

Files: 1611002C-Cv.dwg Path: J:\1611 - Fernandez\002- 212 Todd Road Development\01 - Prelim Site Review\CAD\ Plotted by: Allison Dixon Date: 02-Jul-26 1:35:11pm

SECTION 22, TOWNSHIP 20 N, RANGE 4 E, WM, PIERCE COUNTY, WA

212 TODD ROAD DEVELOPMENT

Preliminary Site Plan Review

OWNER

EJ FERNANDEZ
PO BOX 309
SUMNER, WA 98390

CIVIL ENGINEER

JMJ TEAM
905 MAIN STREET
SUITE 200
SUMNER, WA 98390
(206) 596-2020
CONTACT: JUSTIN JONES, PE

SURVEYOR

CONTOUR ENGINEERING LLC
4706 97TH STREET NW, SUITE 100
GIG HARBOR, WA 98335
(253) 857-5454
CONTACT: STEPHEN H. WOODS, PLS

SITE INFORMATION

SITE ADDRESS 212, 302 Todd Rd NE, PUYALLUP, WA 98371
TAX PARCEL NUMBER(S): 0420222008, 0420222028
ZONING: RM-20
TOTAL PROJECT AREA: 1.83 AC

VICINITY MAP



212, 302 Todd Rd NE, Puyallup, WA 98371

SHEET INDEX

Sheet #	Sheet Name
C-01	Cover Sheet
C-02	Vicinity Map
C-03	Existing Site Plan
C-04	Demolition & TESC Plan
C-05	Turning Movement
C-06	Proposed Site Plan
C-07	Grading Plan
C-08	Composite Utility Plan
L1	Landscape Plan
L2	Landscape Details & Notes
L3	City Of Puyallup Notes

LOT COVERAGE TABLE

Complete the following table as applicable to the proposed project (include onsite and offsite improvements):

Description ^a	Onsite	Offsite	Total
Existing Conditions			
Total Project Area ^b (ft ²)	79775	4885	84660
Existing hard surface (ft ²)	4622	4885	51107
Existing vegetation area (ft ²)	33553	0	33553
Proposed Conditions			
Total Project Area ^b (ft ²)	77982	6678	84660
Amount of new hard surface (ft ²)	8894	1793	10687
Amount of new pollution generating hard surface (PGHS) ^c (ft ²)	13446	0	13466
Amount of replaced hard surface (ft ²)	0	0	0
Amount of replaced PGHS ^d (ft ²)	32626	3199	44394
Amount of new plus replaced hard surface (ft ²)	8894	1793	13466
Amount of new + replaced PGHS (ft ²)	54641	3199	57840
Amount of existing hard surfaces converted to vegetation (ft ²)	2985	0	2985
Amount of Land Disturbed (ft ²)	58654	7011	65665
Vegetation to Lawn/Landscaped (acres)	20	0	20
Native Vegetation to Pasture (acres)	0	0	0
Existing hard surface to remain unaltered (ft ²)	7405	0	7405
Existing vegetation area to remain unaltered (ft ²)	8671	0	8671

a. All terms are defined in the 2019 Ecology Manual glossary.
b. The total project area in the existing condition should typically match the total project area in the proposed condition.
c. The "amount of new PGHS" should be part of or all of "amount of new hard surfaces"
d. The "amount of replaced PGHS" should be part of or all of the "amount of replaced hard surfaces".

Owner/Developer:

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PO Box 309
Sumner, WA 98390

Engineer:



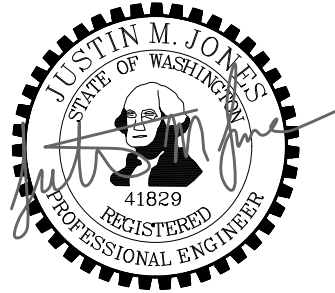
JMJ Team
905 Main Street, Suite #200
Sumner, WA 98390
(206) 596-2020

Project:

212 Todd Road Development

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Preliminary Site Plan
Review



07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE:

Cover Sheet

PROJ. NO: 1611-002

DATE: July 2nd, 2026

DRAWN BY:

DESIGN BY:

MO

JJ

SHEET NUMBER:

C-01

DWG.

OF

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1-800-424-5555
UTILITIES UNDERGROUND LOCATION CENTER



LEGEND

- Project Site
- Wetland Buffer 150'
- Stream Buffer 100'
- Wetland

Owner/Developer:

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Review



07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE:

Vicinity Map

PROJ. NO: 1611-002
DATE: July 2nd, 2026

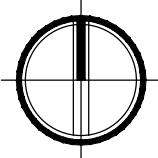
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DESIGN BY: JJ

SHEET NUMBER:

C-02

DWG.

