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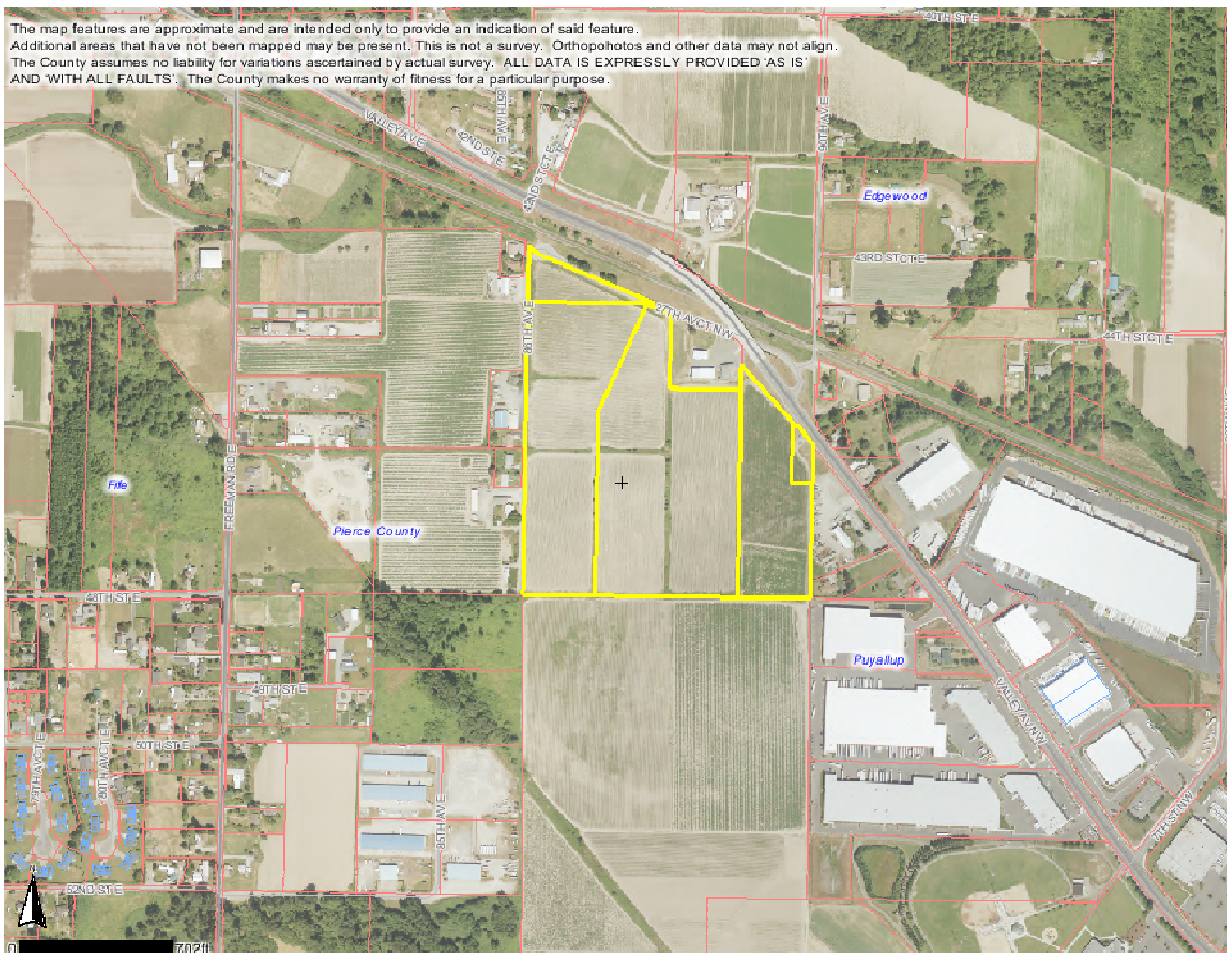
TO: Binding Site Plan Review Committee

FROM: Planning Division Staff

DATE: March 21, 2013

SUBJ: **CASE NO. P-12-0005:** Request for Binding Site Plan approval to create a 2-lot industrial binding site plan subdivision that will result in the construction of two (2) light industrial warehouses totaling approximately 652,227 square feet.

VICINITY MAP



CASE INFORMATION

Case No.: P-12-0005

Applicant: Trammel Crow

Location: The project site is unaddressed. The project is located on the 1300 block of 27th Avenue Ct NW and Valley Avenue East. The subject parcel numbers are 042016-3049, -3701, -7701, -3048 and -7702. Parcel number 0420167700 is proposed to be included in the binding site plan subject to a separate boundary line revision that shall be submitted and approved prior to recording of the subject BSP drawings.

