



City of Puyallup
Planning Division
 333 S. Meridian, Puyallup, WA 98371
 (253) 864-4165
 www.cityofpuyallup.org

Downtown Design Review Decision	Case Number: PLDDG20250104 DRHPB Meeting Date: February 19, 2026
NAME OF PROJECT: Seasons on Meeker Townhomes & Market Hall	
PROJECT DESCRIPTION: Proposed development of city-owned property. Project consists of mix of new construction and adaptive reuse of existing building. Phase I consists of eight (8) for-sale townhomes, a 7,500 square foot commercial market hall that will reuse most of the existing building onsite and create a new microbrewery and restaurant pods. The proposed project is in the CBD-Core zone and is subject to review and approval by the Board under the Downtown Design Guidelines. A Development Agreement with the City dictates portions of the design review elements.	

- APPROVED. Design is approved as proposed.
- APPROVED WITH CONDITIONS. Design is approved in accordance with conditions.
- DENIED. Do not issue the building permit or allow work. Design not approved.



DRHPB Representative Signature

02/19/2026

Date

EXPIRATION: In accordance with PMC 20.26.050, any design review decision granted by the DRHPB shall become null and void if not exercised within one year of the date of approval: February 19, 2027. If such design review decision is associated with a land use application, the one-year approval timeframe shall start from the date of land use permit approval. A design review decision shall be deemed exercised and remain in full force and effect when a complete building permit application, which is related to the board’s decision, has been submitted.

APPEALS: In accordance with PMC 2.29.080, appeals of board decisions shall be to the hearing examiner. Appeals shall be filed with the city clerk within 10 calendar days after the date of the board’s decision. A notice of appeal shall be in writing, signed by the appellant, accompanied by the required appeal fee (\$570), and shall contain the following information:

- (a) Appellant’s name, address and phone number;
- (b) A description of standing, as the applicant or applicant’s representative authorized to appeal;
- (c) Identification of the application and decision which is the subject of the appeal;
- (d) A brief statement of grounds for appeal; and
- (e) A statement of the relief sought.

ATTACHMENT(S):

- Staff Report
- DDG Analysis Table
- Design Review Application Package
- Development Agreement

FINDINGS OF FACT:

- 1) The development proposal is subject to Design Review and Historic Preservation Board (DRHPB) review due to the age of the building at 115 2nd St SE (constructed prior to 1949) and the CBD-Core zoning designation, consistent with 2.29.070 (1)(a)(ii).
- 2) The development project is subject to the following sections of the City of Puyallup Downtown Design Guidelines, as applicable to the proposal:
 - Part 1: Introduction
 - Part 2: Significant Buildings
 - Part 3: Building Design – Form & Massing
 - Part 4: Building Design – Façade
 - Part 5: Pedestrian Experience
- 3) The DRHPB hereby finds the proposal consistent with the Downtown Design Guidelines regarding the applicable sections as outlined in the staff report to the Board, given the following conditions, if any:
 - i) No conditions. Application approved as proposed.



City of Puyallup

Planning Division

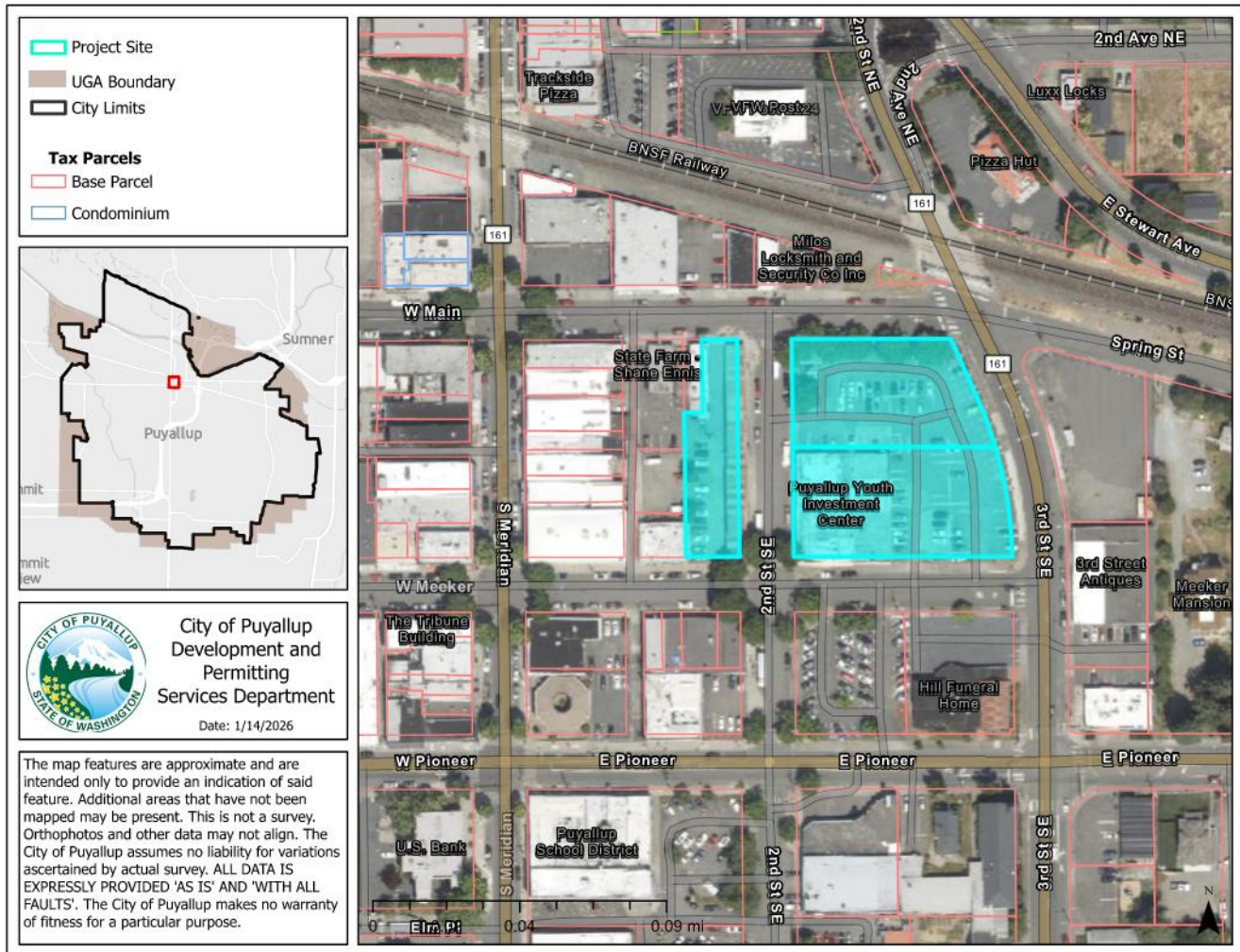
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To: Design Review and Historic Preservation Board (DRHPB)
From: Nabila Comstock, Associate Planner
RE: Seasons on Meeker - Project # PLDDG20250104
Date of memo: February 12, 2026
Date of meeting: February 19, 2026

VICINITY MAP



PROJECT OVERVIEW	
<p>Case #: PLDDG20250104</p> <p>Applicant: Chris Davidson, JCR Collective</p> <p>Staff Planner: Nabila Comstock, Associate Planner</p> <p>Property Owner: City of Puyallup</p> <p>Parcel ID: 7060000070; 7060000030</p> <p>Recommendation Options:</p> <ol style="list-style-type: none"> Approve the request as presented with one additional condition to meet the 60% transparency requirement along the southern market hall elevation if the Board sees necessary. 	<p>Proposal: Proposed development of city-owned property. Project consists of mix of new construction and adaptive reuse of existing building. Phase I consists of eight (8) for-sale townhomes, a 7,500 square foot commercial market hall that will reuse most of the existing building onsite and create a new microbrewery and restaurant pods.</p> <p>The proposed project is in the CBD-Core zone and is subject to review and approval by the Board under the Downtown Design Guidelines. A Development Agreement with the City dictates portions of the design review elements.</p> <p>Relevant History: Pre-app with Board held 12/18/25. No comments were received from the Board regarding the proposed design.</p>

APPLICABLE REGULATIONS AND GUIDELINES

Puyallup Municipal Code (PMC) section 2.29.070 (1) requires any new construction above specific thresholds in the Downtown Design Guidelines Applicability area to be reviewed and approved by the DRHPB.

The proposed project is subject to the following sections of the city’s Downtown Design Guidelines document:

- ✓ Part 2: Significant Buildings
- ✓ Part 3: Building Design – Form & Massing
- ✓ Part 4: Building Design – Façade
- ✓ Part 5: Pedestrian Experience

Please refer to the attached applicant’s design narrative and the staff review table for staff’s analysis of the project’s compliance with the applicable sections of the Downtown Design Guidelines.

DISCUSSION

The applicant has provided a detailed response demonstrating how the proposed eight-unit townhome and market hall developments meet the applicable requirements of the Downtown Design Guidelines (DDG). Staff finds the project to be generally consistent with the intent of the Guidelines, incorporating required design strategies related to massing, setbacks, façade articulation, pedestrian experience, and material quality, and is generally consistent with the intent of the DDG sections identified below.

Significant Buildings (DDG 2.B.1–2.B.4)

The project meets the applicability criteria for renovations, additions, and adjacent development for character structures. The existing commercial building at 115 2nd St SE was built prior to 1949 making it a character structure per the definition in the Guidelines. The structure is proposed to be converted to the market hall and brewery. The market hall proposes brick along the southern elevation to meet the Development Agreement requirement for primary ground floor siding material to be brick. The overall massing and proportion of the structure remains similar to the existing structure. The existing southeastern elevation is setback from the right-of-way but includes a large, covered area that comes up to the right-of-way, in line with the southwestern portion of the building. However, the proposal includes bringing the building closer to the right-of-way while retaining a 5’ setback. This

addition does not remove existing active space. The southeastern addition utilizes high quality materials such as smooth finish stucco and metal panels.

Adjacent to the market hall, the proposed new construction townhomes are designed to complement the renovated commercial building. The townhomes will also use brick as the primary ground-floor siding material, creating a cohesive streetscape. The townhomes establish a strong two-story base at 23'6", with a third story stepped back at 31' in height. This setback reduces the perceived scale and massing along the street and provides a smooth transition next to the market hall, reinforcing a pedestrian-friendly environment.

Building Form, Massing, and Transition (DDG 3.B.1–3.B.7)

The design responds to Part 3 of the Guidelines through a combination of upper-level step-backs, horizontal and vertical material articulation, and a pedestrian promenade. The design of both structures transition appropriately to pedestrian oriented streets, particularly along the southern property line adjacent to the newly proposed Meeker Festival Street, which intends to centralize the pedestrian experience.

The townhomes are modulated to create visual interest and reduce apparent massing. The first and second floors of the townhomes establish a well-defined base while the third floor, where proposed, is stepped back to further reduce perceived scale in relation to the adjacent market hall and pedestrian promenade. The maximum height at the second story is 23'6" and the maximum height of the third story is 31'0". Flat roofs with parapet articulation define individual units and maintain pedestrian friendly scale consistent with the surrounding development. Material transitions, including brick, metal panels, and varied window sizes, enhance the aesthetic.