OF



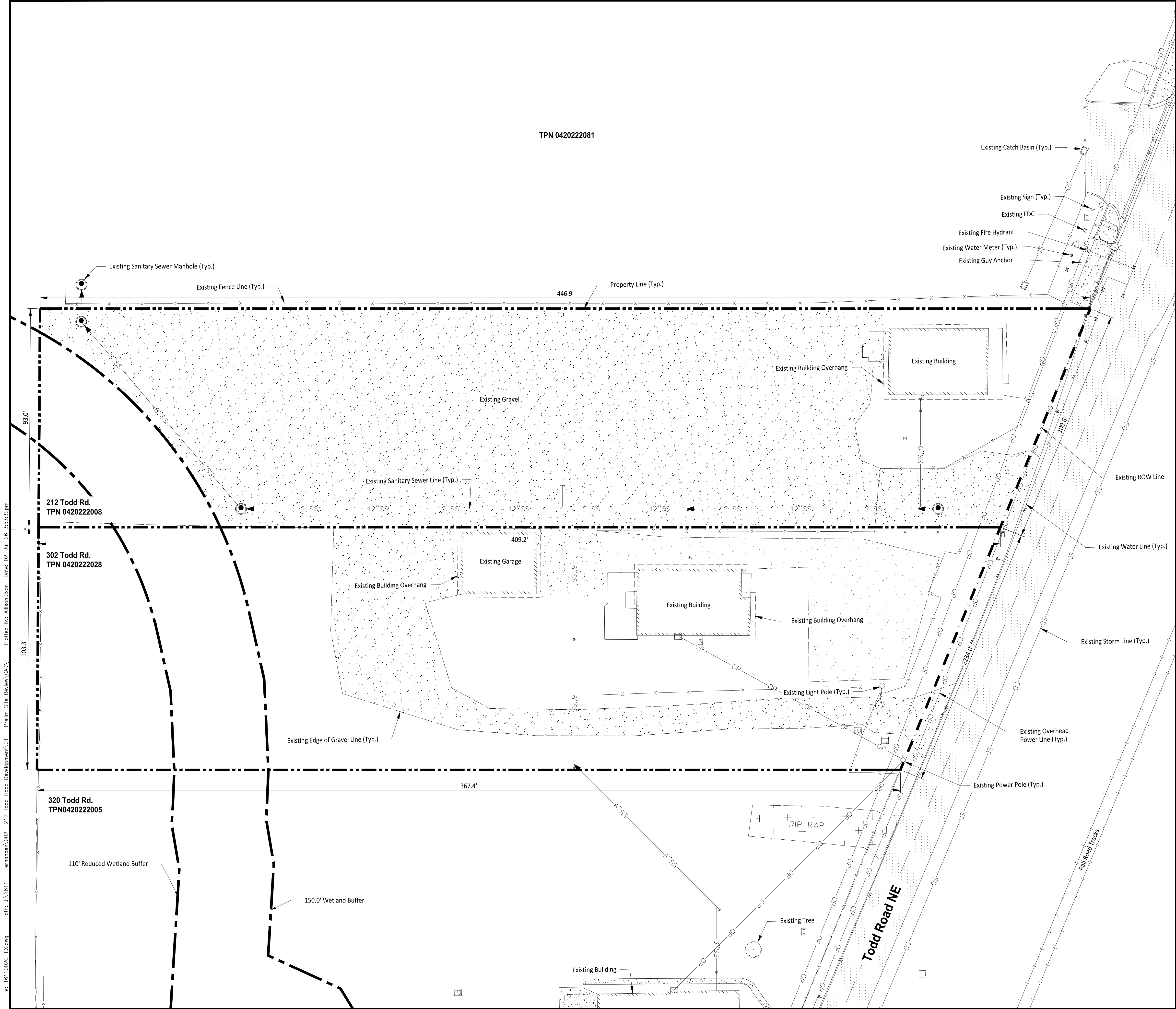
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1" = 200' FEET

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UTILITIES UNDERGROUND LOCATION CENTER

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LEGEND

- Existing Asphalt
- Existing Concrete
- Existing Gravel
- SD

Existing Storm Line
- W

Existing Water Line
- SS

Existing Sewer Line
- OP

Existing Overhead Power Line
- X

Existing Fence Line
- 150' Wetland Buffer
- Property Line
- ROW Line
- Existing Sign
- Existing Fire Hydrant
- Existing FDC
- Existing Water Meter
- Existing Power Pole
- Existing Type I Catch Basin
- Existing Power Hand Hole
- Existing Light Pole
- Existing Cleanout
- Existing Manhole
- Existing Power Meter
- Existing Fiber Optic

VERTICAL DATUM

Base:
Held Statopm TACO as published on Washington State Reference
Network Website: ([HTTP://WSRN3.ORG/2018](http://WSRN3.ORG/2018))

Elevation: 341.348' (NAVD88)

Site #1: CE 500, A set hub and tack on the North side of Todd Rd NE,
8.8' East of a storm drainage manhole.