Site Size: 33.61 acres

Existing Zoning: Limited Manufacturing (ML)

Existing overlay: Agriculture overlay district (AGO)

Comp. Plan: Limited Manufacturing/Warehousing (LM/W)

Transportation -

- Principal Arterial (Valley Avenue East)
- Bike Routes (Valley Avenue East)

SEPA Status: Issuance of a preliminary Mitigated Determination of Non-Significance dated May 30, 2012; MDNS finalized on June 28, 2012.

SEPA Addendum to a final MDNS issued March 11, 2013

Staff Planner: Chris Beale, Associate Planner

BACKGROUND

Request for Binding Site Plan approval to create a 2-lot industrial binding site plan subdivision that will result in the construction of two (2) light industrial warehouses totaling approximately 652,227 square feet. The project includes earthwork, stormwater management, street improvements (including the signalization of 27th Avenue Ct NW and Valley Avenue), public sanitary sewer lift station and landscaping.

Surrounding Zoning & Land Use - The subject parcel is surrounded by the following zoning and land uses:

- To the North** To the immediate north is a railroad and street right-of-way area. The City of Edgewood borders the project beyond the abutting right-of-way areas to the north of the project site
- To the East** Developed Limited Manufacturing (ML) zoned property; the site directly abutting the project site to the east is a local landscape design firm (Blue Sky Landscaping)
- To the South** Undeveloped Limited Manufacturing (ML) zoned property; and,

To the West Undeveloped farm areas and single family residential structures. This area is currently within Pierce County jurisdiction but is also a part of the City of Puyallup's Urban Growth Area (UGA). This UGA area maintains the same LM/W underlying future land use designation and agriculture overlay as the subject site.

PROJECT DESCRIPTION AND STAFF ANALYSIS

Proposed Development

- The project is located within the Limited Manufacturing/Warehousing (LM/W) land use designation and Limited Manufacturing zone district, which allows for and promotes light industrial and limited retail uses that are complementary and not detrimental to neighboring commercial and residential districts. Typical uses in this zone include warehousing and assembling and manufacturing of products from previously prepared materials.
- The project site is designated with an agriculture overlay (AGO) and has been used for agricultural production in recent years. As defined in PMC 20.50.005, the AGO overlay is intended to ensure that agricultural lands within areas designated are treated sensitively to the location of and pressures from surrounding urban development. It is the intent of this overlay to encourage the continuation of agricultural activities as defined herein until such time that these lands are needed for urban uses. It is also the intent of this overlay to protect agricultural activities from zoning and nuisance complaints.
- Although the exact industrial warehouse tenants are unknown at this time, the proposal will feature approximately 652,227 sq. ft of industrial warehouse use. Some office space – ancillary to the primary use of the property for warehousing/light manufacturing – is anticipated.
- The project is compliant with the Limited Manufacturing/Warehousing (LM/W) comprehensive plan land use description as contained in the City of Puyallup's Comprehensive Plan (*Land Use Element – III - 51*).
- The project will be in conformance with the bulk regulations pertaining to height, setbacks, lot coverage, floor area ratio, design, streetscape, parking lot configuration, etc., associated with the base zone (ML) requirements. Therefore, the project is compliant with the ML bulk limitations, as defined by PMC 20.35.020 and PMC 20.26.400 (design review).
- Per PMC 21.20.130, the applicant is required to pay all applicable transportation impact fees at the time a building permit is issued for each subject lot. The Traffic Impact Analysis, dated March 23, 2012, prepared by Heath and Associates, estimates that the project will generate 173 PM peak hour trips.
- The proposed private driveway intersection along Valley Avenue – which aligns with 27th Avenue Ct NW to the north – will be improved through the installation of a new traffic signal to allow safe ingress and egress from the site, as conditioned in the final MDNS (dated June 28, 2012) and SEPA addendum (dated March 11, 2013) to the final (June 28, 2012) MDNS.
- The project shall be compliant with all standards contained in PMC title 11, Streets and Sidewalks, including roadway improvements, street trees and street lighting.
- The project will comply with PMC 20.55 – parking regulations.
- A resulting need for additional public services and utilities (e.g. fire protection, school, police services, etc) will result from the addition of new warehouse tenants. However, these do not appear to place any undue burden beyond what is normally expected from light industrial uses.
- The project is located beyond the terminus of the existing, public sanitary sewer system. As a result, the project will extend the existing sanitary sewer line along Valley Avenue to serve the

site. The project is conditioned thru SEPA (final MDNS dated June 28, 2012 and SEPA addendum dated March 11, 2013) to install a new public sanitary sewer pump station needed to convey sewage from the site and the surrounding area down Valley Avenue.