To reduce the bulk and scale of the building and improve compatibility with the neighborhood, the market hall utilizes a combination of materials such as brick, smooth finish stucco, and varied glazing patterns. The market hall utilizes broad horizontal modulation with continuous parapets, recessed wall planes, and large glazed openings.

In addition, the project provides an outdoor public promenade between the townhomes and the market hall. The promenade is a central design feature of the development and meets the minimum civic-space requirement in DDG 3.B.7 such as seating areas, landscaping, and size requirements.

Façade Design and Materials (DDG 4.B.1–4.B.6)

The proposed townhomes incorporate a variety of high-quality materials including brick, metal paneling, and glass that meet the DDGs requirements for material durability, visual interest, and scale reduction. The façade is also articulated with depth and shadow to reduce perceived bulk and scale of the brickwork. Modulation is further enhanced through the usage of other contrasting materials such as metal paneling.

The market hall complements the townhomes with shared materials such as brick, glass, and metal paneling, especially along the southwestern elevations. The market hall utilizes larger façade shifts to define the building's character. The proposed reuse of the existing building includes the retention of the existing CMU and addition of CMU along each elevation that will be accented with a painted mural.

The guidelines sections chosen to be implemented are 4.B.4 – Façade Modulation and 4.B.5. – Window and Glazing Design. The townhomes reduce the perceived bulk and scale of the residential units while maintaining a "subtle commercial rhythm" consistent with the surrounding neighborhood context. The townhomes also provide a cornice line that reinforces a two-story base. The third-story setbacks are designed to soften the building's vertical presence and preserve the character of a two-story streetscape. Pedestrian entries are recessed beneath projecting second-floor bays, which create visual depth and sheltered entries.

The market hall proposes to remove the existing covered outdoor area and recessing portions of the street-facing façade, which results in breaking down the overall scale to create a dynamic relationship with solid wall elements and expanses of glazing.

The development also integrates a variety of window types and arrangements consistent with DDG 4.B.5, using grouped and individual windows, a variety of window sizes, storefront glazing at ground-level commercial spaces, and glass garage doors. These elements contribute to an active and visually engaging public realm.

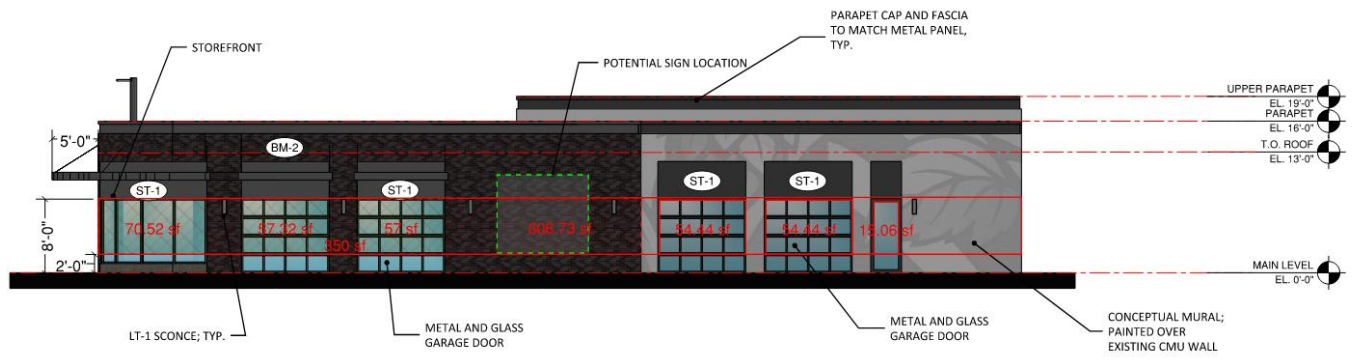
Pedestrian Experience and Street-Level Activation (DDG 5.B.1–5.B.9)

The project prioritizes pedestrian comfort through the pedestrian promenade accessed from E Meeker, transparency along storefronts, and wayfinding elements. Wayfinding elements include 5’0” metal canopies over storefront and primary entries, 3’6” canopies over townhome unit entries, and ground level transparency. Townhome entrances are accessed from the pedestrian promenade and setback 5’6” to create a private patio transition. The main market hall entrance is located along the pedestrian promenade as well and is sheltered by a large canopy that provides weather protection and wayfinding for visitors.

The public promenade features seating and landscaping to further promote wayfinding and a comfortable pedestrian environment. Sconce fixtures are proposed at and around each individual townhome entry to provide reinforce safety, establish residential-scale character as well as intermittently along the market hall perimeter to highlight entry locations.

The Guidelines require a minimum of 60% transparency within the pedestrian view plane for commercial and/or mixed-use developments. The proposed elevations for the southern elevation of the market hall do not meet the 60% requirement and are proposed at approximately 50% transparency. Although the southern elevation of the market hall is below the 60% requirement, the proposed design significantly improves upon existing conditions with storefront glazing and glazed overhead doors.

Market hall - proposed southern elevation



STAFF CONCLUSIONS

Overall, the applicant’s analysis demonstrates substantial compliance with the applicable Downtown Design Guidelines related to form, massing, façade composition, materials, and pedestrian experience. Staff finds that the proposal incorporates the required design strategies in a manner that supports a high-quality urban development consistent with the intent of the Guidelines and the goals for the CBD-Core zone.

Staff recommends approval with the following conditions:

- Amend the southern elevation of the market hall to achieve 60% transparency if the Board sees fit

Staff Review Table - P-21-#### - [Address]

Part 2. Significant Buildings			
Section	Section text	Complies?	Analysis/Notes
2.B.1.	Applicability and Requirements		
	1 This section applies to any proposed additions, alterations or renovations to the exterior of a character structure located within the City’s CBD, CBD-Core, or RM-Core zones.	Yes	
	2 This section applies to any proposed additions, alterations or renovations to the exterior of a character structure in downtown	Yes	
	3 This section applies to new buildings or renovation projects on a lot that is located on either side of the same street (of the same block), as one or more existing character structure or historic	Yes	
	4 When renovating an existing character structure, keep existing exterior materials and architectural elements, where possible.	Yes	
	5 Maintain design forms, elements, and materials consistent with the character structure. When new elements are applied, such as pedestrian weather protection, the new building element may be	Yes	
	6 Identify and incorporate dimensions and/or forms of the character structure for use in any new addition(s) to the structure.		
	7 Maintain and reinforce the historic character by using appropriate materials, patterns, forms, and detailing of all elements of the	Yes	
	8 Identify 2-3 architectural elements or dimension lines that tie older, existing buildings to new buildings.	Yes	
	9 Provide a transition between old and new buildings by accepting some shared building elements and architectural features.		
Section	Section text	Complies?	Analysis/Notes

Staff Review Table - P-21-#### - [Address]

<p>2.B.2.</p>	<p>Renovations. Maintain the overall character and scale of character structures, while updating projects to current code requirements. Consider the following strategies:</p> <ol style="list-style-type: none"> 1. Maintain overall massing and proportions; 2. Preserve existing form modulation; 3. Preserve existing façade materials or, when necessary, use high quality and complimentary materials; 4. Maintain existing roof forms; 5. Restore or reuse historic storefront design elements; and/or 6. Restore or reuse historic windows, if feasible. 	<p>Yes</p>	<p>Market Hall Maintains overall massing and proportions Preserves existing façade materials and where it does not, uses high quality materials (brick). Southeast corner of the building is setback from ROW by 5', compared to existing corner which is set back further with a covered area that projects to the ROW.</p>
<p>2.B.3.</p>	<p>Additions. Reflect and reinforce the overall historic character when adding new square footage to the side, rear, or top of an existing character structure. Consider the following strategies:</p> <ol style="list-style-type: none"> 1. Identify and incorporate dimensions and datums of the character structure for use in any new addition(s) to the structure; 2. Maintain overall scale and proportions of character structures; 3. Minimize visual impact to existing structures by setting back new upper stories and/or rooftop additions; 4. Reflect design forms and/or elements of the existing façade, such as weather protection, bay windows, roof or balcony projections and/or recessed elements in the addition; and/or; 5. Use high quality materials consistent with the character structure, particularly on street-facing facades and facades adjacent to a character structure. 	<p>Yes</p>	<p>Market Hall Maintains overall massing and proportions Preserves existing façade materials and where it does not, the uses high quality materials (brick) along ground floor which mirrors the proposed townhomes that also propose a brick faced facade Weather protection, windows, and glass garage doors proposed, reflects existing commercial feel.</p>

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<p>2.B.4.</p>	<p>Adjacent Development. When renovating or building new construction on a lot that is located on either side of the same street (of the same block), as one or more existing historic building or character structure, consider how best to reflect and reinforce the overall historic character of the block. Consider the following strategies:</p> <ol style="list-style-type: none"> 1. Identify and incorporate dimensions and datums of the character/historic structure for use in any revision or new structure; 2. Reference the overall scale and proportions of character/historic structures in massing and/or façade articulation; 3. Where adjoining or abutting a character/historic structure, minimize visual impact to existing structures by setting back new upper stories and/or rooftop additions; 4. Use high quality materials that complement the character/historic structure, particularly on street-facing facades and facades adjacent to a character structure. 	<p>Yes</p>	<p>Townhomes Primary ground floor material is brick, same as the ground floor material for the southwestern portion of the market hall. Townhome construction establishes a two-story base at 23'6", with a stepped back third-story at 31'0". The upper-story is setback to reduce scale along the streetscape.</p>
<p>Part 3. Building Design - Form and Massing</p>			
<p>Section</p>	<p>Section text</p>	<p>Complies?</p>	<p>Analysis/Notes</p>
<p>3.B.1</p>	<p>Applicability and Requirements</p>		

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	<p>1 This section applies to: a. All new projects 10,000 square feet or larger. b. Renovation projects defined as buildings 4,000 square feet or greater, before or after construction. c. All new buildings or additions greater than three (3) floors or 35 feet in height. d. All new additions or new buildings on a lot that is located on either side of the same street (of the same block) as one or more historic and/or character structures. e. All new parking structures. f. All new buildings within transition areas, abutting or across from residential zones.</p>	<p>Yes</p>	
	<p>2 New buildings 10,000 square feet or larger: a. Must comply with Site and Neighborhood Context (3.B.2) and Exterior Public Space, Interior Galleria or Arcade Space (3.B.7), as well as a minimum of two additional guideline sections from this chapter. b. Must provide a transition to smaller adjacent buildings by using a combination of setbacks, incorporating smaller forms, and/or providing varied massing elements in the larger building.</p>	<p>Yes</p>	
<p>Section</p>	<p>Section text</p>	<p>Complies?</p>	<p>Analysis/Notes</p>