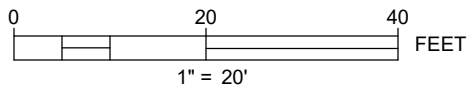
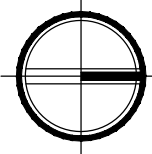
Elevation: 50.27' (NAVD88)

Site #2: CE 505, A set hub and tack in 320 Todd Rd NE

Elevation: 51.35' (NAVD88)

HORIZONTAL DATUM

Grid North. Based upon global positioning the system (GPS) Lambert
Grid Washington State South Zone Coordinates. The North America
Datum of 1983/2011 (NAD83/2011 Epoch 2010.00) Grid Coordinates
were found to be 690850.70 / 1194622.67 At An "X" In A 2.5" Brass
Disk, at the northwest corner of the Section 22, Township 20 North,
Range 4 East, W. M. the inverse of both the sea level correction factor
of 0.9999748561 was applied to the grid coordinates for shown
ground distances.



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Engineer:



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(206) 596-2020

Project:

212 Todd Road Development

ONE INCH AT FULL SCALE.
IF NOT, SCALE ACCORDINGLY

Preliminary Site Plan
Review



07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE

Existing Site Plan

PROJ. NO: 1611-002

DATE: July 2nd, 2026

DRAWN BY: MO DESIGN BY: JJ

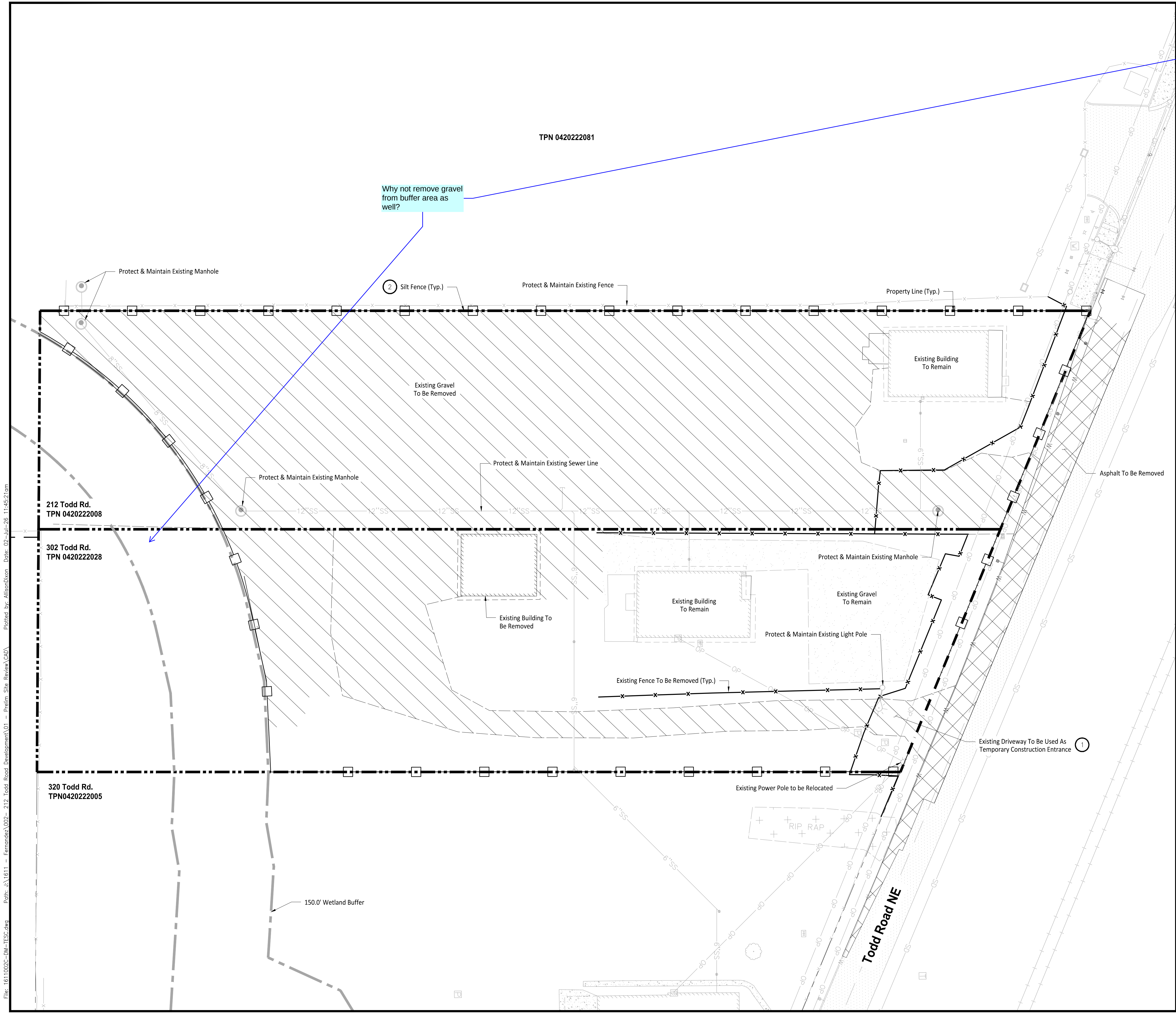
SHEET NUMBER

C-03

DWG.