Critical Area Review

- Based on a review of site conditions and existing City of Puyallup critical areas maps, the project site does not contain any regulated wetlands, nor any regulated wetland and associated buffer from neighboring properties.
- The site is not shown on the city's critical areas maps to contain any 100-year or 500-year floodplain areas, nor does it appear to contain any steep slope or erosion hazard areas.
- The site is shown to be wholly contained within a volcanic hazard area (case II – 100-500 year frequency of lahar flow).
- The site is shown to be located wholly within a high vulnerability aquifer recharge area and parts of the project are within the 10-year travel time to City of Puyallup well #17.

Site Access/Internal Circulation

Access to the site is proposed from multiple points; the primary truck access point is proposed to be in the form of a single driveway off of Valley Avenue, aligned with the current intersection of 27th Avenue Ct NW to the north of the project site. This primary intersection is conditioned (see final MDNS determination, dated June 28, 2012 and SEPA addendum dated March 11, 2013) to include a new traffic signal. Secondary access points (2) are proposed along 27th Avenue Ct NW and are anticipated to allow movement of employee vehicles, rather than heavy truck traffic to and from the site. The site plan shall conform to all ADA building code standards (e.g. main entrances, ADA accessible pathways from abutting public roadways) to promote pedestrian accessibility to the site and internally.

Utilities

In addition to sanitary sewer extension and new public sewer lift station previously noted, storm water facilities shall be installed in the form of a detention pond in the southwest corner on the subject site. An existing 16 inch water line exists on the site of an existing warehousing project directly abutting the site to the southeast, which the proponent will be tapping into for domestic water supply. It is assumed that the proponent has been working with the other private utility providers (e.g. electric, gas, telephone, cable, internet, etc.) to extend needed utilities to the proposed new buildings.

SEPA Status - Staff has reviewed the proposed project plans, the associated SEPA checklists dated May 17, 2012 and March 5, 2013, proposed conceptual utility/access plans and evaluated the probable environmental impacts anticipated to occur as a result of the proposed binding site plan, The City's Responsible SEPA Official issued a preliminary Mitigated Determination of Non-Significance (MDNS) dated May 30, 2012 (Attachment 3) which was subsequently finalized on June 28, 2012; an addendum to that final MDNS was issued by the City of Puyallup on March 11, 2013 (Attachment 4). The SEPA MDNS and addendum contain mitigation measures related to Transportation and Utilities needed to mitigate potential adverse environmental impacts related to the project action (see attachments 3 and 4).

Compliance with Other City Requirements

The City's Development Review Team (DRT) has reviewed the proposed Binding Site Plan, for compliance with various City requirements and development codes. The DRT findings and conditions of approval are set forth in the DRT Review Letter dated March 5, 2013 (Attachment 2).

Chapter 19.12 of the Puyallup Municipal Code establishes "Design Principles, Standards and Specifications" for the segregation and development of Subdivisions and Binding Site Plans. Staff has reviewed the proposed Binding Site Plan for compliance with the design principles, standards and

specifications set forth in Chapter 19.12, and finds the Plan complies, provided it is approved subject to the conditions set forth in staff's recommendations and all applicable SEPA mitigation measures.

STAFF FINDINGS AND CONCLUSIONS

Pursuant to PMC 19.10.050(4), the Binding Site Plan Review Committee is required to make certain findings in order to approve a proposed Binding Site Plan. The required findings and staff's conclusion are set forth as follows:

1. The Binding Site Plan is consistent with existing development.

The sites physical characteristics, points of vehicular access, interior parking lot landscaping, perimeter landscaping along the street frontage, orientation of the development are compatible with existing development in the Valley Avenue area, which is characterized by similar large-scale warehousing projects.

Therefore, it is Staff's opinion the Binding Site Plan is consistent with existing development.

2. The proposed Binding Site Plan contains adequate provisions for utility and infrastructure improvements needed to serve the proposed development – PMC 19.10.050(4).

A. As part of the Development Review Team (DRT) review, staff has determined the proposed Binding Site Plan either provides or can be sufficiently conditioned to provide adequate water supply, sewage disposal, stormwater facilities and fire hydrants. Specific staff comments and/or recommended conditions of approval are set forth in the DRT comment letter dated March 5, 2013 (Attachment 2) and final SEPA MDNS/SEPA addendum (See attachments 3 and 4), as follows:

i. **Utilities:** The nearest city sanitary sewer located in Valley Avenue is not deep enough to serve the development. A city sanitary sewer lift station shall be constructed within the development with sufficient capacity to serve the adjacent urban growth area lying to the west. The lift station shall be constructed to city standards including a standby electrical generation system. A gravity sewer system within city easements shall be extended through the site.