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<p>3.B.2</p>	<p>Site and Neighborhood Context. Determine appropriate building form and/or modulation of building massing for the site, taking into consideration:</p> <ol style="list-style-type: none"> 1. Size of lot; 2. Scale of lot relative to adjacent lots; 3. Scale of neighboring buildings; 4. Proximity to character structures and/or historic buildings; 5. Adjacency to pedestrian oriented streets; <ol style="list-style-type: none"> a. Relationship to existing open spaces, and whether additional ground level and/or upper level setbacks could be warranted. 6. Relationship to transition zones and whether additional upper level setbacks might be warranted; and 7. Relationship to solar access and potential of shadow impacts. 	<p>Yes</p>	<p>Urban infill parcel located at the edge of the downtown core. Proposed townhome development and market hall consider the adjacent developments, which are primarily one 1-2 story masonry and concrete commercial buildings.</p> <p>East Meeker is being transformed into festival street as part of a capital engineering project. BNSF Railway is north of the site.</p>
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<p>3.B.3</p>	<p>Building Scale and Bulk. To reduce the scale of large buildings relative to their context, consider the articulation of building form with all or some of the following strategies:</p> <ol style="list-style-type: none"> 1. Break a large building into smaller masses, elements, and forms using horizontal or vertical offsets and/or changes in materials. <ol style="list-style-type: none"> a. Articulation of ‘base’, ‘middle’ and ‘top’ may be used to express distinct areas of a building. b. Upper floors may be setback from lower floors or a ‘base’ that scaled to relate to neighboring context. c. Setbacks of the building ‘footprint’ or perimeter may be introduced to express a distinct building mass. d. Bay windows and/or recessed/extended porches may be used to break up the building mass. 2. If larger massing is necessary to achieve development goals, changes in materials and variation in windows and other devices are required to reduce the scale of the larger building mass. <ol style="list-style-type: none"> a. See Sections 3.B.4 (Height), 3.B.5 (Setbacks), and 3.B.6 (Modulation of Building Form) for design strategies that may reduce perceived building mass. 	<p>Yes</p>	<p>Townhomes Modulated to create visual interest, reduce apparent massing. First two stories establish a base, upper floor stepped back to reduce perceived scale. Entry ways are setback, variety of window sizes are proposed, material transitions provided to break up mass. Entries setback 5'6" to create a private patio transition.</p> <p>Market Hall Combination of material types (brick, CMU, smooth finish stucco, glazing) used throughout to reduce scale and bulk. Parapet line unified, establishes continuous cornice.</p>
<p>3.B.4</p>	<p>Height. Consider stepping down height of a new building where appropriate in relation to:</p> <ol style="list-style-type: none"> 1. Residential and Transition zones; 2. Adjacent historic and/or character structures; 3. Adjacent civic spaces; 4. Shadow impacts on pedestrian streets. 	<p>Yes</p>	<p>Townhomes The maximum parapet height at the third story is 31', while the two-story parapet height is 23'6". The two northernmost units and the southernmost unit are proposed as two-story units to minimize visual impact. Three-story units positioned away from the public right-of-way to minimize visual impact.</p> <p>Market Hall - N/A, one story with max. height of 20'</p>

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<p>3.B.5</p>	<p>Setbacks.</p> <ol style="list-style-type: none"> 1. Step back a new building where appropriate in relation to: <ol style="list-style-type: none"> a. Residential zones, to reduce scale of larger buildings relative to smaller buildings; b. Adjacent to historic and/or character structures; c. Adjacent to civic spaces to reduce shadows. 2. Any building greater than three (3) floors or 35 feet in height (whichever is less) will: <ol style="list-style-type: none"> a. Provide a minimum 5-foot setback and a maximum 10-foot setback at the story where 30 feet in height is reached and for all stories above. b. The setback can incorporate exterior porches, balconies or other usable exterior spaces on public street frontages. 3. A building with a height greater than the street right-of-way width it fronts upon should incorporate a setback either at the second level or top level of the building in order to reduce the sense of mass of the building. 	<p>Yes</p>	<p>Townhomes The maximum parapet height at the third story is 31', while the two-story parapet height is 23'6". The two northernmost units and the southernmost unit are proposed as two-story units to minimize visual impact. Three-story units positioned away from the public right-of-way to minimize visual impact.</p> <p>Market Hall - N/A, one story with max. height of 20'; this portion located on north side of building away from the ROW</p>
<p>3.B.6</p>	<p>Modulation and Building Forms</p>	<p>Yes</p>	<p>Townhomes Horizontal patterns reinforced through two-story base expression, third-story setbacks, and façade articulation using projections and recesses. Flat roofs with parapet articulation define individual units and maintain a pedestrian-friendly scale consistent with surrounding develop and and the market hall.</p> <p>Market Hall Broad horizontal modulation with continuous parapets, flat roofs, recessed wall planes, and large glazed openings reduce massing. Canopies and articulated corners highlight entry points and support wayfinding, while shared materials such as brick on the ground floor of both structures, create a cohesive transition.</p>

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<p>1</p>	<p>Horizontal Patterns Reinforce horizontal character of adjacent structures with all or some of the following strategies: a. Building height b. Ground-level and/or upper level setbacks c. Scale and/or proportion of floor plates d. Roof forms and/or roof articulation.</p>	<p>Yes</p>	<p>See summary analysis above</p>
<p>2</p>	<p>Corner Buildings This design criterion is particularly applicable at important pedestrian intersections. While it may not be appropriate for all buildings to emphasize/articulate their corners, consider relationship of building to city block. a. Use prominent visual/physical form(s) to assist with wayfinding in the urban environment. b. Reinforce larger, important civic spaces and places through the articulation of building forms, elements, and massing.</p>	<p>Not applicable</p>	<p>N/A</p>
<p>3</p>	<p>Roof Articulation Incorporate a flat roof (less than 3:12 pitch) with cornice or parapet articulation in the overall building form. a. Secondary and/or ancillary building elements can have pitched, arched/bow roofs, and/or gable forms. b. Flat roofs are optional for buildings in transitional zones.</p>	<p>Yes</p>	<p>See summary analysis above</p>

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	<p>4 Development Adjacent to Historic or Character Structures Provide a transition between old and new buildings by incorporating some shared building elements and architectural features. New, larger projects have the following options for establishing a transition to adjacent or abutting older and smaller structures.</p> <p>a. Detailing of new projects should incorporate 2-3 forms, materials, details, and/or other building elements present in adjacent transitional zones to achieve consistency along street frontages.</p> <p>b. Incorporate horizontal or vertical dimensions, and/or proportions that reference or reflect older existing buildings within the block.</p> <p>c. Incorporate scale elements in the new building form(s) and/or elements that can be seen in older existing buildings within the downtown core.</p>	Yes	See summary analysis above
3.B.7	Exterior Public Space, Interior Galleria or Arcade Space	Yes	Pedestrian promenade is central design feature of development. Access from E Meeker festival street and located between the townhomes and market hall. Seating and landscaping provided to create lively civic outdoor environment.
	1 Create active, pedestrian friendly civic gathering spaces adjacent to large buildings for seasonal use and associated building activities.		See summary analysis above
	2 Enhance and expand upon pedestrian weather protection through the inclusion of seating areas and adjacent landscape features to create a lively civic outdoor environment.		See summary analysis above
	3 Arrange massing to offset increased height where feasible. Do not place civic spaces on the north side of multi-story, large building projects.		See summary analysis above
	4 For all new or renovation projects of 10,000 square feet or greater (before or after construction), provide 5-10% of the building's total gross square footage of retail and commercial space to serve as exterior public plaza, expanded sidewalk zone(s), interior arcade, or galleria space.		See summary analysis above

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	5 Provide for midblock pedestrian walkways at full-block developments that are 200'x200' or larger.		See summary analysis above
Part 4. Building Design - Façade			
Section	Section text	Complies?	Analysis/Notes
4.B.1	Applicability and Requirements	Yes	
	1 Required at all new street-facing elevations, and revisions of existing façades, as applicable by section 1.B. For character structures, see Part 2.	Yes	
	2 A minimum of two strategies are to be used from the list below, including ones defined under Façade Composition, Horizontal Articulation, Modulation, Window Design, Materials and Façade Features.	Yes	
	3 New buildings larger than 10,000 square feet are to comply with Façade Composition (4.B.2) and Façade Materials (4.B.6), as well as a minimum of two additional guideline sections from this chapter.	Yes	
	5 New buildings containing only residential uses shall consider how building entry, unit entries, unit windows and exterior amenities spaces inform the street-facing façade. a. Provide defined paths to building entry and/or unit entries from public sidewalk. b. Ground-floor units whose entry faces a public right-of-way or pedestrian sidewalk, shall have a defined private entrance (e.g. recessed, covered or raised as a stoop). c. Units with ground-floor windows or relites facing a public right-of-way shall consider lines of sight and facade design opportunities to enhance unit privacy. d. Upper-floor units which include street-facing exterior spaces or decks shall consider how the following architectural components contribute to the façade composition: recesses, projections, railings, and/or privacy screens.	Yes	
Section	Section text	Complies?	Analysis/Notes

Staff Review Table - PLDDG20250104 Seasons on Meeker

<p>4.B.2</p>	<p>Façade Composition. Create a complimentary façade composition, particularly at street-facing facades. Consider all or some of the following strategies described in more detail throughout these design guidelines:</p> <ol style="list-style-type: none"> 1. Setbacks and modulation of building form (see 3.B.5 and 3.B.6) 2. Articulation of horizontal patterns and datums (see 4.B.3) 3. Modulation of building façade (see 4.B.4) 4. Windows – scale and sizes, distribution and groupings, and detailing (see 4.B.5) 5. Façade Materials and Details (see 4.B.6) 6. Rhythm or Weather Protection (see 5.B.5) 7. Signage (see 5.B.7) 	<p>Yes</p>	<p>Townhomes Facade composition balances material layering, projection, and recesses. Brick masonry is the primary siding material and is contrasted by metal paneling and glass. Façade is articulated with depth and shadow with porch canopies and recessed entries.</p> <p>Market Hall Market hall incorporates broader facade shift with material variation (i.e. Brick, CMU, smooth finish stucco, glass).</p>
<p>4.B.4</p>	<p>Façade Modulation (Façade scale)</p> <ol style="list-style-type: none"> 1. Modulation is defined as the design manipulation of larger building elements, in order to: <ol style="list-style-type: none"> a. Reduce scale of large building facades or reinforce a building scale appropriate to the adjacent street frontage and neighboring buildings; b. Reinforce the character of a building’s mass for form; and c. Add interest along the street. 2. Consider the use of all or some of the following architectural forms or elements: <ol style="list-style-type: none"> a. Façade recesses, such as porches or recessed decks or balconies; b. Façade projections, such as bay windows; c. A variety of window sizes; or d. Roof cornice articulation. 	<p>Yes</p>	<p>Townhomes Cornice line reinforces a two-story base to preserve the character of a two-story streetscape. Pedestrian entries are recessed beneath projecting second-floor bays, which creates visual depth and sheltered entry points.</p> <p>Market Hall Proposes to remove the former covered outdoor area and recessed portions of the building (southeast corner) to create more dynamic relationship between solid wall elements and expansive glazing. Intends to enhance visual variety and transparency along E Meeker street frontage.</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