OF

Files: 161102C-DM-TESC.dwg Path: \\1611 - Fernandez\002- 212 Todd Road Development\01 - Prelim Site Review\CAD\ Plotted by: Allison Dixon Date: 02-Jul-26 11:45:21am



LEGEND

- Asphalt To Be Removed
- Gravel To Be Removed
- Silt Fence
- Fence to be Removed
- Fence to Remain

CONSTRUCTION NOTES

- Existing driveway to be used as temporary construction entrance per City of Puyallup Standard Detail 05.01.01 and install wheel wash as needed per Washington DOE BMP C106.
- Install silt fence per City of Puyallup Standard Detail 02.03.02. Silt Fence to mark clearing limits in the field.

CONSTRUCTION SEQUENCE

- Hold a preconstruction meeting with the City and obtain required permits.
- Establish clearing and grading limits.
- Construct temporary construction entrance.
- Construct perimeter ditches, silt fences, and other erosion control devices as shown.
- Construct protection devices for critical areas and significant trees proposed for retention.
- Schedule an erosion control inspection with the City.
- Clearly state at what point grading activities can begin, usually only after all drainage and erosion control measures are in place.
- Identify erosion control measures which require regular maintenance.

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212 Todd Road Development

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Civil Construction Permit



REV	DATE	DESCRIPTION

SHEET TITLE

Demolition &
TESC Plan

PROJ. NO. 1611-002

DATE June 5th, 2026

DRAWN BY: JC

DESIGN BY: JJ

SHEET NUMBER

C2-101

DWG.

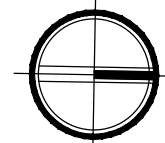
OF

APPROVED

BY CITY OF PUYALLUP
ENGINEERING SERVICES

DATE

NOTE: THIS APPROVAL IS VOID
AFTER 1 YEAR FROM APPROVAL
DATE.
THE CITY WILL NOT BE
RESPONSIBLE FOR ERRORS AND/OR
OMISSIONS ON THESE PLANS.
FIELD CONDITIONS MAY DICTATE
CHANGES TO THESE PLANS AS
DETERMINED BY THE
ENGINEERING SERVICES MANAGER.



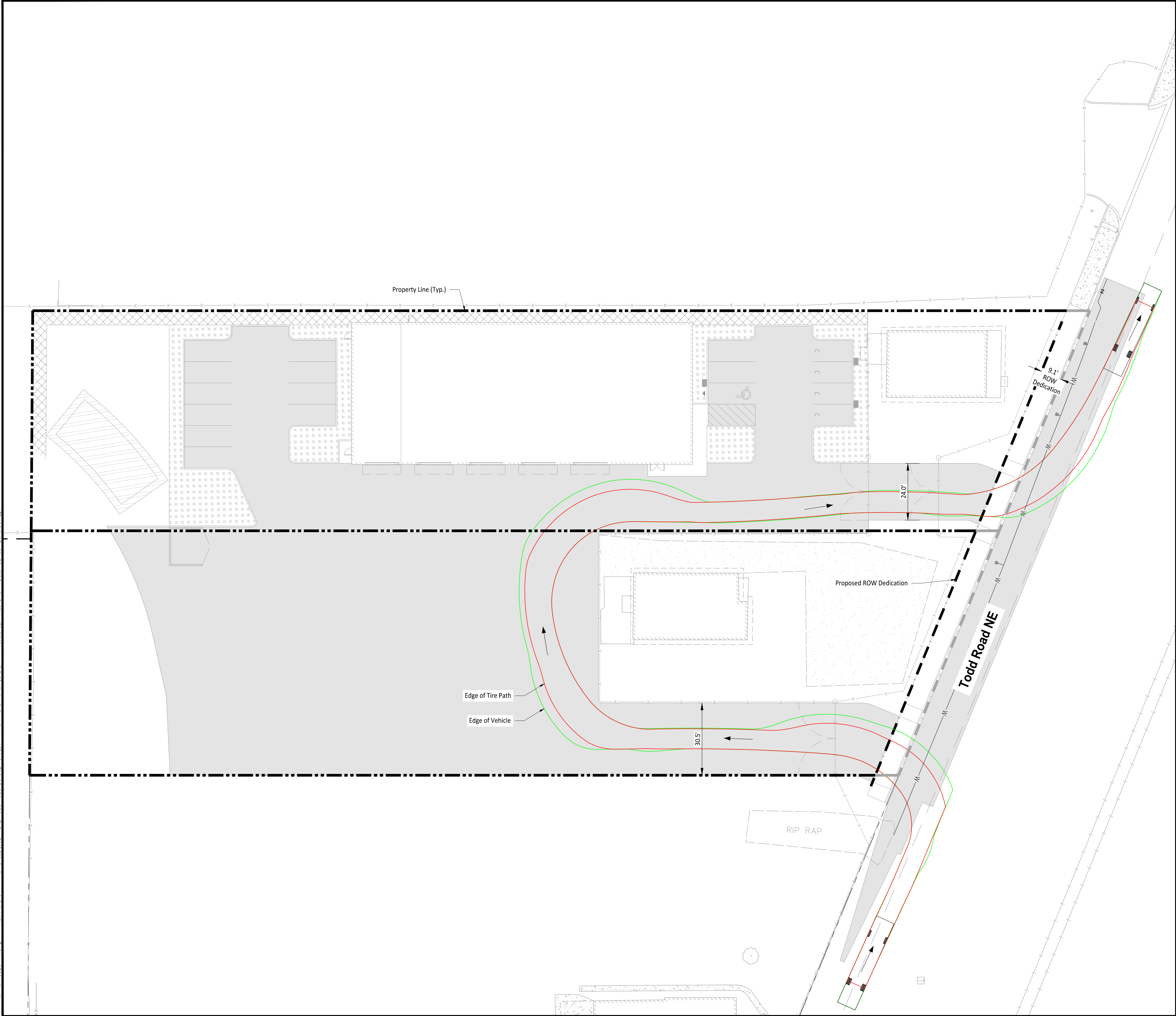
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1" = 20' FEET



