



CITY OF PUYALLUP

Development Services Department

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Date of staff report: December 20, 2017

Date of public meeting: January 4, 2018

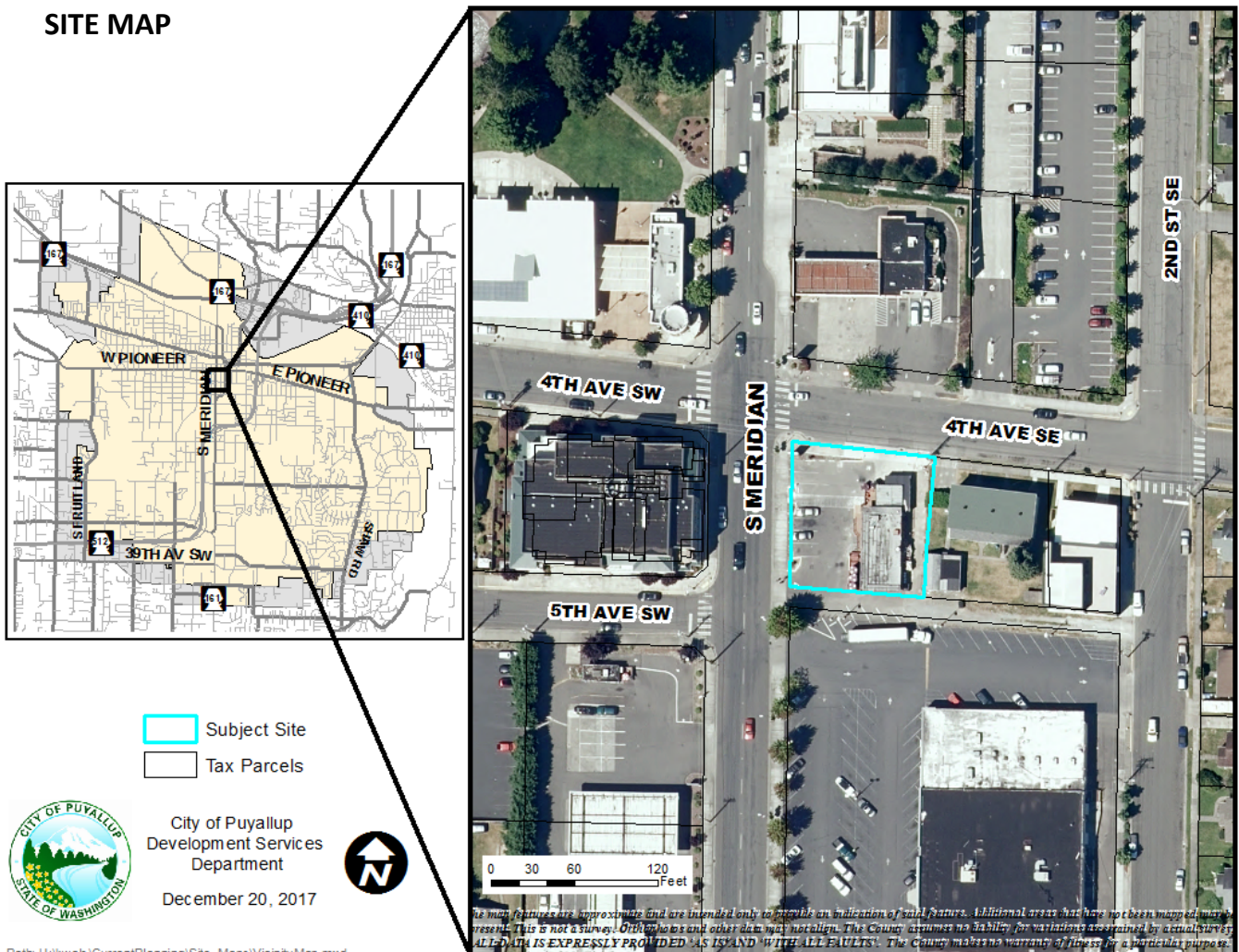
To: Design Review and Historic Preservation Board