B. Staff's review of the anticipated transportation impacts associated with the proposed binding site plan improvements indicates the transportation impacts would be adequately addressed if the project is developed in accordance with the SEPA MDNS/SEPA addendum mitigation measures requiring:

i. **Transportation:** A traffic signal shall be constructed at the primary access along Valley Avenue E/27th Avenue Ct NW. Per Puyallup Municipal Code Section 11.08.130, the applicant/owner shall construct half-street improvements along Valley Avenue E and 27th Avenue Ct NW, including curb, gutter, sidewalk, planter strips, roadway base, pavement, and street lighting. Street widening improvements shall be completed on Valley Avenue to facilitate eastbound and westbound left turn lanes at the intersection of Valley Avenue/27th Avenue Ct NW. The street widening improvements to accommodate the turning lanes will necessitate the construction of roadway base, pavement, street lighting, drainage, and infrastructure relocation where necessary. The applicant shall obtain additional right of way to construct embankment fill and/or retaining

walls needed on both sides of Valley Avenue to in order to allow for the pavement widening to accommodate the left-turn lanes and to maintain the 5 feet wide paved shoulders on each side of the street.

Therefore, it is Staff's opinion that adequate provisions for utilities and infrastructure improvements have been or are conditioned/mitigated to be made to serve the proposed project as required per PMC 19.10.050(4);

3. The Binding Site Plan complies with other applicable Code provisions.

The Development Review Team (DRT) has reviewed the proposed Binding Site Plan (BSP) for consistency with city code requirements, and finds the BSP to be consistent or has recommended conditions to ensure the BSP is consistent with other applicable Code provisions. The DRT's final comments are set forth in the DRT Letter dated March 5, 2013 (Attachment 2).

It is therefore Staff's opinion the proposed Binding Site Plan either complies or has been adequately conditioned to ensure compliance with other applicable Code provisions.

STAFF RECOMMENDATION

Staff recommends the Binding Site Plan Committee concur with the findings and conclusions contained in this report and **approve the proposed Binding Site Plan** for Trammel Crow (project ID P-12-0005), subject to the following conditions:

1. Compliance with the terms, conditions and applicable comments contained in the Development Review Team Letter dated March 5, 2013 (Attachment 2), including the requirement for a boundary line revision to be submitted, processed and approved prior to recordation of the subject Binding Site Plan;
2. Compliance with the mitigation measures set forth in the SEPA Mitigated Determination of Nonsignificance (MDNS) and addendum to final MDNS (P-12-0005) dated May 30, 2012 (preliminary finalized on June 28, 2013) and March 5, 2013 (addendum) (Attachments 3 and 4);
3. Per PMC 20.26.400, the project is subject to the industrial (ML) design guidelines stated in PMC 20.26.400. Applicant shall provide full sized sets (24" X 36") to scale for all building elevations with a narrative addressing each criteria in PMC 20.26.400, upon making application for building permits. Said elevations shall also provide proposed building heights and exterior lighting fixtures. Loading zone shall be properly depicted in terms of placement and screening in accordance with PMC 20.26.400 (3);
4. A final landscape plan shall be submitted during the civil permit phase of the project. The final landscape plan shall be overlain with the final utility plan to address all potential conflicts. All landscape plans shall be substantially in conformance with all city and state codes/standards/manuals and arterial street tree plan in place at the time of submittal;
5. All lighting shall be shielded and contained on site;
6. All dumpster and recycle bins shall be screened from public right-of-way and neighboring properties;
7. All mechanical devices (roof and ground related) shall be adequately screened from any neighboring residential properties;

8. The project is located within a high susceptibility aquifer recharge area; these are areas that, due to the presence of certain soils, geology, and surface water, act to recharge ground water by percolation. Industrial or warehouse uses that plans to use, process, store or handle any hazardous substances other than household chemicals used in accordance with specified on the packaging, on site shall be subject to the city's critical areas ordinance (CAO), specifically PMC 21.06.530 and 21.06.1150. This will be reviewed at the time of applicable construction permitting stages (e.g. tenant improvement, fire permitting) of the project;
9. The site is located within a volcanic hazard area (lahar). The project, based on total size and expected occupancy load, per PMC 21.06.1260, will need to install a critical alert notification system that ties into the city/regional warning systems, maintain an approved emergency evacuation plan and a establish procedures for periodic drills to test said evacuation plan over the life of the structure. Such a plan shall be submitted along with building permits for the structure and shall be addressed to the City of Puyallup's Emergency Management Director; and,
10. The Binding Site Plan drawings, in accordance with PMC 19.10.090 shall be recorded within six (6) months of approval by the Binding Site Plan Committee. Compliance with condition #1 (boundary line revision related to parcel 0420167700) shall be fulfilled prior to recordation of the BSP drawings. Project plans expire if not recorded within six (6) months of the date of approval (PMC 19.10.090).

Attachments:

1. Binding Site Plan drawings received March 7, 2013 and March 11, 2013;
2. Development Review Letter (DRT) letter dated March 5, 2013 ;
3. Final SEPA Mitigated Determination of Non-Significance (MDNS) (preliminary MDNS dated May 30, 2012).
4. Addendum to a final SEPA MDNS dated March 11, 2013