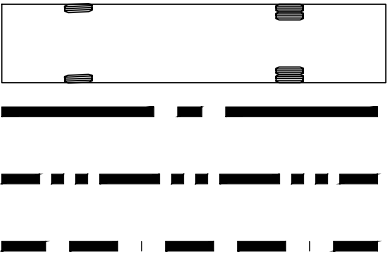
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LEGEND



Pumper Fire Truck
150' Wetland Buffer
Property Line
ROW Line

TURNING MOVEMENT NOTE

1. Turning movement based upon M2106 Emergency Vehicle and information provided by Central Pierce Fire Department.

Owner/Developer:

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PO Box 309
Sumner, WA 98390

Engineer:



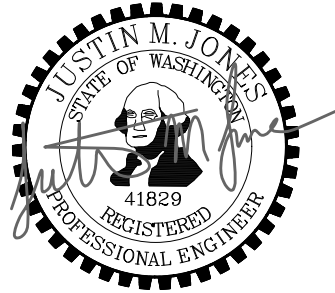
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Project:

212 Todd Road Development

ONE INCH AT FULL SCALE.
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Preliminary Site Plan
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07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE:

Turning
Movement

PROJ. NO: 1611-002

DATE: July 2nd, 2026

DRAWN BY: MO

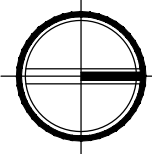
DESIGN BY: JJ

SHEET NUMBER:

C-05

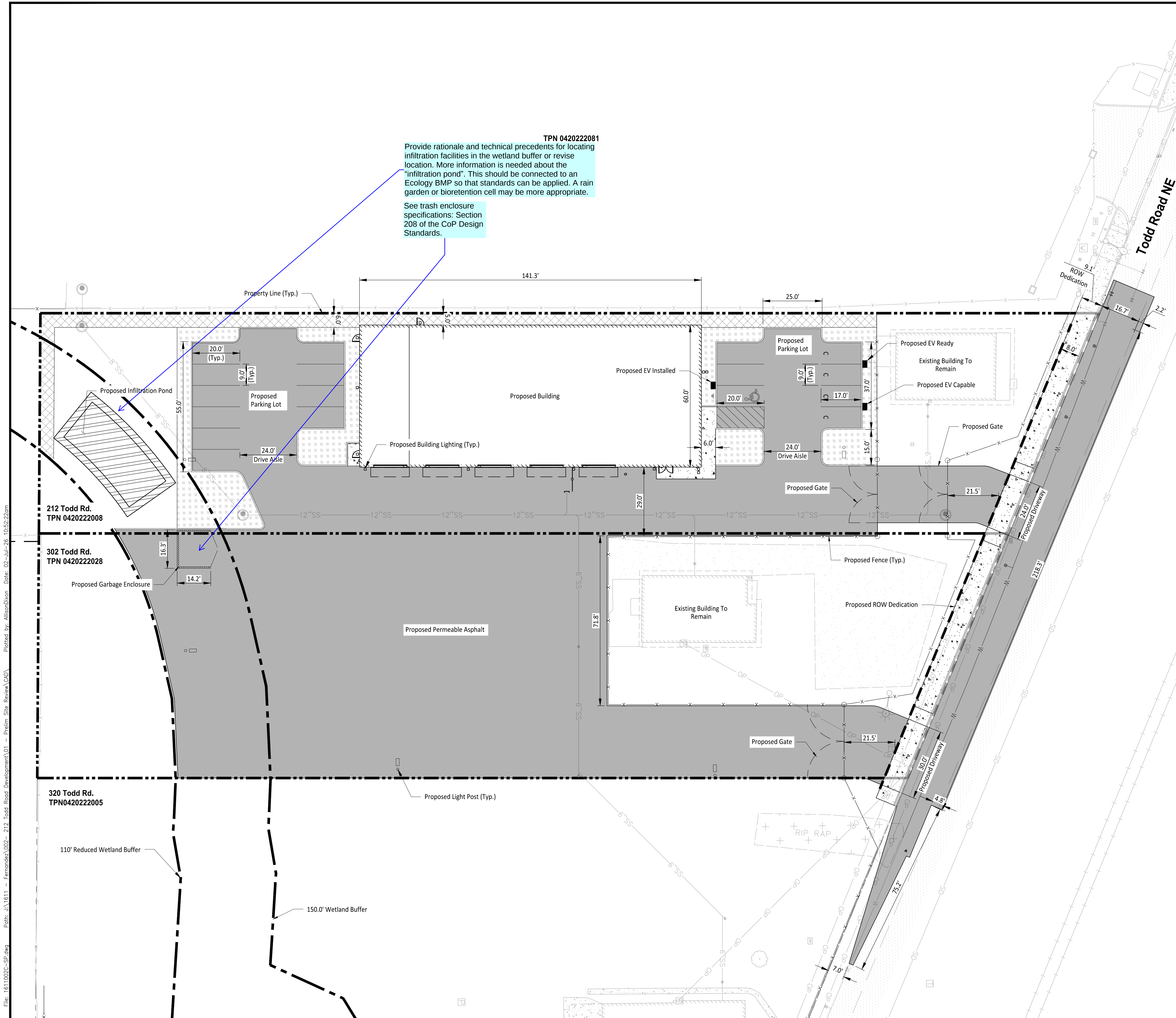
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0 20 40
1" = 20' FEET