From: Kendall Wals, Associate Planner

Re: **Case No. P-17-0132: Bourbon Street Bar & Grill Expansion (401 S. Meridian)**

Summary of Request: Review and approve a proposed two-story addition including covered seating and a rooftop deck to an existing restaurant building. The building was constructed more than 50 years ago and the property is zoned CBD; exterior additions/modifications are required to receive approval from the Design Review and Historic Preservation Board (PMC 2.29.070 (1)(a)(ii)).

SITE MAP



PROPOSAL INFORMATION

Case Number:	P-17-0132
Applicant:	Gil Hulsmann, Abbey Road Group Land Development Services
Location:	401 S. Meridian; Parcel #0420273373
Zoning:	Central Business District (CBD)
Staff Planner:	Kendall Wals, Associate Planner
Surrounding Area:	The subject site is surrounded by similar CBD-Core and CBD zoning designations. The surrounding properties are a mix of retail, professional office and services, food service, and residential uses.
Specific Proposal:	The applicant is requesting DRHPB approval of a proposed two-story addition including covered and rooftop deck seating to an existing restaurant building. The addition will replace an existing outdoor deck seating area with a covered/enclosed seating area (574 sq. ft.) that can be adaptable to the seasons with removable exterior doors. The addition will also include a rooftop deck seating area (574 sq. ft.) above the new enclosed area. The application includes two options for the west elevation of the building, primary difference being the detail at the upper level deck space (see elevation sheets A2.0 & A2.1).

BACKGROUND

According to the Pierce County Assessor-Treasurer's records, the Bourbon Street Bar & Grill building was constructed in 1956. The property is currently zoned Central Business District (CBD). The existing building has previously been remodeled with additions and does not appear to have significant, original historic design features. The building has not been part of a property inventory or survey to determine eligibility the local, state, or national registers.

PRE-APPLICATION MEETING

The applicant previously requested a pre-application meeting with the Board on the proposed project, which received an initial review at the Board's December 7, 2017 meeting. At pre-application meeting, the Board provided the following feedback:

- The Historic Properties section of the Downtown Guidelines does not apply to the subject building and project. The project will be reviewed using the All Buildings and Small Project sections of guidelines.
- The "Alternate #1" elevation option including an ornamental guardrail along the upper level rooftop deck space to appear as a roofline for the second story is not the preferred option.
- Use of landscaping within the project area is supported.

APPLICABLE REGULATIONS AND GUIDELINES

As mentioned in the background, the building was constructed in 1956, and the property is zoned Central Business District (CBD). Puyallup Municipal Code (PMC) section 2.29.070 (1)(a)(ii) requires any new

additions and/or renovation projects of historic structures, which are defined as being constructed 50 years or more from the date of application, in the CBD or CBD-Core zones, are required to receive approval from the Design Review and Historic Preservation Board (DRHPB).

The following section represents analysis of the applicable design guidelines from the city's Downtown Design Guidelines document (April, 2006) relative to the project proposal.

ALL BUILDINGS

Due to the scope of work and location of the property, staff's analysis finds the following guidelines under the All Buildings section to not be applicable to the project due to the proposed scope of work:

- A: Blank Wall Treatment
- B: Pedestrian Weather Protection
- E: Corner or View Corridor Terminus Buildings
- F: Upper Floor Setbacks
- H: Building Garage Entries, Fire Exits & Non-Public Exits

C: Window Glazing

Intent: Enhance street environment by requiring a majority of the ground floor façade to be glazed while allowing upper floor window variation.