<p>4.B.5</p>	<p>Window and Glazing Design Enhance the building façade design with window layout. 1. Recommended at all street-facing facades. 2. Create an interesting rhythm and/or pattern of windows. Consider the following strategies: a. A variety of window sizes and types (e.g. fixed vs. operable); b. Incorporate individual and/or groupings of windows to create horizontal or vertical articulation; c. Consider recessed windows and/or projecting bay windows to add shadows and texture; and d. Consider high-quality detailing, integration of windows with siding and/or trim.</p>	<p>Yes</p>	<p>Townhomes Glazing strategy intended to reflect commercial character of the streetscape while maintaining residential identity. Incorporates large window openings on first and second floor, combines fixed and operable casement windows for variation and rhythm within the facade.</p> <p>Market Hall Preserves large storefront openings characteristic of the original commercial facade. Proposes variety of window and glass door sizes along the south and eastern elevations.</p>
<p>4.B.6</p>	<p>Façade Materials Enhance building facade appearance and visually reduce building bulk by incorporating an appropriate variety of high-quality materials. This guideline should be emphasized at all elevations, particularly street-facing facades. Consider all or some of the following strategies:</p>	<p>Yes</p>	<p>Townhomes Light gray brick provides visual grounding at pedestrian level and mirror the adjacent market hall ground floor dark brick siding. Façade includes metal panel accents at both upper and lower levels of the townhomes to break down the building's scale.</p> <p>Market Hall Incorporates new materials (brick, smooth stucco, glass) and existing CMU. Brick masonry and CMU support the commercial heritage of the existing structure and make up the bulk of the building material, while dark-tinted stucco accents provide contrast and texture. Portions of the CMU wall are to be enhanced with a mural.</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

	<p>1 Composition – use a combination of materials to create an interesting composition.</p> <ul style="list-style-type: none">a. A minimum of two different materials is required, each a minimum of 30% of the façade.b. Consider these elements:<ul style="list-style-type: none">i. Scale – use a combination of materials to reduce the scale of large facadesii. Texture – incorporate materials that create shadow linesiii. Detailingiv. Color	<p>Yes</p>	<p>See summary analysis above</p>
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Staff Review Table - PLDDG20250104 Seasons on Meeker

<p>2</p>	<p>High quality materials – use natural high quality materials, in all building elevations that face a street or alley.</p> <ul style="list-style-type: none"> a. High quality materials are required at ground floor level facing commercial areas and/or pedestrian oriented streets. b. Where building is adjacent to a historic and/or character structure, align the height of the high quality materials with the height of the adjacent development pattern. For example, where a historic structure is two or three stories, apply high quality materials to this height. c. At all street-facing facades, a minimum of 60% of the area of the elevation plane at all upper level floors are required to be high quality materials. d. All street-facing materials must be installed such as a way that they will wear well over time with normal maintenance. e. High quality materials are defined as natural materials that convey permanence, and include: <ul style="list-style-type: none"> i. brick and stone masonry, ii. glass, iii. cast in place concrete, iv. pre-cast concrete panels, v. metal cladding, including flush panel, corrugated, and lap sidings vi. concrete masonry units, including smooth, ground-face, and split-face, vii. wood siding and wood panels, viii. through-color fiber cement, ix. phenolic siding products, x. cement plaster stucco with appropriate control joints 	<p>Yes</p>	<p>See summary analysis above</p>
<p>3</p>	<p>Where high quality materials don't wrap side elevations, propose thoughtful transitions between various siding strategies.</p>	<p>Yes</p>	<p>See summary analysis above</p>
<p>4</p>	<p>Maintain and reinforce the character of nearby historic and character structures by incorporating appropriate scale, materials, patterns, forms, and detailing into elements of the new building.</p>	<p>Yes</p>	<p>See summary analysis above</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

	5 Enhance ground-level street-facing facades with high-quality vandal resistant materials, where possible.	Yes	See summary analysis above
Part 5. Pedestrian Experience			
Section	Section text	Complies?	Analysis/Notes
5.B.1	Applicability and Requirements	Yes	
1	This section applies to all new construction and additions.	Yes	
2	Façade improvements to buildings located on pedestrian oriented streets are subject to sections 5.B.3 and 5.B.5.	Yes	
4	New buildings with ground-floor residential units: a. Private exterior amenity spaces or yards facing a public right-of-way or sidewalk shall provide a visual buffer using landscaping and/or decorative fencing or trellis to provide a privacy buffer which is still interesting and engaging of the street. b. Unit windows facing a public right-of-way, shall consider lines of sight and design opportunities to enhance unit privacy as well as pedestrian experience, including i. Changes in elevation so units are not right ‘at grade’, ii. Outdoor spaces, e.g. porches or patios; iii. Screening, e.g. planters, benches, or trellises; and iv. Landscaping and hardscaping	Yes	
Section	Section text	Complies?	Analysis/Notes
5.B.2	Wayfinding Elements and Strategies. Recommended at all street-facing facades.	Yes	Project integrates large canopies, paving patterns, pedestrian promenade, and lighting to provide wayfinding. Promenade features seating and landscaping to promote wayfinding. Canopies over entrances to townhome units and the market hall direct visitors to entrances.
1	Consider some or all of the following strategies: a. Special building massing forms b. Façade composition c. Weather protection at primary entry d. Lighting e. Signage	Yes	See summary analysis above

Staff Review Table - PLDDG20250104 Seasons on Meeker

	2 Use prominent visual/physical form(s) to assist with wayfinding in the urban environment.	Yes	See summary analysis above
	3 Reinforce larger, important civic spaces and places through the articulation of building forms, elements, and massing.	Yes	See summary analysis above
	4 Reinforce the horizontal character of abutting structures using cornice and weather protection elements.	Yes	See summary analysis above
	5 Signage bands or stand-alone signs can be standard flat sign panels or incorporated into a more artistic logo created through the use of sculptural elements (also refer to City of Puyallup Sign Code).	Yes	See summary analysis above
5.B.3	Ground Level Transparency. Provide safety and a warm and inviting atmosphere.	Yes	
	1 Encouraged at new commercial and retail spaces at ground-level street-facing facades on major street frontages.	Yes	
	2 Encouraged at building entries and doorways for safety and an open and inviting atmosphere	Yes	
	3 Provide glazed doorways where appropriate.	Yes	
	4 A minimum of 60% transparency within the pedestrian view plane should be achieved for commercial and/or mixed-use developments.	Needs Board Review	The Market hall is not meeting this requirement - the current proposal is at about 50% transparency. Though the proposal does not meet the 60% requirement, this proposed elevations brings the existing view plane closer to conformance than the existing structure currently does.
	5 A minimum of 30% transparency within the pedestrian view plane should be achieved for ground floor residential buildings.	Yes	
5.B.4	Building Entries. Enhance public safety while reducing opportunities for vandalism. Building entries include commercial building entries, residential building entries, garage entries, fire exits, and service/utility access. This strategy is required at all street-facing façades.	Yes	<p>Townhomes Primary entries are accessed from the pedestrian promenade. Entries are set back 5'6" to create private patio transition with landscaping to define and screen space from public areas</p> <p>Market Hall Main entry located along pedestrian promenade. Large canopy provides weather protection and clear wayfinding for visitors. Entrance to the market hall is adjacent to E Meeker, which will be a pedestrian oriented festival street.</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

	<p>1 Align primary building entries with pedestrian points of access. Consider transit stops, cross walks, public open spaces, and/or building design (massing and façade) strategies.</p>		See summary analysis above
	<p>2 Avoid locating garage entries and building services (utility and/or trash rooms) along the primary pedestrian façade.</p>		See summary analysis above
	<p>3 Primary building entries and lobbies: a. Provide defined paths to building entry from public sidewalk. b. Consider how façade design, weather protection, lighting, signage, and site design (hardscaping and landscaping) contribute to building entry experience. c. Building entries and lobbies should include high quality materials.</p>		See summary analysis above
	<p>4 Residential unit (or building) entries should provide a visual transition from the sidewalk including: a. Changes in elevation, e.g. stoops; b. Outdoor spaces, e.g. porches or patios; c. Screening, e.g. planters, benches, or trellises; and d. Landscaping and hardscaping</p>		See summary analysis above
	<p>5 Provide screens, rolling doors, or other devices to reduce or eliminate small recessed/sheltered areas at non-public doorways where loitering and/or vandalism could occur.</p>		See summary analysis above
	<p>6 Incorporate Crime Prevention Through Environmental Design (CPTED) principles in the design of a building’s ground level and surrounding site areas. Principles include: “Eyes on the street” for public surveillance, direct sight lines to building or garage entries, use of glazing in stairs and elevators, use of a variety of pedestrian and building lighting, minimize physical obstructions (over 30 inches tall or wide), eliminate dark garage or doorway refuge areas, and/or provide clean and inviting public spaces.</p>		See summary analysis above

Staff Review Table - PLDDG20250104 Seasons on Meeker

<p>5.B.5</p>	<p>Pedestrian Weather Protection. Improve the downtown pedestrian experience through weather protection. Weather protection can be achieved by use of a canopy or awning as described in the guidelines below.</p>	<p>Yes</p>	<p>Townhomes Along the south, street-facing façade, a 5'0" metal canopy is proposed to extend over the storefront and primary entries. Each unit entry includes a 3'6" canopy and provides a residential scales transition.</p> <p>Market Hall The market hall provides 5'0" metal canopy over the main southern entrances and storefront. The canopy design is aligned with the aesthetic of neighboring buildings.</p>
	<p>1 Pedestrian weather protection required at: a. Adjacent to transit stops b. Properties located in the CBD-Core zone. c. At new primary building entries and at new ground floor commercial d. All new nonresidential projects located outside CBD-Core are encouraged to incorporate pedestrian weather protection.</p>		<p>See summary analysis above</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

	<p>2 Proposed weather-protection should meet the following strategies:</p> <ul style="list-style-type: none"> a. High quality materials b. 5-foot minimum depth. Breaks or notches may be necessary to accommodate street lights, light poles, etc. c. Continuous sidewalk coverage should be utilized to the furthest extent possible for properties located in the CBD-Core zone. d. Canopies and awnings should be designed to a size, shape and module to fit and enhance the building’s articulation and fenestrations. They should not obscure or cover ornamental or architectural features of the building (i.e., rooflines, arches, cornice, banding, etc.). e. Canopies: <ul style="list-style-type: none"> i. Canopies should be constructed using high quality materials such as steel and/or other metals. f. Awnings: <ul style="list-style-type: none"> i. Awnings should have open ends and bottom, called “shed awnings”, to minimize obstructed views of the storefront and building features. ii. Architectural fabric, in a matte finish suitable for outdoor use, should be used and cover the front of the awning frame. Awnings should be UV-resistant. Awnings made of shiny or high-gloss materials are discouraged. g. Transit Stops: When transit stops are abutting the site, provide seating and weather protection as part of the facade and/ or sidewalk design (coordinate with Pierce Transit). 		<p>see summary analysis above</p>
<p>5.B.6</p>	<p>Lighting</p> <ul style="list-style-type: none"> 1. Provide lighting to create an inviting and safe pedestrian environment. 	<p>Yes</p>	<p>Sconce lighting proposed for townhomes and market hall to provide safety, illumination, and enhance entry locations.</p>