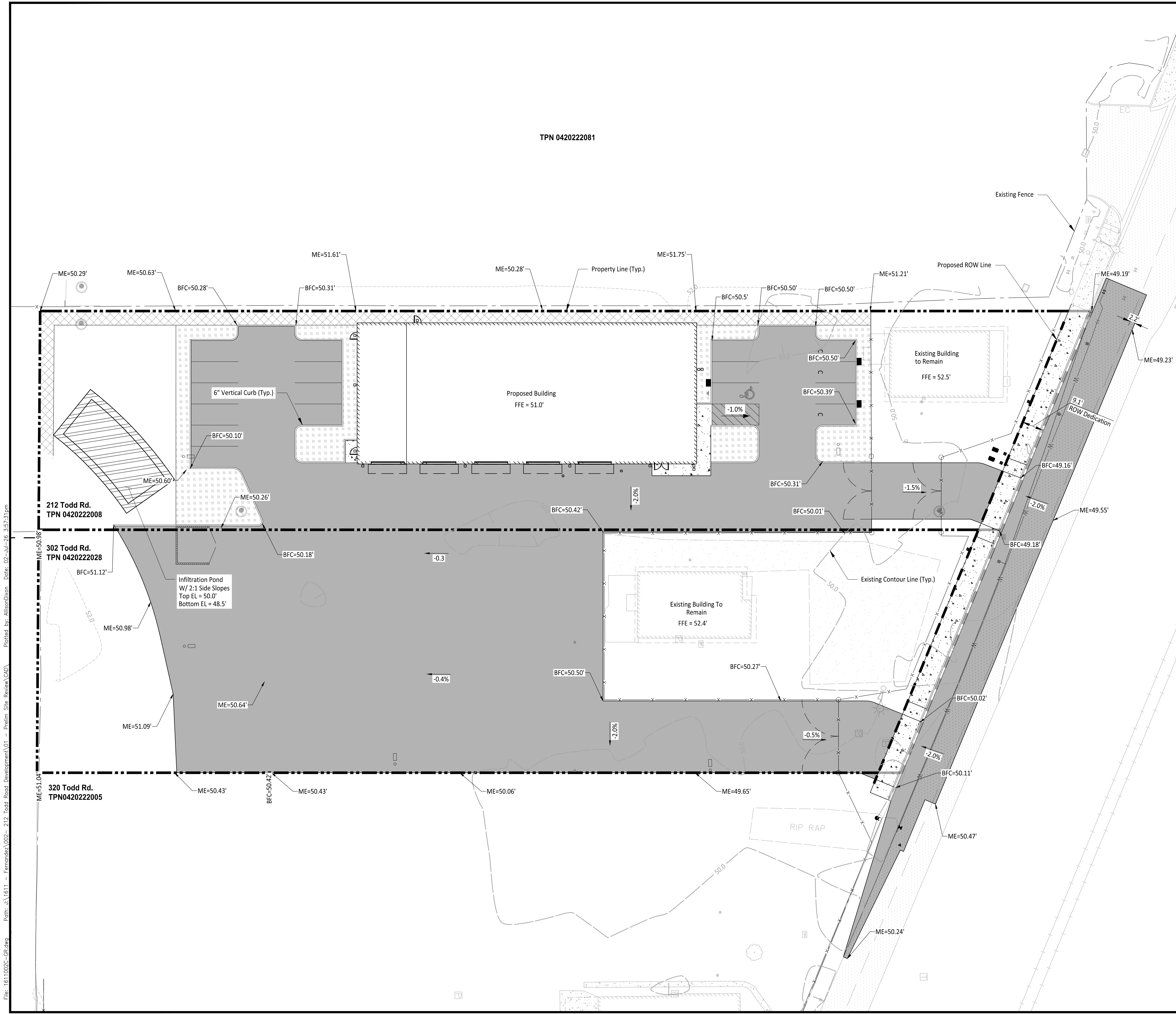
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1-800-424-5555
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LEGEND

- Proposed Permeable Asphalt
- Proposed Concrete
- Proposed Perimeter Landscaping
- Proposed Parking Landscaping
- Slope Arrow
- 150' Wetland Buffer
- Property Line
- ROW Line

VERTICAL DATUM

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212 Todd Road Development

ONE INCH AT FULL SCALE.
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Preliminary Site Plan
Review



07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE

Grading Plan

PROJ. NO: 1611-002

DATE: July 2nd, 2026

DRAWN BY:

DESIGN BY:

MO

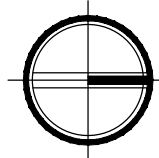
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SHEET NUMBER

C-07

DWG.