Staff analysis:

- The ground level area of the addition appears to provide 60% or more glazing through the use of windows and doors. Transom windows in the proposed lower enclosed seating area are similar to the existing, but differ in width, adding a variety of window type and size to the overall building.
- Both horizontal and vertical articulation are incorporated by groupings of openings, or glazed French-style doors, and transom windows. The upper deck area is proposed with solid and open guardrails, which also appears to add to the horizontal and vertical articulation of the building.
- There are no windows, only doors at the ground level of, but the openings create shadows and visual interest to the building. The applicant acknowledges that the transom windows could be slightly recessed when installed, but the current proposal does not appear to propose recessed windows. The Board may consider requiring the transom windows to be recessed to further meet the guideline requirements.

D: Building Materials

Intent: Enhance building facade appearance and visually reduce building bulk by incorporating an appropriate variety of high-quality materials.

Staff analysis:

- Two existing material types (stone tiles, stained wood cladding and trim) in the existing facade are proposed to be repeated in the new addition. The existing painted brick is not proposed as one of the material types to be used in the addition. The proposal appears to provide a variety of materials to reduce the mass of the proposed structure.

G: Building Roofs

Intent: Reinforce the existing historic character of the City of Puyallup through the use of flat roofs (less than 3:12 pitch) and special cornice treatments.

Staff analysis:

- The existing building has a flat roof, but does not incorporate a cornice or parapet. The proposed addition incorporates an upper level (roof top) guardrail system that could function as a cornice or parapet. The Board may consider whether the proposed project satisfies this requirement.
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SMALL PROJECTS

I: Articulation

Intent: Incorporate multiple building features such as cornices, weather protection elements, signage bands, and other elements to reinforce the pedestrian scale, ground floor orientation, and visual continuity to abutting buildings.

Staff analysis:

- Lighting is proposed on the lower level, mounted to the underside of the deck above, allowing light to spill over to the adjacent areas. It appears that on the upper rooftop deck, lighting will be incorporated into the side of the solid “low wall” guardrail areas, if the “low wall” guardrail option is chosen. In addition, lighting will be provided to enhance the form of the structure. LED string lights around openings and at the upper deck area are also being considered.
- Articulation appears to occur on both levels of the proposed structure; on the lower level, the fenestration open areas (or areas with doors when installed) and the transoms.

J: Modulation of Building Elements (e.g. entries, porches, bay windows, etc.)

Intent: Use modulation, in contrast to horizontal articulation, to reinforce the individuality of a smaller building along a street consisting of many storefronts. Modulation is defined as the design manipulation of larger building elements over 200 square feet or the size of a typical room.

Staff analysis:

- The proposed addition appears to provide one of the architectural forms/elements for the overall building and adds to the existing modulation of the building. As noted in the applicant’s narrative, the existing building visually appears to have three forms, established by their heights, that already express building modulation. The three forms gradually step up from north to south. The proposed structure adds another step up in the pattern and helps anchor the character of the overall restaurant building form.

K: Façade Features (e.g. windows, building materials, color, lighting, etc.)

Intent: Promote variation and freedom of design through the organization and articulation of various facade elements. Articulation is defined as the design manipulation of smaller building elements less than 100 square feet down to an element of one square foot.

Staff analysis:

- The proposed addition appears to provide additional architectural adornment to the overall building. Ornamental guardrails, string lighting and stone tiles are three existing building elements that are also proposed to be used in the addition.
 - Considering both the existing and the proposed structures as a whole, the proposed structure maintains the use of at least two facade materials, establishes more than two window combinations, and establishes more than two types of railings.
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STAFF CONCLUSION

- The proposal is subject to DRHPB review due to the age of the buildings (50 years or older) and the CBD-Core zoning designation, consistent with 2.29.070 (1)(a)(ii).
- The proposal appears to be generally consistent with Downtown Design Guidelines for All Buildings and Small Projects.
- The Board should consider leaving the options for the west elevation of the building up to the applicant's decision, or whether the Board finds that a recommendation on the options is necessary for the proposed project (see elevation sheets A2.0 & A2.1).