Staff Review Table - PLDDG20250104 Seasons on Meeker

<p>5.B.7</p>	<p>Signage 1. Signage bands or standalone signs can be standard flat sign panels or incorporated into a more artistic logo created through the use of sculptural elements (also refer to City of Puyallup Sign Code, PMC 20.60).</p>	<p>Yes</p>	<p>Market Hall Project proposed to have primary signage along E Meeker and additional signage oriented toward the pedestrian promenade.</p>
<p>5.B.8</p>	<p>Blank Wall Treatment – Street Facing Facades. Improve the pedestrian experience by reducing the visual impact of blank walls through the use of embellishment, particularly along sidewalks.</p>	<p>Yes</p>	
	<p>1 Avoid blank walls along sidewalks and pedestrian areas.</p>	<p>Yes</p>	
	<p>2 Incorporate multiple materials and a varied layout within any facades containing walls without modulation over 30 feet in length or 400 square feet in area to create visual interest, choose one: a. Variety of material types (2 minimum), color, texture and/or accents. Accent materials must cover a minimum of 20% of the area of the wall and may include glazing, relief artwork, or painted murals; or b. Painted murals for firewalls or party walls; or c. Vine wall or evergreen screen contained within a 3 feet minimum width planting bed. Metal or wood vine structure (trellis or wire/vine system) should be at least 7 feet high placed every 10 feet on center along length of wall. Each bed must be irrigated and planted with climbing vines and groundcovers sufficient to cover the trellis within three (3) years.</p>	<p>Yes</p>	<p>Townhomes No blank walls proposed along sidewalks or pedestrian areas</p> <p>Market Hall Painted murals proposed along northern and eastern facade</p>



Downtown Design Review

City of Puyallup
Development & Permitting Services
333 S. Meridian
Puyallup, WA 98371
Phone: 253-864-4165
www.cityofpuyallup.org

Please use this form to apply for design review of projects located within the CBD, CBD-Core, RM-Core zones, or RM-20 zone within the Downtown Planned Action Area zones. Design review is required for new buildings and may be required for exterior alteration, redevelopment or addition to existing buildings. Please reference Puyallup Municipal Code Section 20.26.050 and Downtown Design Guidelines (DDG) Part I – Section I.B.I. for applicability and exemptions. The DDG document is available for download on the Planning Services webpage of the city's website: www.cityofpuyallup.org.

If you have any questions, please contact the Development Services Center at (253) 864-4165. Please note that incomplete application packets may cause a delay in the review of your application.

Submittal Checklist:

1 electronic copy of entire submittal package which includes:

1 copy of completed application form, signed

1 copy of vicinity map

1 copy of project site plan

1 copy of elevation drawings

1 copy of project landscape plan (if applicable)

Written Narrative from project architect

Application Fee:

Small Project: \$65.00
(awnings only)

Medium Project: \$130.00
(façade changes to existing structure)

Large Project: \$260.00
(new buildings)

Rev: 7/2020

APPLICATION INFORMATION

Site Information

Parcel Number

Street Address

Applicant Information

Name

Street Address

City

State

Zip

Phone

E-mail

Owner Information

Name

Street Address

City

State

Zip

Phone

E-mail

Nature of Request (please be specific)

--

SUBMITTAL REQUIREMENTS

The following items must be included in submittal of this application:

Completed application form, signed and dated.

A vicinity map no larger than 8 1/2" X 11", indicating all structures on the property and within 200 feet in each direction of the subject property and noting any properties containing known Character Structures or Historic Buildings (see page 4 DDG document).

8 1/2" X 11" site plan, dimensioned, drawn to scale and including the following items:

- The boundaries of the property
- Dimensions of property and square footage of property
- Location of existing and proposed structures indicating setback distances from property lines and square footage of each structure
- Parking area
- North Arrow

Elevation drawings detailing of design elements:

- Scaled drawing with a scale bar shown on each page
- The type of exterior materials and Color (where applicable)
- Exterior finishes for buildings and accessory structures
- Elevation detailing of entrances and windows
- Elevation details of exterior lighting also including the type, style and model of exterior lighting fixtures (where applicable)
- Detailing of roof design, to include information regarding pitch and length
- Other information as needed

A landscape plan, if applicable to the design guidelines review, detailing:

- Scaled drawing with a scale bar shown on each page
- The existing vegetation to be retained and/or proposed vegetation to be installed.

A written narrative from the project architect outlining in point-by-point detail compliance with all applicable design standards that apply to the project scope. See page 9 of the DDGs for general guidance on chapters required based on project type. Each chapter includes an applicability and minimum requirements section at the beginning of the chapter.

SITE INFORMATION

Zoning Designation:	Building Square Footage:	Date of Original Construction:
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PROJECT TYPE & APPLICABILITY

Please select all the project type and chapter(s) of the DDG document that apply to the proposed project.

CBD and CBD-Core Zones

New development
 Exterior alteration, redevelopment or addition to existing building

RM-Core & RM-20* Zone

**Guidelines apply to RM-20 zoned properties located in the Downtown Planned Action Area only*

New development
 Exterior alteration, redevelopment or addition to existing building

Downtown Design Guidelines

Chapters applicable to the project

- Part 1: Introduction
- Part 2: Significant Buildings
- Part 3: Building Design – Form & Massing
- Part 4: Building Design – Façade
- Part 5: Pedestrian Experience

CERTIFICATION

Contractor's affidavit: I hereby make application for a sign permit and certify that our business is registered as a contractor with the state of Washington and that all work shall be performed in accordance with all codes and ordinances of the city of Puyallup.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not.

By leaving the contractor information section blank, I hereby certify further that contractors (general or subcontractors) will not be hired to perform any work in association with this permit. I also certify that if I do choose to hire a contractor (general or subcontractor) I will only hire those contractors that are licensed by the state of Washington.

Signature of Property Owner: _____ Date _____

Signature of Applicant: _____ Date: _____

DOWNTOWN DESIGN GUIDELINES – DESIGN NARRATIVE

Project: Seasons on Meeker Townhomes and Market Hall/ Brewery

PART 3. BUILDING DESIGN – FORM AND MASSING

3.B.1 Applicability and Requirements

Design Guideline 3.B applies to both the Townhomes and the Market Hall and Brewery components.

Applicability:

These standards apply to all new buildings exceeding 10,000 square feet, as well as to any new street-facing elevations and revisions to existing façades.

3.B.2 Site and Neighborhood Context

The site is an urban infill parcel located at the edge of the downtown core. Surrounding development consists primarily of one- to two-story masonry and concrete commercial buildings. The Sound Transit rail line runs directly north of the property, which fronts E Main Avenue to the north, 3rd Street SE to the east, and E Meeker Street to the south. As part of this project, E Meeker Street will be transformed into a market street to complement and activate the development.

3.B.3 Building Scale and Bulk

Townhomes —

The townhome structures are carefully modulated to create visual interest and reduce apparent massing. The first and second floors establish a strong, well-defined base, while the upper floor is stepped back to further diminish perceived scale. Material transitions are strategically employed to enhance the overall aesthetic, and bay windows, particularly along the promenade frontage, contribute to a more pedestrian-oriented façade.

Market Hall and Brewery —

A combination of materials and varied glazing patterns is used to reduce the apparent scale and bulk of the existing commercial structure. The parapet line has been unified, establishing a continuous cornice that provides a cohesive architectural expression.

3.B.4 Height

Townhomes —

The maximum parapet height at the third story is 31'-0", while the majority of the building is two stories with a parapet height of 23'-6". Upper-story setbacks,

particularly along the promenade frontage, have been incorporated to reduce scale and improve compatibility with the streetscape. The three-story units are intentionally positioned away from the public right-of-way to minimize visual impact.

Market Hall and Brewery —
N/A; existing structure.

3.B.5 Setbacks

Townhomes —

The maximum parapet height at the third story is 31'-0", while the majority of the building remains two stories in height. Upper-story setbacks, particularly along the promenade frontage, are incorporated to reduce perceived massing and enhance the pedestrian scale. The three-story units are located away from the public right-of-way, minimizing their visual impact..

Market Hall and Brewery –

N/A The existing building is a single story building with a small mezzanine. The maximum height is 20', this portion is located away from the ROW.

3.B.6 Modulation of Building Form

Townhomes —

The townhomes reinforce horizontal patterns through two-story base expression, third-story setbacks, and façade articulation using projections and recesses. Flat roofs with parapet articulation define individual units and maintain a pedestrian-friendly scale consistent with surrounding development.

Market Hall and Brewery —

The Market Hall and Brewery utilize broad horizontal modulation with continuous parapets, recessed wall planes, and large glazed openings to reduce massing. Canopies and articulated corners highlight entries and support wayfinding, while shared materials create a cohesive transition to the adjacent townhomes.

3.B.7 Exterior Public Space, Interior Galleria or Arcade Space

A central design feature of the proposed development is the pedestrian promenade, envisioned as a lively connector between the project and the future market street. This shared public space serves as the social heart of the site, encouraging movement, gathering, and visual continuity across the development. The Townhomes and Market Hall and Brewery buildings frame the promenade on either side, creating a welcoming, human-scaled corridor that blends residential and commercial activity while strengthening the sense of place and community identity.

PART 4. BUILDING DESIGN – FAÇADE

4.B.1 Applicability and Requirements

Design Guideline 4.B applies to both the Townhomes and the Market Hall and Brewery, ensuring a cohesive architectural character across the entire development.

Applicability:

These guidelines apply to all new buildings exceeding 10,000 square feet, as well as to new or modified street-facing elevations and revisions to existing façades.

- **4.B.2 Façade Composition**

Townhomes —

The façade composition of the townhomes is driven by a careful balance of material layering, projection, and recess. Masonry serves as the primary exterior material, drawing from the established vernacular of the surrounding commercial context. To reduce the perceived bulk and scale of the brickwork, the façade is articulated with depth and shadow, introducing a rhythm of pushes and pulls that foster a more pedestrian-scaled experience. This modulation is further enhanced using contrasting materials, which accentuate the building’s vertical and horizontal shifts while reinforcing a refined, contemporary aesthetic.

Market Hall and Brewery —

The Market Hall and Brewery façade employs a complementary yet distinct strategy—maintaining the scale and presence appropriate to a commercial structure while still introducing variation and visual relief. Here, massing moves occur at a broader scale, with larger façade shifts used to define the building’s character. The design relies more heavily on material variation and glazing rhythm to establish interest and depth, preserving the authentic industrial expression of the original structure while tying it cohesively to the townhome development.

- **4.B.3 Horizontal Articulation of Façade**

N/A chose to implement 4.B.4 and 4.B.5

- **4.B.4 Façade Modulation**

Townhomes —

The modulation strategy for the townhomes focuses on reducing the perceived bulk and scale of the residential units while maintaining a subtle commercial rhythm consistent with the surrounding urban context. A strong cornice line reinforces a two-story expression, while the third-story setbacks are designed to soften the building’s vertical presence and preserve the character of a two-story

streetscape. The pedestrian entries are thoughtfully recessed beneath projecting second-floor bays, creating both visual depth and sheltered entry points.