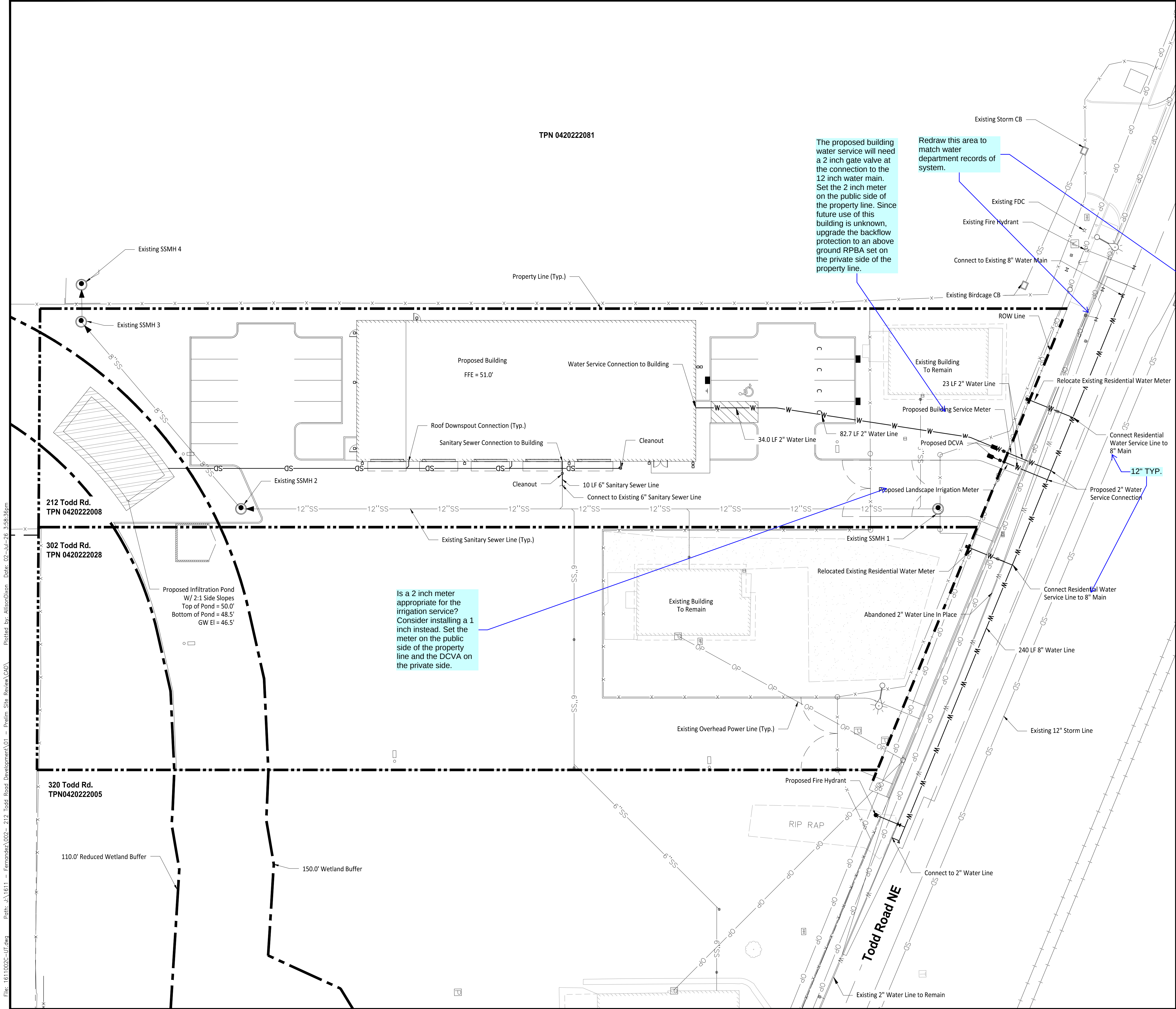
OF



0 20 40
1" = 20' FEET

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Files: 161102C-UT.dwg Path: J:\1611 - Fernandez\002- 212 Todd Road Development\01 - Prelim Site Review\CA0\ Plotted by: Allison Dixon Date: 02-Jul-26 3:58:36pm



