003
- (R8) RECORD OF SURVEY BY PACIFIC NORTHWEST LAND SURVEYORS, LLC - RECORDING NO. 200709255006
- (R9) RECORD OF SURVEYS BY BARGHAUSEN CONSULTING ENGINEERS, INC. - RECORDING NOS. 201903155003 AND 201911185001
- (R10) RAILROAD PLANS



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Date: 2/21/2024 8:50 AM

REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	ORIGINAL SURVEY FEBRUARY 2023	ZL

ESM CONSULTING ENGINEERS, LLC
3500 Valley St, Suite 2005
Federal Way, WA 98003

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(253) 838-6113
(253) 297-9900

Land Planning
Landscape Architecture

TRAMMELL CROW COMPANY
PUYALLUP TRAINING CENTER

CITY OF PUYALLUP
SITE PLAN

JOB NO.:	2110-002-022
DWG. NAME:	SITE-01
DESIGNED BY:	
DRAWN BY:	C.A.F./R.F.G.
CHECKED BY:	C.A.F.
DATE:	2023-02-21
DATE OF PRINT:	

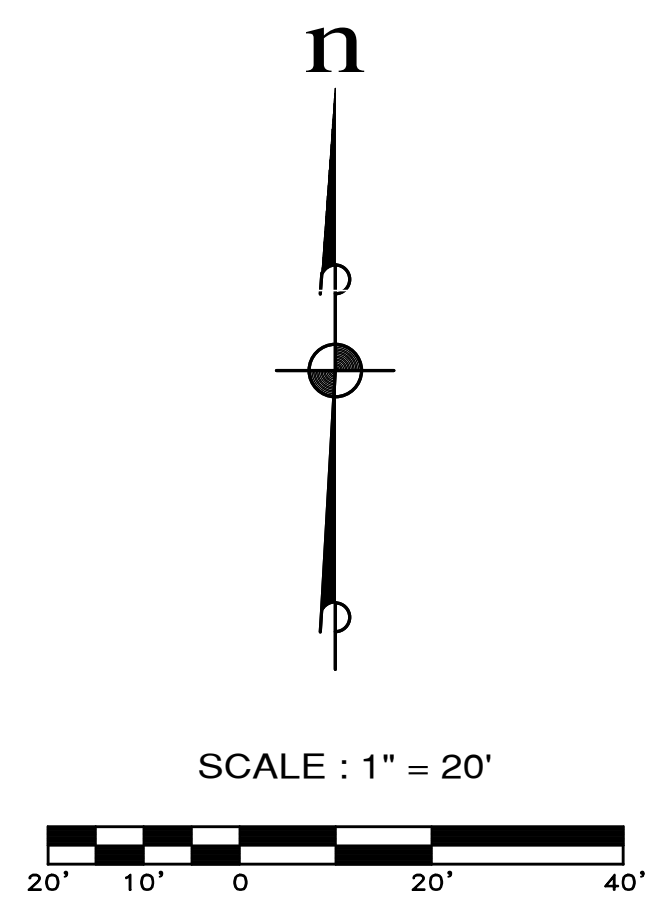
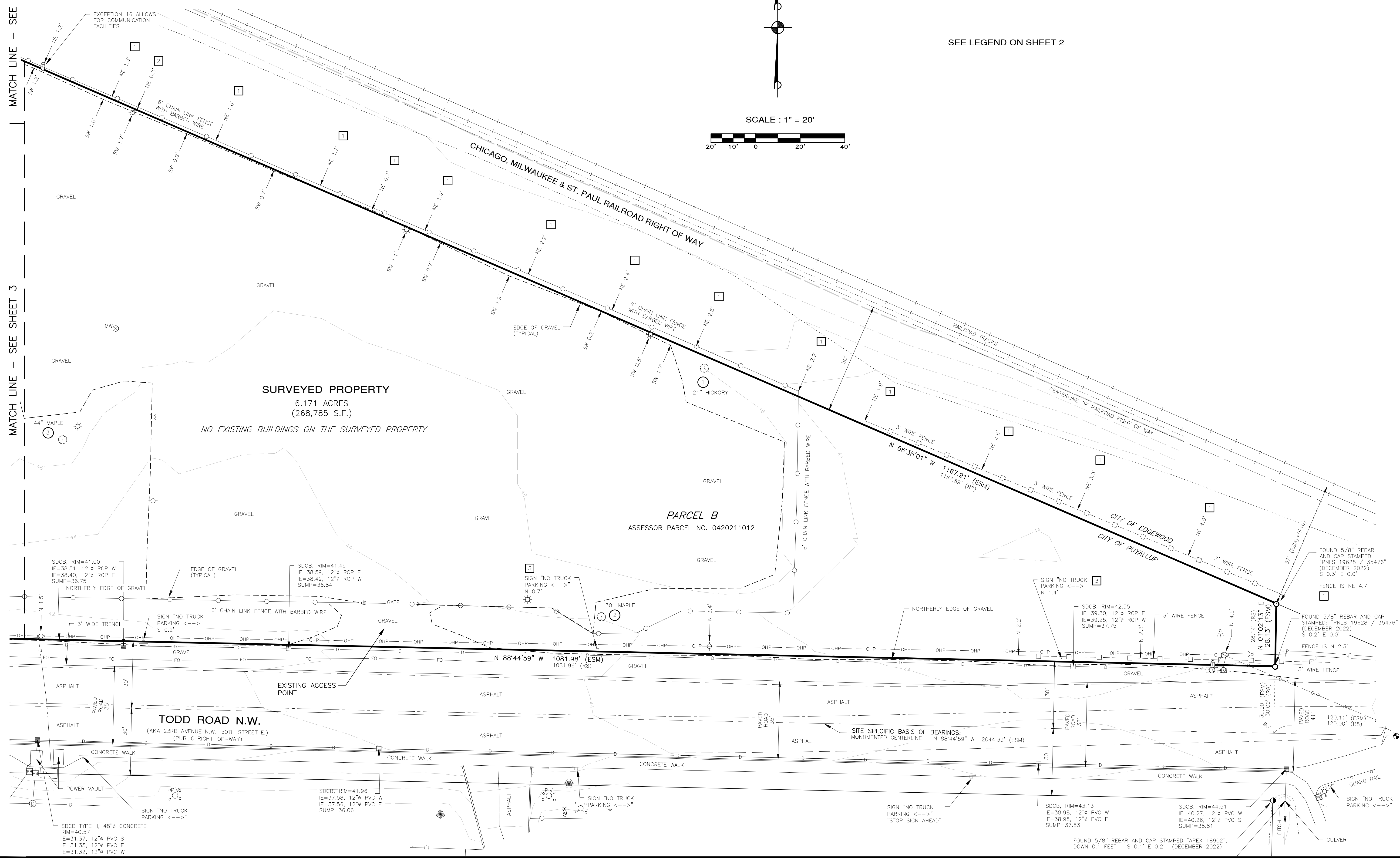
SITE-01