Market Hall and Brewery —

Modulation of the Market Hall and Brewery occurs at a broader architectural scale, reflecting its commercial nature and larger massing. Strategic moves—such as removing the former covered outdoor area and recessing portions of the street-facing façade—serve to break down the overall scale and create a more dynamic relationship between solid wall elements and expansive glazing. This approach enhances visual variety and transparency, inviting activity and interaction along the street frontage.

4.B.5 Window and Glazing Design

Townhomes —

The glazing strategy for the townhomes is designed to reflect the commercial character of the surrounding streetscape while maintaining a comfortable residential identity. Larger window openings at the first and second floors echo nearby storefront proportions, creating transparency and visual engagement along the promenade. A combination of fixed and operable casement windows introduces variation and rhythm within the façade. At the third floor, smaller window openings are used to differentiate the residential character from the more commercial expression below, reinforcing a clear hierarchy between the building's base and upper levels.

Market Hall and Brewery —

The Market Hall and Brewery preserve the large storefront openings characteristic of the original façade, maintaining a strong connection to its commercial roots. This is further enhanced by the addition of glazed overhead doors, which open the interior directly to the street and blur the threshold between indoor and outdoor spaces, activating the public realm and reinforcing the building's role as a community gathering space.

4.B.6 Façade Materials

Townhomes —

The material palette for the townhomes establishes a refined and contemporary expression while maintaining compatibility with the surrounding urban context. A light gray brick base provides visual grounding at the pedestrian level, while metal panel accents of a consistent dark gray tone are used at both the upper and lower levels to create cohesion across the façade. The panels introduce depth and shadow, helping to break down the building's scale and add visual interest. This continuity in color and material reinforces the modern character of the architecture while maintaining a clear hierarchy between the solid brick base and lighter metal detailing.

Market Hall and Brewery —

The Market Hall and Brewery utilize a blend of new and existing materials to

unify the building's identity while celebrating its commercial heritage. Brick masonry and exposed CMU form the primary façade elements, with a dark brick introduced along the main street-facing elevations to establish a strong visual anchor. Dark-tinted stucco accents provide subtle contrast and texture, while select portions of the existing CMU are enhanced with a mural treatment to homogenize the façade and introduce a distinctive artistic element.

PART 5. PEDESTRIAN EXPERIENCE

5.B.1 Applicability and Requirements

Design guidelines 5.B applies to both the Townhomes and Market Hall and Brewery.

Applicability:

All new construction and additions and Façade improvements to buildings located on pedestrian-oriented streets.

5.B.2 Wayfinding Elements and Strategies. Recommended at all street-facing facades.

The project employs a series of integrated wayfinding strategies to guide movement and strengthen the pedestrian experience. The design is anchored by the central promenade, which connects the Townhome and Market Hall buildings and serves as the primary organizing element of the site. Large canopies, varied paving patterns, and the active uses generated by the Market Hall collectively draw visitors into the property and naturally direct them toward areas of activity and gathering. These design elements work together to create an intuitive, engaging, and visually cohesive circulation experience throughout the development.

5.B.3 Ground Level Transparency

Townhomes —

At the south façade of the Live/Work Townhome, 8'-0" storefront glazing enhances visibility and daylight, reinforcing the work-oriented character of this frontage.

Market Hall and Brewery –

A combination of 8'-0" storefront glazing and glazed overhead doors provides ground-level transparency and activates the street frontage.

5.B.4 Building Entries

Townhomes —

Primary entries are accessed from the pedestrian promenade. Each entry is set

JCRCOLLECTIVE

back 5'-6" to create a private patio transition, with landscaping used to define and screen the space from public areas.

Market Hall and Brewery —

The main entry is located along the pedestrian promenade and sheltered by a large canopy, providing clear wayfinding and weather protection for visitors.

5.B.5 Pedestrian Weather Protection

Townhomes —

Along the south street-facing façade, 5'-0" deep metal canopies extend over the storefront and primary entries. At each unit entry, a smaller 3'-6" canopy provides a residential-scaled transition. The canopy design complements the architectural character of adjacent properties.

Market Hall and Brewery —

Along the south façade and at the main courtyard entry, 5'-0" deep metal canopies extend across the storefront and primary entrances. The canopy design aligns with the aesthetic of neighboring buildings, reinforcing visual cohesion within the block.

5.B.6 Lighting

Townhomes —

Sconce lighting is proposed at and around each individual entry, providing illumination, safety, and a residential-scale character along the promenade.

Market Hall and Brewery —

Sconce fixtures are placed intermittently along the building perimeter to enhance visibility and highlight entry locations.

5.B.7 Signage

Townhomes – No project signage is proposed for the townhome units other than Address numbers.

Market Hall and Brewery – The project includes both primary and secondary signage. Primary signage is mounted along the Meeker Street façade, with secondary signage oriented toward the promenade. All signage will feature a modern design, utilizing metal construction with subtle backlighting.

5.B.8 Blank Wall Treatment – Street Facing Facades

Townhomes —

No blank façades are proposed. The design incorporates modulation, material variation, and color changes to maintain visual interest and scale.

Market Hall and Brewery —

No blank façades are proposed. The building features articulation through

massing, material contrast, and color differentiation to enhance street presence and continuity with adjacent development.

5.B.9 Strategies for Parking Garage Entrances and Parking Structures

N/A

SITE INFORMATION:

PROPERTY OWNER:
 CITY OF PUYALLUP

SITE ADDRESS:
 115 2ND STREET SE
 PUYALLUP, WA 98372

PARCEL NUMBER:
 706000030

LEGAL DESCRIPTION:
 LOCATED IN THE SW 1/4 OF SECTION 27, TOWNSHIP 20 NORTH, RANGE
 4 EAST, WILLAMETTE MERIDIAN, CITY OF PUYALLUP, PIERCE COUNTY,
 WASHINGTON

SITE AREA:
 65,340 SF (1.5 ACRES)

ZONING REQUIREMENTS:
 ZONE:
 CBD-CORE - CENTRAL BUSINESS DISTRICT CORE

*NOTE - CBD CORE ZONING SURROUNDS PROJECT SITE ON THE
 NORTH, WEST, AND SOUTH. ACROSS 3RD ST SE ZONING CHANGES TO
 CBD.

MIN LOT AREA: N/A
 MIN STREET FRONTAGE: 30'-0"
 MIN LOT WIDTH: 30'-0"
 MIN LOT DEPTH: 70'-0"
 MAX LOT COVERAGE: 100%
 BASE BUILDING HEIGHT: 40'-0"
 MAX BUILDING HEIGHT: 65'-0"
 MIN STREET SETBACK: 0'-0"
 MIN REAR SETBACK: 0'-0"
 MIN INTERIOR SETBACK: 0'-0"
 MAX FLOOR AREA RATIO: 2.75:1

CRITICAL AREAS ON SITE:
 - CRITICAL AQUIFER RECHARGE AREA
 - VOLCANIC HAZARD AREA
 - SEISMIC HAZARD AREA
 - ONGOING CONTAMINATION MONITORING

*NOTE LISTED CRITICAL AREAS ENCOMPASS ENTIRE SITE AND
 SURROUNDING AREAS

BUILDING DATA:

OCCUPANCY CLASSIFICATION
 TOWNHOMES - R2 (RESIDENTIAL)
 MARKET HALL - A2 (ASSEMBLY)

BUILDING AREA (PHASE I)

TOWNHOMES -	15,000 sf
MARKET HALL -	7,500 sf
TOTAL	22,500 SF

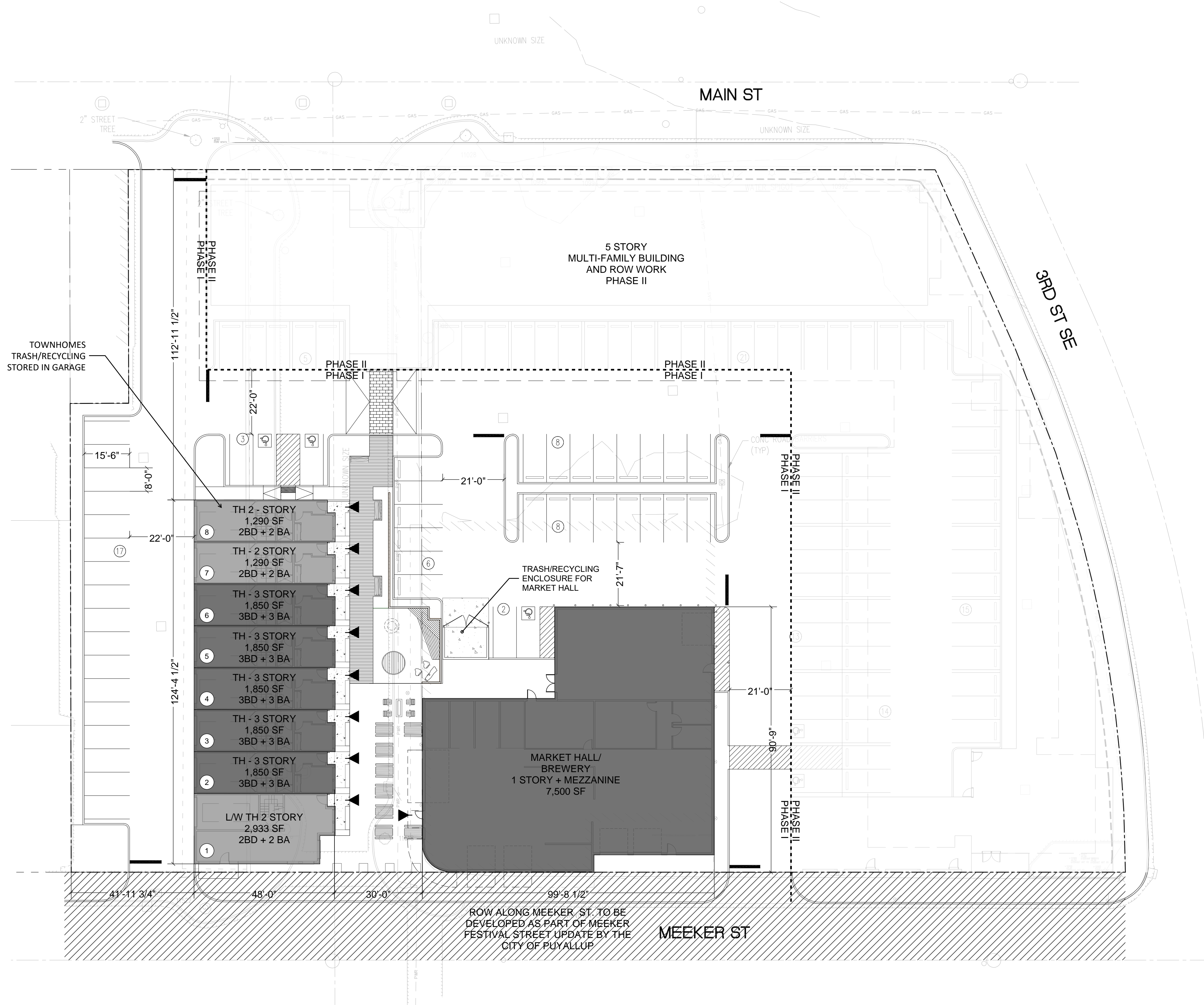
CONSTRUCTION TYPE
 TOWNHOMES - VB
 MARKET HALL - VB

SITE DATA:

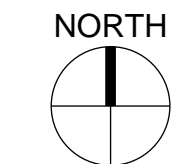
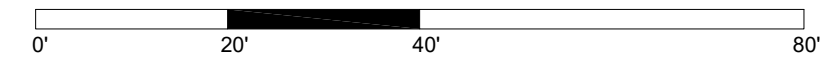
NUMBER OF DWELLING UNITS - 8 TOWNHOMES

PARKING SPACES (PHASE I)

COVERED (TOWNHOME GARAGES) -	8 STALLS
SURFACE PARKING -	44 STALLS
TOTAL	52 STALLS



1 SITE PLAN
 SCALE = 1" = 20'-0"





SEASONS ON MEEKER TOWNHOMES & MARKETHALL DOWNTOWN DESIGN REVIEW PACKAGE

JCRCOLLECTIVE

TOWNHOMES

BRICK



MODULAR BRICK; STACK BOND; GRAY

METAL PANEL



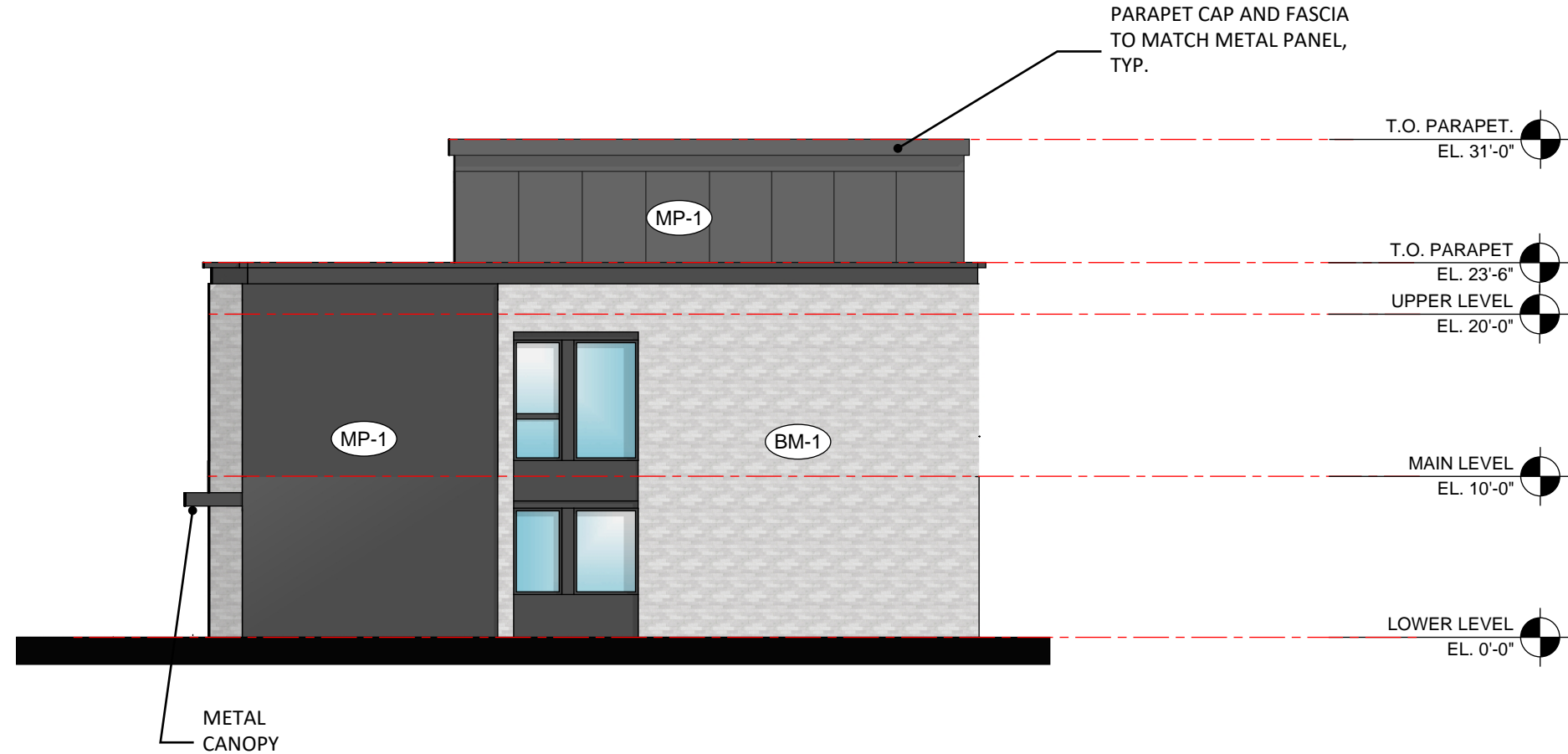
METAL PANEL - DARK GRAY

USE METAL PANEL FOR FASCIA AND
PARAPET CAP

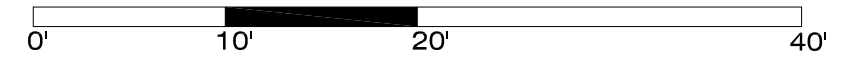
SCONCE



MODERN SCONCE; ACTUAL FIXTURE MAY VARY

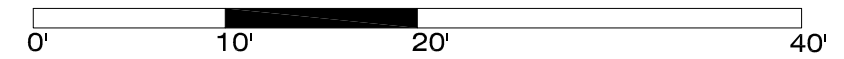


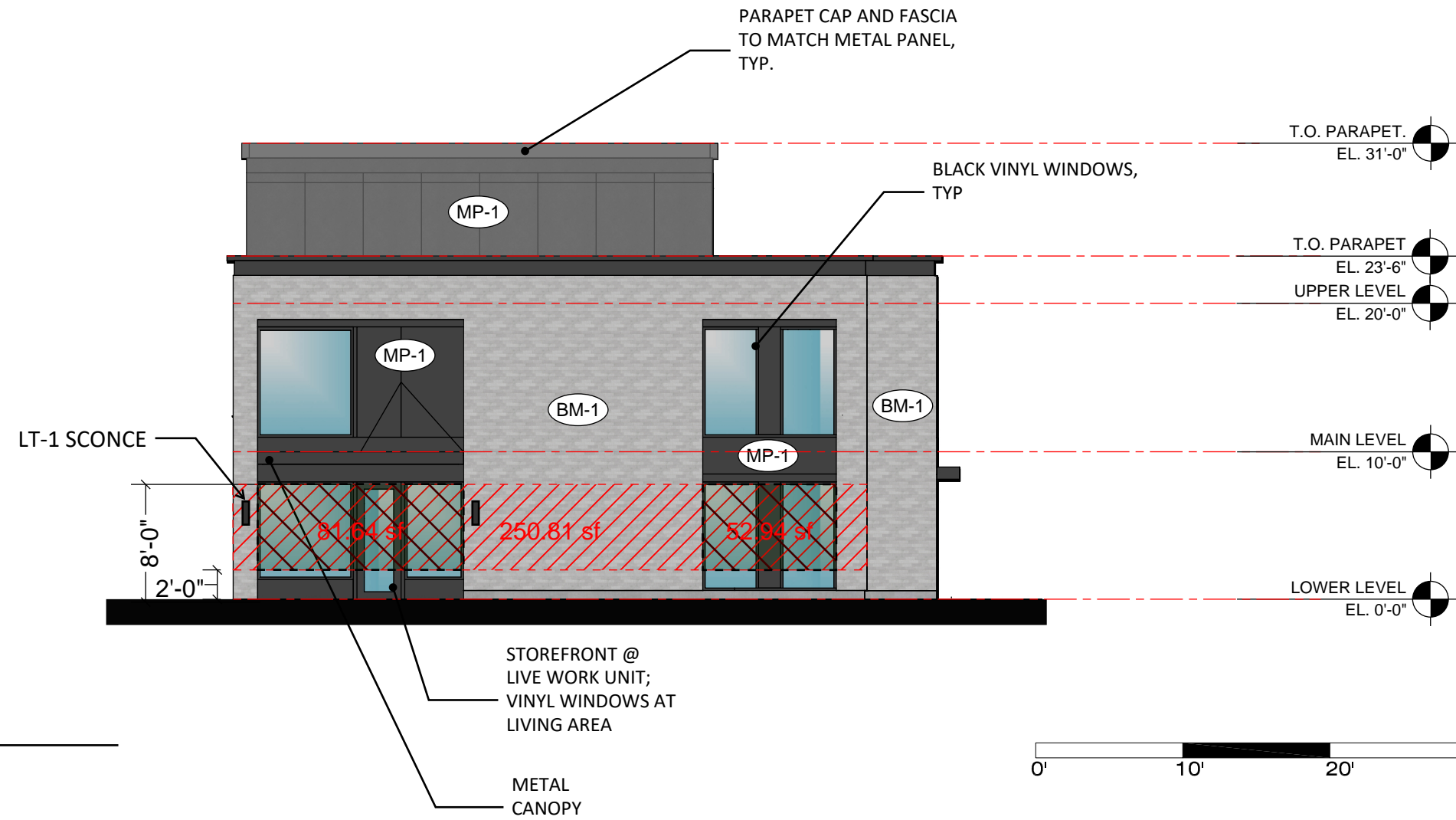
A NORTH ELEVATION
SCALE = 1"=10'-0"



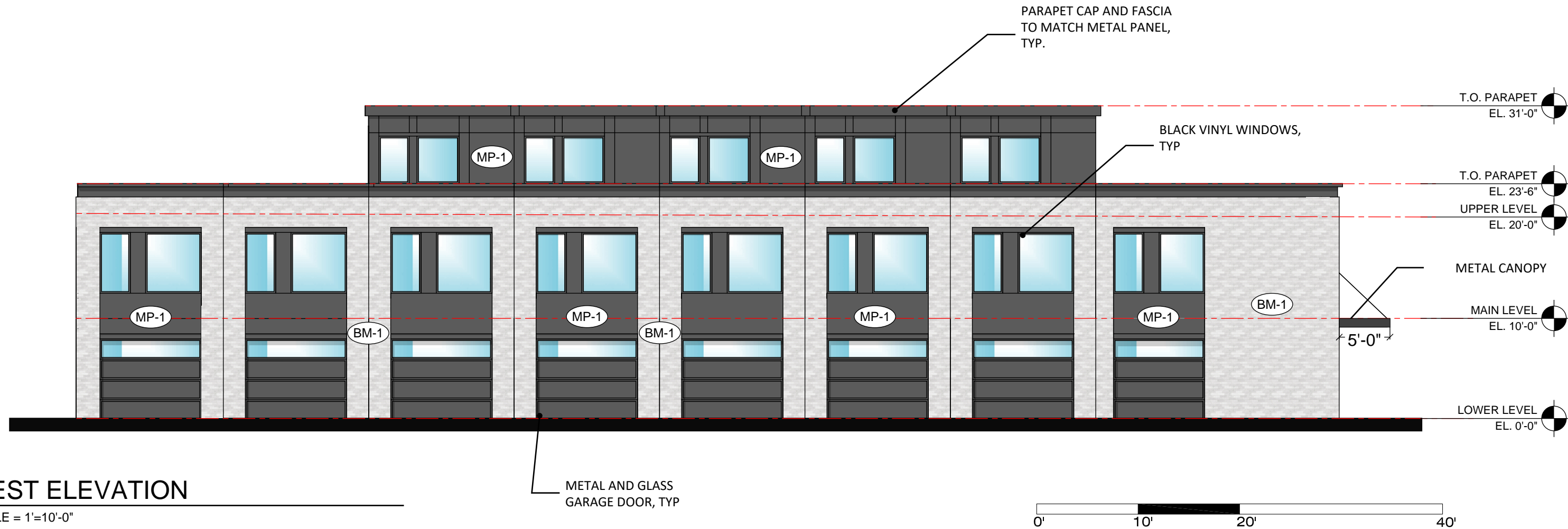


A EAST ELEVATION
SCALE = 1"=10'-0"