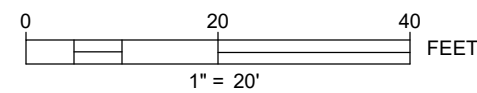
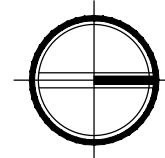
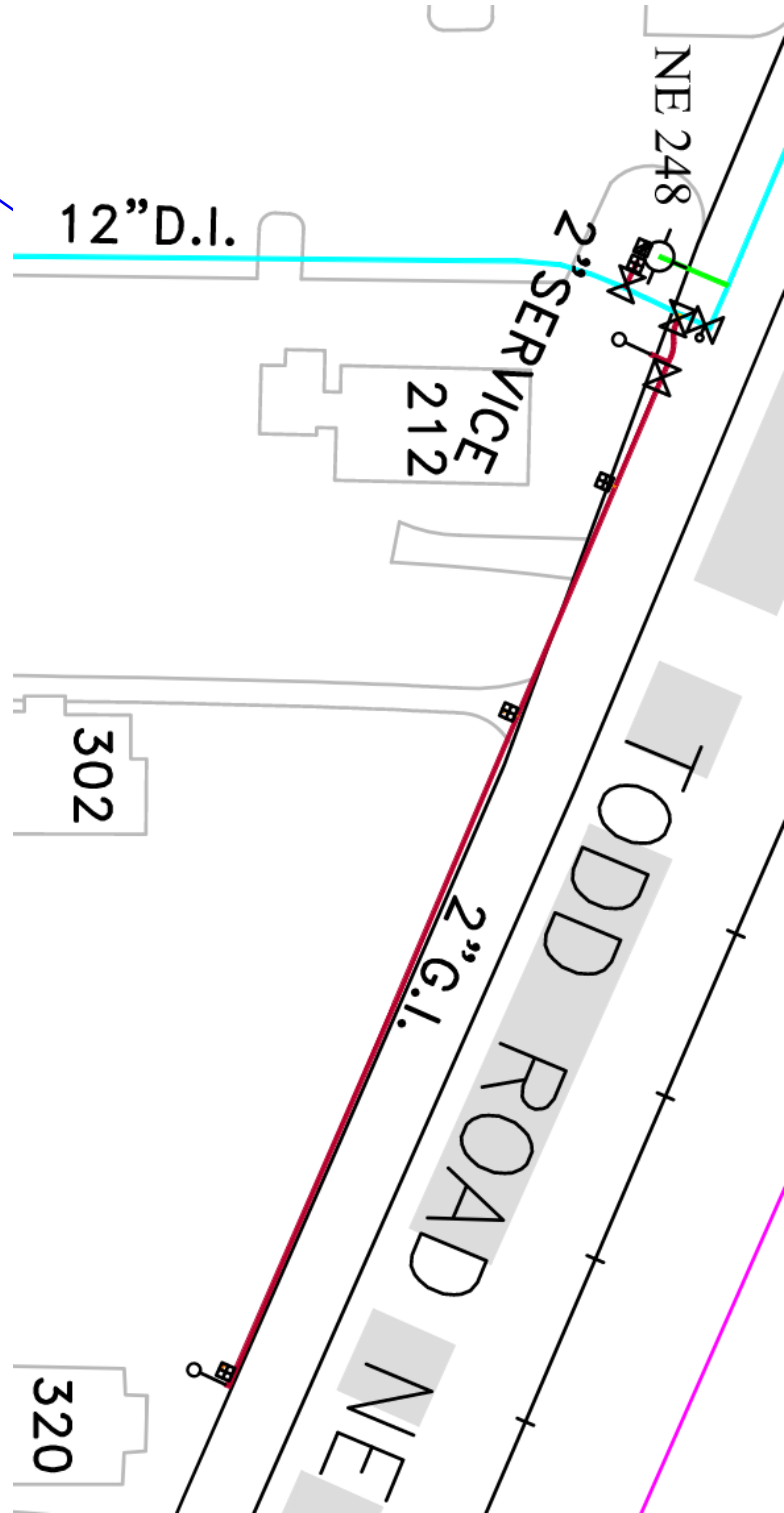
The proposed building water service will need a 2 inch gate valve at the connection to the 12 inch water main. Set the 2 inch meter on the public side of the property line. Since future use of this building is unknown, upgrade the backflow protection to an above ground RPBA set on the private side of the property line.

Redraw this area to match water department records of system.

Is a 2 inch meter appropriate for the irrigation service? Consider installing a 1 inch instead. Set the meter on the public side of the property line and the DCVA on the private side.

LEGEND

	Proposed Storm Line
	Proposed Water Line
	Proposed Sewer Line
	150' Wetland Buffer
	Property Line
	ROW Line
	Proposed Cleanout
	Proposed DCVA
	Proposed Fire Hydrant
	Proposed Water Meter
	Proposed Gate Valve



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07/02/2026

REV	DATE	DESCRIPTION

SHEET TITLE

Composite
Utility Plan

PROJ. NO: 1611-002

DATE: July 2nd, 2026

DRAWN BY: MO DESIGN BY: JJ

SHEET NUMBER

C-08

DWG.

OF