1 OF 4 SHEETS

A PORTION OF THE NE 1/4 OF THE NE 1/4 OF SECTION 21, T. 20 N., R. 4 E., W.M.

MATCH LINE - SEE SHEET 2

MATCH LINE - SEE SHEET 3



SEE LEGEND ON SHEET 2

SURVEYED PROPERTY
6.171 ACRES
(268,785 S.F.)
NO EXISTING BUILDINGS ON THE SURVEYED PROPERTY

PARCEL B
ASSESSOR PARCEL NO. 0420211012

TODD ROAD N.W.
(AKA 23RD AVENUE N.W., 50TH STREET E.)
(PUBLIC RIGHT-OF-WAY)

SITE SPECIFIC BASIS OF BEARINGS:
MONUMENTED CENTERLINE = N 88°44'59" W 2044.39' (ESM)

REVISIONS			
NO.	DESCRIPTION/DATE	BY	
0	ORIGINAL SURVEY FEBRUARY 2023	ZL	



ESM CONSULTING ENGINEERS, LLC
33400 8th Ave S, Suite 205
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Civil Engineering | Land Surveying | Project Management | Landscape Architecture
Lana Planning

TRAMMELL CROW COMPANY
PUYALLUP TRAINING CENTER
CITY OF PUYALLUP
WASHINGTON
SITE PLAN

JOB NO.: 2110-002-022
DWG. NAME: SITE-04
DESIGNED BY:
DRAWN BY: C.A.F./R.F.G.
CHECKED BY: C.A.F.
DATE: 2023-02-21
DATE OF PRINT:
SITE-04
4 OF 4 SHEETS

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