A SOUTH ELEVATION
SCALE = 1"=10'-0"



MARKET

BRICK



STANDARD BRICK; RUNNING BOND; DARK BLEND

STUCCO



SMOOTH FINISH STUCCO WITH DARK GRAY
PAINT

METAL PANEL



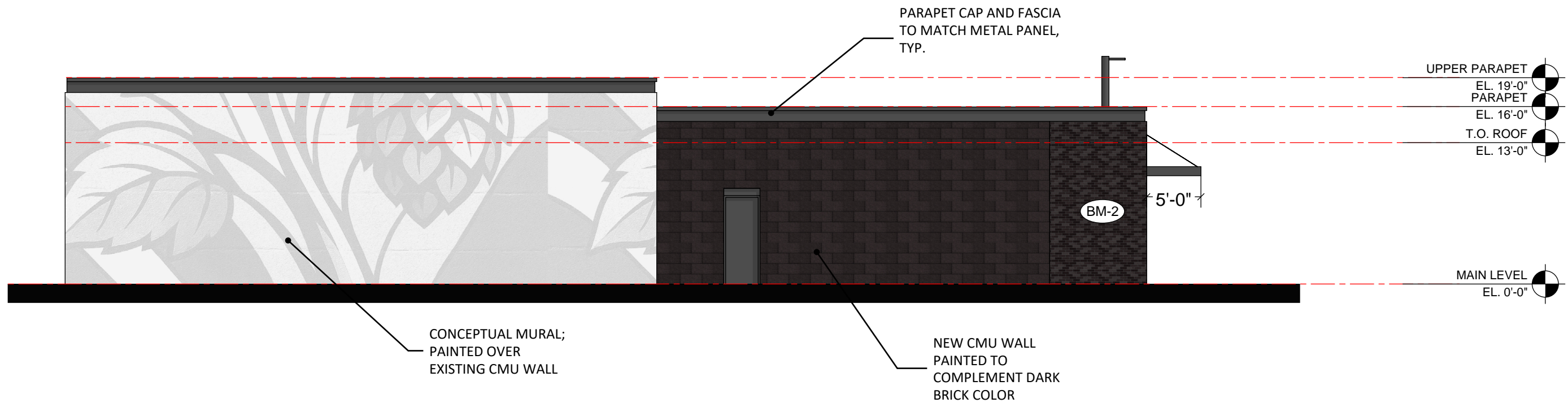
METAL PANEL - DARK GRAY

USE METAL PANEL FOR FASCIA AND
PARAPET CAP

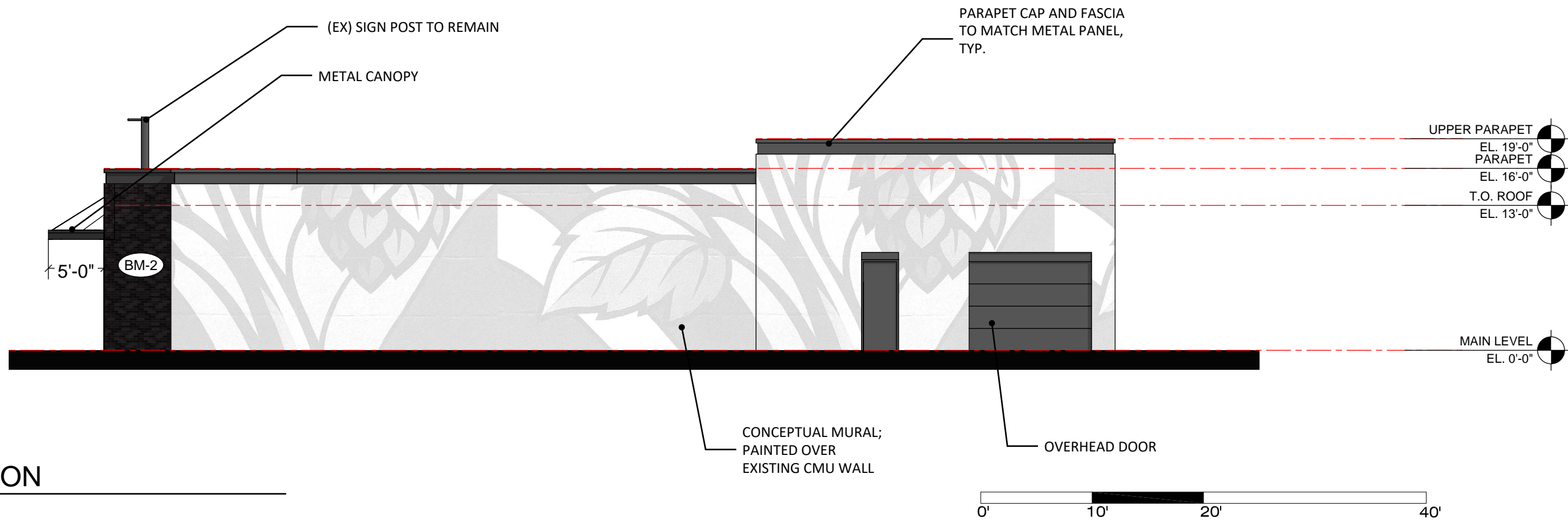
SCONCE

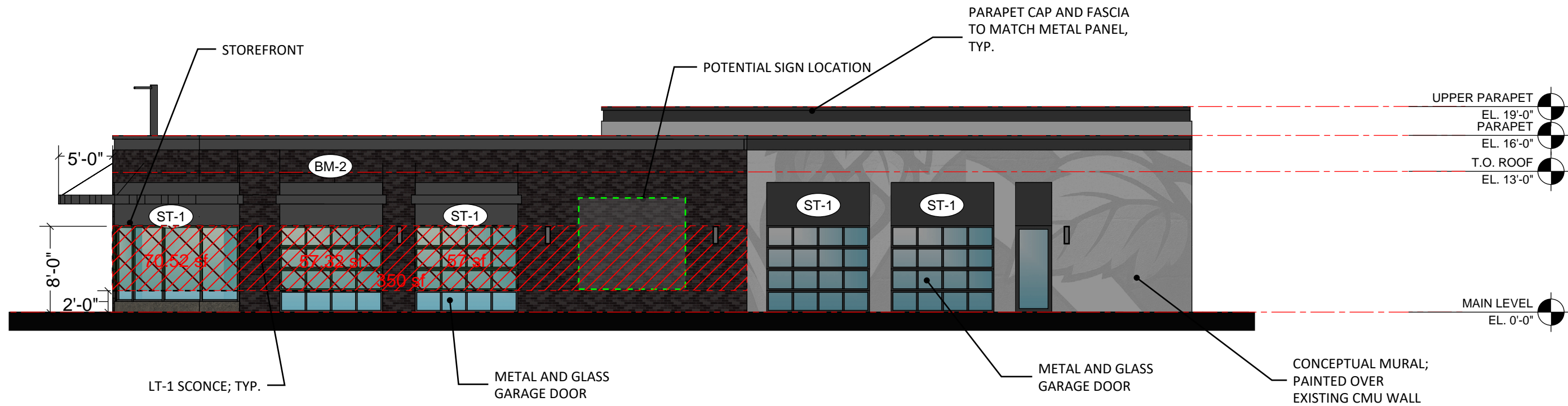


MODERN SCONCE; ACTUAL FIXTURE MAY VARY

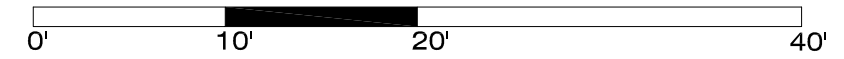


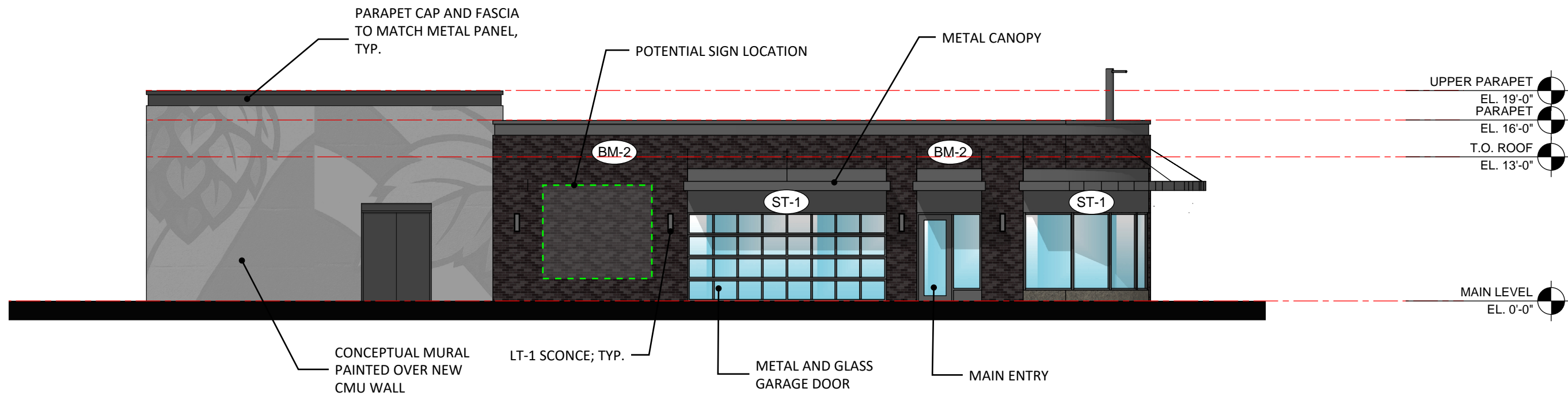
A NORTH ELEVATION
SCALE = 1"=10'-0"





A SOUTH ELEVATION
SCALE = 1"=10'-0"

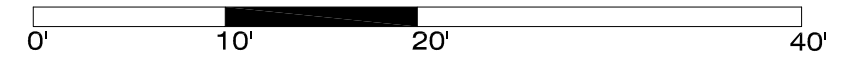




A

WEST ELEVATION

SCALE = 1"=10'-0"



PERSPECTIVES



A

PERSPECTIVE FACING PROMENADE

SCALE = NTS



A

PERSPECTIVE AT TOWNHOMES

SCALE = NTS



A

PERSPECTIVE AT MARKET HALL

SCALE = NTS